

Appendix "A"



REPORT: **PLANNING RATIONALE REPORT (PRR)**

MUNICIPALITY: TOWN OF AMHERSTBURG

MUNICIPAL ADDRESS: 247 BROCK STREET AT KEMPT ST

DEVELOPMENT: OPA, ZBA, CONDO

DATE: March 8 , 2022

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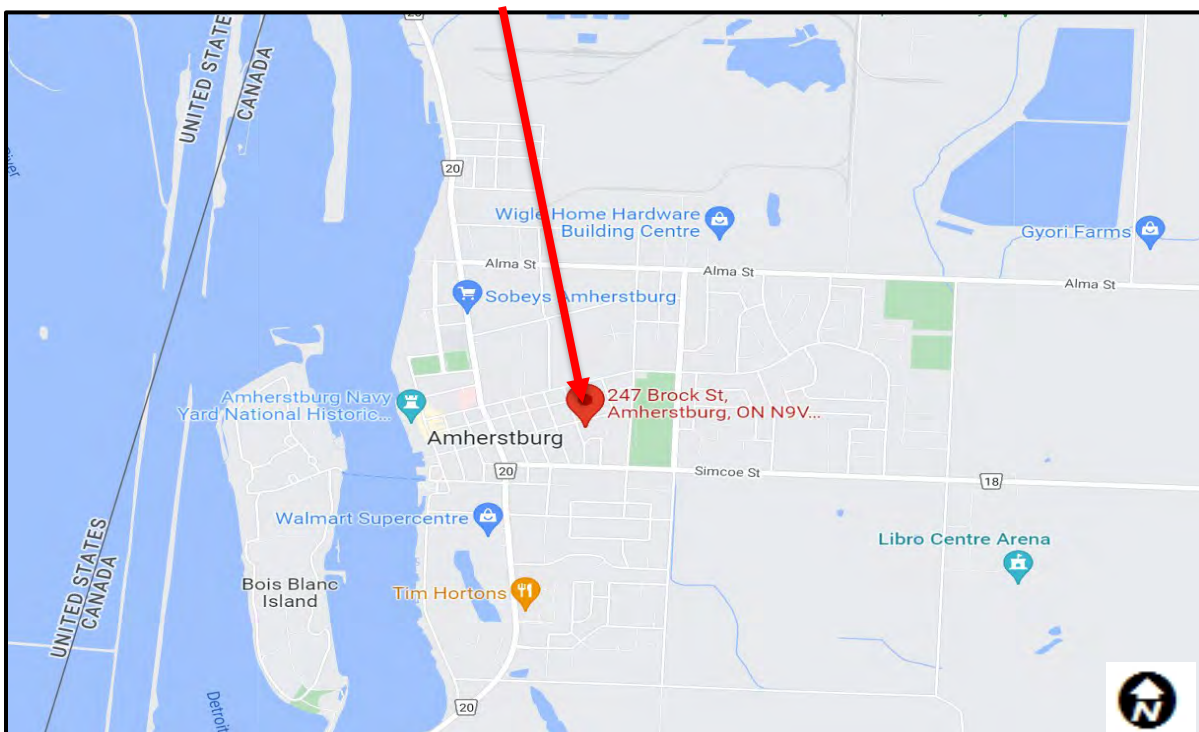
1.0 INTRODUCTION

Lassaline Planning Consultants (LPC) has been retained to undertake a planning rationale report regarding the feasibility of an Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) to support the adaptive re-use of an existing building and the development of the vacant portion of subject site.

Phase 1 is proposed to be the conversion of an existing 3.5 storey vacant building (former House of Shalom) to a 16 unit residential condominium building with 30 parking spaces, comprised of 20 regular parking spaces, 10 garage spaces, and 2 Barrier Free spaces for a total of 32 parking on an individual parcel. Phase 2 is proposed with a new, 4 storey building containing 34 unit residential condominiums with 42 parking spaces and 2 Barrier Free (BF) spaces. The two parcels are proposed to be developed with a total of 50 residential condominiums and 76 parking spaces.

A pre-consultation was held with the Manager of Planning at the Town of Amherstburg, Jackie Lassaline, BA MCIP RPP, LPC, and Rosati Group. A second pre-consultation was also held with the Manager of Planning at the Town of Amherstburg, Jackie Lassaline, BA MCIP RPP, LPC, and Rosati Group. Jackie Lassaline, BA MCIP RPP, Lassaline Planning Consultants has prepared this planning rationale report to support, explain and justify the requested Official Plan Amendment (OPA) and Zoning Bylaw Amendment (ZBA) application.

FIGURE 1 LOCATIONAL MAP 247 BROCK STREET



1.1 APPLICATION INFORMATION

The landowner, Jones Realty Inc. (c/o Terry Jones), has applied for:

- 1) an Official Plan Amendment (OPA) to have the entire property (both Phase 1 and Phase 2) redesignated from the present 'Institutional' designation to a 'Residential' designation. The OPA will establish the 'Residential: Medium Density' policy framework on the parcel;
- 2) a Zoning Bylaw Amendment (ZBA) to have the entire property (both Phase 1 and Phase 2) rezoned from the present 'Institutional (I)' to a site specific 'Residential Multiple Second Density (RM2)' zone. The ZBA will provide for a site specific regulatory framework for both Phase 1 and Phase 2 developments as two separate independent parcels;
- 3) a Plan of Condominium has been requested at the County of Essex in anticipation of the condominium progressing through Condominium Act review;
- 4) Site Plan Control will be applied for Phase 1 after the adoption of OPA and passing of the ZBA.

1.2 PURPOSE OF THE REPORT

The subject property is presently designated 'Institutional' on Schedule B-2, Land Use in the Town of Amherstburg Official Plan and zoned 'Institutional (I)' in Comprehensive Zoning By-law (CZB) 1999-52 for the Town of Amherstburg.

The existing building was constructed in 1910 as the St. Anthony's Roman Catholic School, prior to the passing of the Town of Amherstburg Comprehensive Zoning Bylaw 1999-52. The building and property can be considered legal non-complying since the building and site were existing prior to the passing of the modern CZB 1999-52.

The owner is proposing to adapt the existing vacant building to 16 residential condos and to add a second building on a separate lot with 34 residential condos to create 50 residential condos within the urban area of the Town of Amherstburg. The two parcels are proposed to be developed with a total of 50 residential condominiums and 74 parking spaces.

The proposed development will be placed in context of the Provincial Policy Statement 2020 (PPS) provincial policies. The proposed development will be evaluated and examined through the provincial policy framework for consistency with provincial policy direction.

The subject lands are designated 'Institutional (I)' in the Official Plan (OP) of the Town of Amherstburg. An Official Plan Amendment (OPA) is being requested to change the policy framework applied to the subject property from 'Institutional' to 'Residential' to support the proposed residential development. This rationale report will evaluate the requested amendment in context of the PPS, the County of Essex policy framework and in the Town of Amherstburg Official Plan policy direction for residential land use.

With the request for the change of land use from the previous institutional use to residential use, a Zoning Bylaw Amendment (ZBA) is required to recognize the existing lot configuration, site characteristics, and proposed residential development. This rationale report also examines the requested ZBA in context of the PPS, the County of Essex Official Plan, the Town of Amherstburg OP, and specifically in context of the CZB for the Town. The resultant ZBA will change of the applicable regulatory framework from 'Institutional (I)' to a new site specific 'Residential Multiple Second Density (RM2-#)' zone.

This planning rationale report will demonstrate the consistency of the proposal with the Provincial Policy Statement (PPS) 2020 and how the development is consistent with provincial housing policies, provides for healthy community initiatives, provides for healthy, walkable community policies of the province. Examining both Phase 1 and Phase 2 within the policy framework of the County of Essex and the Town of Amherstburg's Official Plan and establishing conformity of the OPA with the Official Plans. Analysing the site and development characteristics in context of the Comprehensive Zoning Bylaw (CZB) for the Town and determining compliance of the ZBA with the CZB regulatory framework.

This report provides the rationale and support for the requested Official Plan Amendment (OPA) that will change the applicable OP policy framework applied to the property from 'Institutional' to 'Residential: Medium Density' and a site specific Zoning Bylaw Amendment (ZBA) that will rezone the lands from 'Institutional (I)' to 'Residential Multiple Second Density (RM2-#)' zone.

1.3 247 BROCK STREET SITE INFO

The subject lands have a legal description of: Lot 1 E/S Kempt St, 3 E/S Brock Street, 18 W/S, 18 W/S Kempt St, 19 W/S Kempt St, Plan 1 Amherstburg; Pt Kempt St Pl 1 Amherstburg closed by R1109842; Pt E Pt 2 Con 1 Malden as in R1143624 Amherstburg.

The subject lands are owned by Terry Jones Realty Inc. c/o Terry Jones. The subject site has a municipal address of 247 Brock Street and is located at the corner of Brock Street and Wolfe Street.

The existing building was built in 1910-1911 and expanded in 1929. The building was constructed originally as the St. Anthony School associated with the St. John the Baptist Roman Catholic Church across the street. The majority of the life of the building was St. Anthony's School from 1912-1972 when it was converted to a youth centre around 1972-1973. The House of Shalom Youth Center continued until approximately 2010-2011 when the center shut down. The building has sat vacant now for over 10 years.

The existing building and site existed prior to the passing of the Official Plan and the Comprehensive Zoning Bylaw and the establishment of the 'Institutional' policy and regulations applied to the land use.

FIGURE 2 – IMAGES OF EXISTING BUILDING:



FIGURE 3: SITE AERIAL VIEW



[illegible]

1.4 SITE CONFIGURATION

The subject site is a large, triangular shaped lot with two road frontages at the corner of Brock Street and Gore Street. The heritage building is located in the corner configuration of the property with the majority of the lands behind the building are vacant. Under the CZB for the definition of frontage for a corner lot being the lesser of the two frontages, Brock Street will remain as frontage for Phase 1, the Loft's of St. Anthony.

Phase 1 and Phase 2 has been established on a registered Reference Plan 12R28876 as Part 1 for the existing established heritage building and Part 2 as vacant lands.

Part 1 of Plan 12R28876 is used as the legal description under the recently passed Heritage Bylaw passed for the preservation of the heritage building.

1.5 TOPOGRAPHY

The property is flat and has little to no variation in elevation or grade change. There are no swales or ditches on the property. Refer to Figure 3 above showing site aerial. There are no natural features or natural hazards associated with this property.

1.6 VEGETATION

The subject lands are manicured lawn. With the proposed development of both Phase 1 and Phase 2, the Loft's of St. Anthony will be landscaped professionally to create a welcoming amenity space associated with the two residential buildings.

As shown on the above Figure 3: Aerial site plan there are a few existing deciduous trees on the front lawn of the heritage building on Phase 1 property that will be retained. There are 3 maple trees that are not significant trees located in the centre of the property in the location of the garage and parking areas that will need to be removed. There is one mature tree at the rear of the proposed parking area that will be retained.

On Phase 2 lands, there are 4 mature deciduous trees at the rear of the property that will be retained. All other vegetation is scrub bushes/trees that are not of a high quality warranting preservation.

In my professional opinion, the few trees that are existing on site are not identified as significant species at risk. Additional trees will be planted to replace the trees removed and new landscaping will be provided to ensure a development that is aesthetically appealing.

1.7 NEIGHBOURHOOD LAND USES:

The new residential development is proposed within a residential neighbourhood that is supported by municipal transit, active transportation walking and biking trails, and is within close walking distance to supportive commercial and institutional amenities.

- a) **North** - St Anthony's Roman Catholic Church;
- b) **East** - medium density residential – townhouse development;
- c) **South** – single detached, two unit, medium density townhouses, low rise apartment;
- d) **West** - single detached residences.

The mixed density neighbourhood is comprised of existing low and medium density residences with 1 to 3.5 storey buildings. The proposed development is compatible in height and massing with the existing neighbourhood. There are other comparable buildings in massing and height on Kempt St behind the subject property. In addition, the proposed new buildings will be distance separated from the existing development providing for visual minimization of the difference in height and massing between the new development and the existing residential development. The medium density proposal will provide for a transition of density between the medium density and the single detached residential.

FIGURE 5 NEIGHBOURHOOD AERIAL



2.0 HERITAGE INFORMATION

The existing iconic Amherstburg limestone brick façade of St. Anthony's was originally constructed c 1911 as a four room schoolhouse operated as St. Anthony's Catholic School. The school was active from 1911 until 1971 when it closed as a school and was purchased for use as a youth center operating under the name of 'House of Shalom'. The House of Shalom Center was operated as a youth center from 1971 until 2020 when it was closed and sold.

The beautiful, iconic to Amherstburg building was constructed in 1910-1911 with limestone from the local quarry. The building was constructed in a modified Romanesque revival style architecture.

The Heritage Committee crafted a Heritage Bylaw and subsequently the Town of Amherstburg Council passed the Heritage Designating Bylaw 2021-079 for the existing building as a heritage building under Part IV of the Heritage Act. The Bylaw defines the heritage attributes that are to be protected.

The contractor, Rosati Group, has prepared extensive design plans and work plans that will be see the conservation and preservation of the defined heritage attributes considered significant for the building. Please refer below to Section 2.2 Heritage Measures for Phase 1 and Section 2.3 Heritage Evaluation of Phase 2.

2.1 HERITAGE BYLAW

Refer to Appendix D – Heritage Bylaw

The existing building was evaluated, and features identified as significant with the cumulative features defining the structure as significant heritage worthy of conservation and preservation. The building known as 'St. Anthony's' has been designated under Part IV of the Heritage Act with the following exterior and interior features identified in the Designating Bylaw for preservation:

Exterior:

- Original location and placement on Brock Street, adjacent to St. John the Baptist Roman Catholic church;
- Rectangular, two-storey form on a raised basement;
- Hipped primary roof; gabled (pedimented) frontispiece; metal roofline cornices; secondary metal cornices atop doorways; exterior stone chimney;

- Masonry construction and limestone facades with sandstone detailing; the limestone main exterior stairs;
- Fenestration, symmetrical in arrangement; wooden sash windows; single and double doorways and assemblies with transom lights above.

Interior:

- two staircases with wood balustrades;
- interior spatial configuration;
- wood finishes comprising door and window casings, baseboards, and doors throughout.

2.2 HERITAGE MEASURES PHASE 1

The above noted heritage features, as identified in the designating bylaw, will be conserved, preserved, and without jeopardizing the heritage features, enhance to form integral parts of the inclusion of the condominium units. In order to preserve the significant heritage structure, it is critical that some deteriorating features and aspects of the building are removed and replaced. These features have been evaluated, vetted, and supported by the Heritage Committee for the Town of Amherstburg.

TABLE 1: EXTERIOR FEATURES UNDER BYLAW:

EXTERIOR FEATURES IN BYLAW	PROPOSED MODIFICATIONS
1. Original location and placement on Brock Street, adjacent to St. John the Baptist Roman Catholic Church.	<ul style="list-style-type: none"> • No change to location, building to remain in existing location – refer to attached site plan below; • Landscaping to be provided that will enhance heritage characteristics of the icon limestone façade.
2. Rectangular, two-storey form on a raised basement;	<ul style="list-style-type: none"> • No additional storeys – the building will remain at two storey height; • No major additions to change the rectangular shape; • Exterior addition of an elevator to provide for accessibility compliance and unit functionality; • Elevator materials approved by Heritage Committee to be used include: height of 46.5' (lower than 54.5' bldg. height), architectural metal siding, windows tinted charcoal grey, standing seam vertical metal siding on stairwell, and smooth faced architectural stone.

<p>3. Hipped primary roof; gabled (pedimented) frontispiece; metal roofline cornices; secondary metal cornices atop doorways; exterior stone chimney;</p>	<ul style="list-style-type: none"> • New black metal shingled roof to match the roof on St. John's Church; • Roof to be amended with dormers to accommodate lofts – roofline will be continuous; • Gabled (pedimented) frontispiece; secondary metal cornices atop doorways; exterior stone chimney to remain and will have minor cleaning and repairs for the purposes of restoration and preservation; • Metal roofline cornices – deteriorated condition - to be replaced with black metal roofline cornice to compliment the roof and maintain historical roofline.
<p>4. Masonry construction and limestone facades with sandstone detailing; the limestone main exterior stairs;</p>	<ul style="list-style-type: none"> • Minor cleaning and repairs of all façade's, sandstone detailing and main exterior stairs for the purposes of restoration and preservation; • Iconic to Amherstburg limestone facades, sandstone detailing, and limestone main exterior stairs to remain. • Black railings (wrought iron look) to be included to showcase balconies and provide for compliance with the OBC; • Balconies will be built as stand alone structures and fastened in a way that can be easily removed and will not permanently affect the integrity of the stone façade.

FIGURE 6: EXTERIOR: WINDOW AND EXTERIOR DOOR MODIFICATIONS

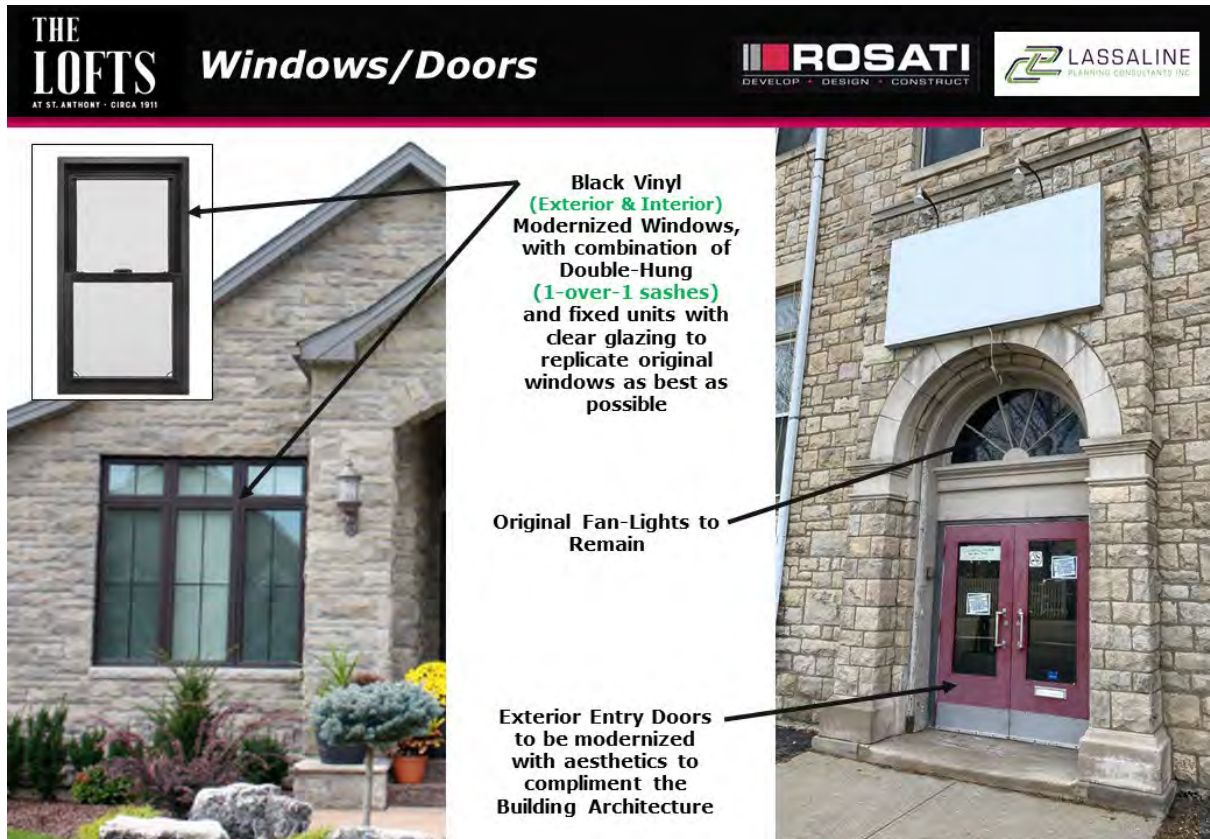


FIGURE 7: PROPOSED FACADES





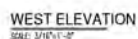


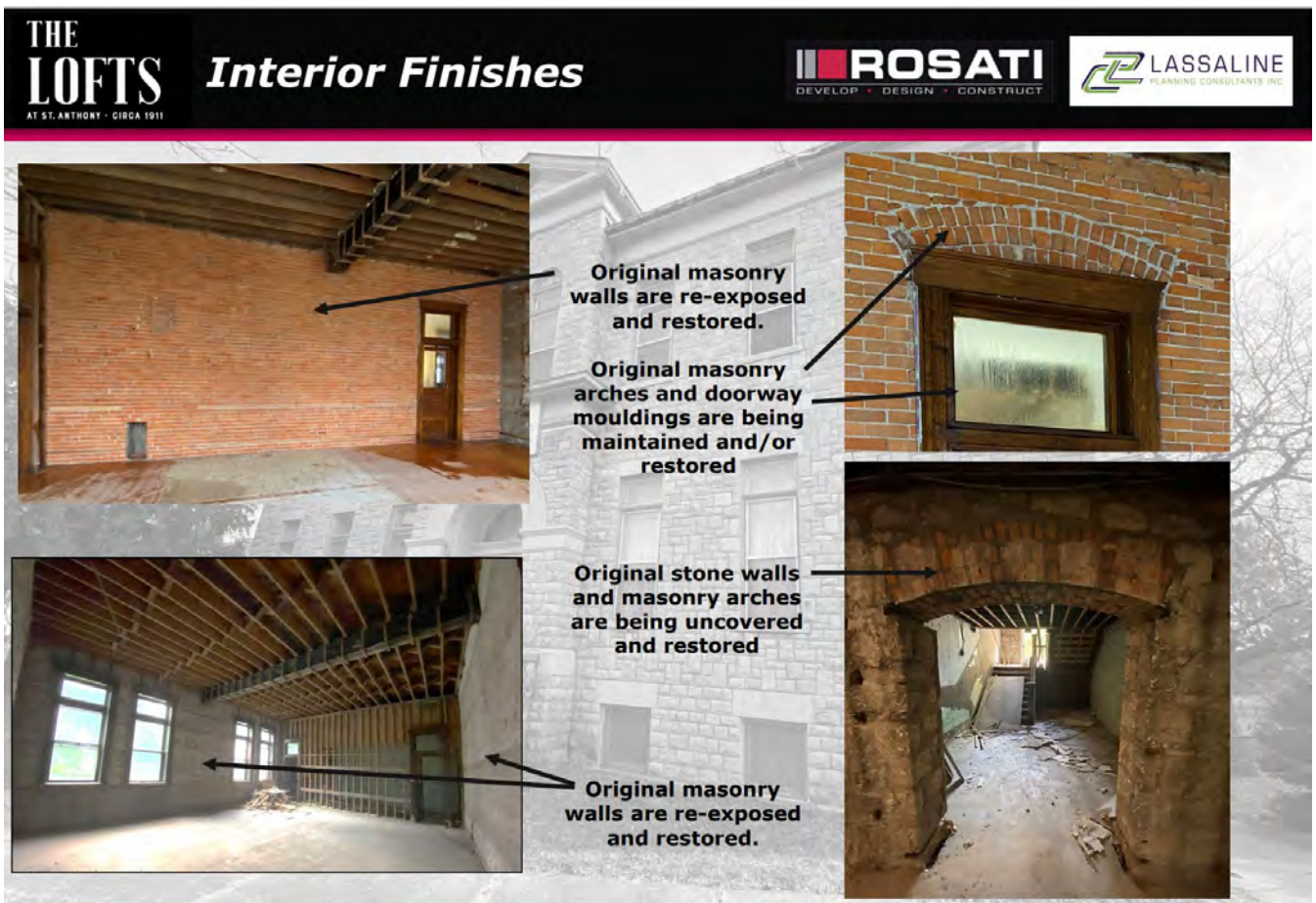


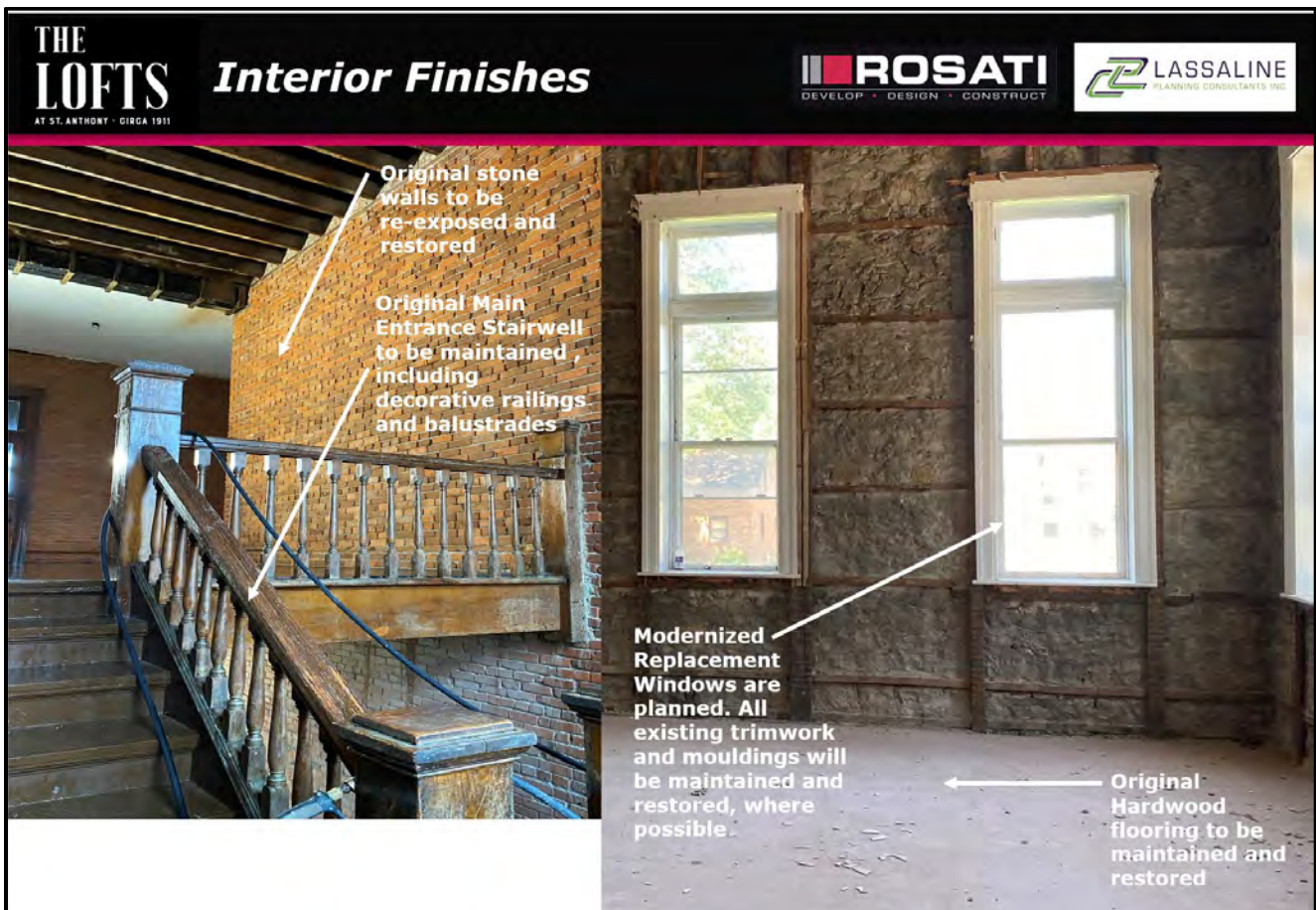
TABLE 2: INTERIOR MODIFICATIONS

INTERIOR FEATURES IN BYLAW	PROPOSED MODIFICATIONS, IF ANY
1. Entrance staircases with wood balustrades;	<ul style="list-style-type: none"> • Minor cleaning and repairs for purposes of preserving and conserving the original grand main entrance stairwell; • Minor cleaning and repairs for purposes of preserving and conserving the original decorative railings and balustrades of the grand main entrance and staircase; • Secondary entrance on east side of building to be closed and interior space incorporated into the residential unit. Interior stairwell to be removed. Exterior entrance, and stairs to be maintained.
2. Interior spatial configuration;	<ul style="list-style-type: none"> • Corridors to be maintained supporting the continuation of the interior spatial configuration.

<p>3. Wood finishes comprising door and window casings, baseboards, and doors throughout</p>	<ul style="list-style-type: none"> • Original stone walls to be re-exposed with minor cleaning and repairs for the purposes of restoration; • Original masonry arches over doorways and doorway mouldings to undergo minor cleaning for the purposes of preserving and conserving the significant interior attributes; • Original hardwood floor to be cleaned, minor repairs for the purposes of restoring and conserving; • New black vinyl windows with combination of double-hung (1 over 1 sashes) and additional header fixed units to replicate original windows; • All window glass to be clear glass (no tint) and energy efficient; • New double hung doors with replicated fan shaped glass transom with view to improving entrance, creating welcoming entrance, and creating safe access; <p>All existing trimwork is to undergo minor cleaning and repair and restored where possible for re-establishing in the residential units.</p>
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FIGURE 8: INTERIOR MODIFICATIONS





The adaptive re-use of the existing building will provide for the preservation and conservation of a 110 year heritage building within the historic Town of Amherstburg. The minor modifications identified are required to ensure the energy efficiency, safety for the inhabitants, and compliance of the adaptive new use of residential with OBC regulations, and for the conservation of the building and features.

It is my professional opinion that the minor modifications identified above will compliment the existing heritage attributes that comprise the historical building while preserving and conserving the heritage characteristics of the building known as the Lofts of St Anthony.

2.3 HERITAGE EVALUATION PHASE 2

As shown on the site plan below for the subject lands, Phase 2 is the future stage of development with a building that has not been designed at this juncture. What is considered is the approximately Ground Floor Area (GFA) of approximately 12,005 ft² to accommodate approximately 34 residential condominium units. With the proposed GFA at 12,005 ft² and a lot area of 41,870 ft², the proposed lot coverage will be at approximately 28.6%.

The building for Phase 2 has been distance separated from the existing heritage building to lessen the impact visually of the new structure on the existing St. Anthony's. Within this distance separation will be landscaping, parking, driveway and other visually softening features. The proposed building is also to be brought forward on the lot to be consistent with the existing the Loft's of St. Anthony for setback from Gore Street to respect the established setback line and streetscape view.

The building proposed for Phase 2 has not yet been designed so it is not possible to state the visual impact on the existing heritage on the adjacent parcel at this juncture. However, as the Phase 2 building is being designed, the impact of the new building on the existing heritage will be a key consideration on the look and massing of the building. As an example, it is the intent of the new, Phase 2 building to have a height of 45 ft, approximately 10 ft below the existing the Loft's of St. Anthony heritage building minimizing the massing effect of the new building on the existing heritage building.

It is the intent of the designer of the new building to continue to showcase the Loft's of St. Anthony and minimize any visual impact on the viewscape and streetscape by the new building. It is also the intent of the owner's representatives to consult with the Heritage Committee for the Town of Amherstburg when addressing the look and details of the elevations for the building.

In my professional opinion, all aspects of the Loft's of St. Anthony's heritage building has been regarded in the conceptualization of Phase 2 development for the site. The new building will be sympathetic and complimentary to the existing heritage of the Loft's of St. Anthony. Respect and regard for the heritage of the Loft's of St. Anthony will continue during the design and subsequent development of the Phase 2 building.

3.0 PROPOSED DEVELOPMENT

The present owner of the property, Terry Jones Realty Inc, is proposing a 2 Phased development proposed for the subject lands: Phase 1 is the adaptive re-use of the existing 110 year old building and converting the institutional building from institutional use into a 16 unit residential condominium building referred to as The Lofts at St. Anthony; Phase 2 will be the development of the remainder of the property at a future date with a residential condominium building containing 34 residential condo units.

With the adaptive re-use of the existing 110 year old heritage building to residential condominiums with ownership tenure will require a change in policy framework that will be used to support the residential land use. Phase 2 is proposed for development of an condominium building that is intended as a medium density residential building with ownership tenure. As a condominium development, the residential units will provide for a diversity of accommodation that is needed in the Town.

The existing building is established, and Phase 2 building is proposed within a mixed density residential neighbourhood. The proposed adaptive re-use of the building and the new condominium building as a low rise building with medium density would appear to be compatible to the existing residential neighbourhood in height and massing and would result in a low impact use on the long established residential neighbourhood.

As an adaptive re-use of the existing 3.5 storey building, the interior will be completely re-organized and retrofitted to provide for the 16 residential condominium units and will be sold as condo units called St Anthony's Lofts. The residential units will be sold as condo units as ownership tenure providing for an alternative housing style while supporting a diversification of housing style and tenure.

To provide for an efficient and effective use of the subject lands, Phase 2 is comprised of a second building on a vacant lot to the east of the existing building. The second building will be developed with 34 residential condominium units for a total of 50 new residential units in the project. The condominium units will provide for residential accommodation, an alternative housing tenure and style to the standard single detached residences typically found in Amherstburg.

Referring to pictures above, the present 3.5 storey height of the Lofts of St. Anthony's will not be modified. There are exterior modifications discussed above including an addition of an elevator to the side of the building but has been designed to have a lower profile than the existing building. There will be some exterior improvements to clean and repair the façade and replace any features identified requiring replacement. The Phase 2 building has been designed to be compatible and comparable with the existing building.

Under Phase 1, the owner is proposing the conversion of the existing building from the previous youth center institutional use to a residential condominium building. The interior will be completely re-organized and retrofitted to support the proposed 16 residential condominium units. It is the intent of the owner to preserve the historical building and conserve and preserve the heritage features under the heritage designating bylaw both inside and outside of the building as the 110 year old building is adapted to a new use of residential condominiums.

3.2 PHASE 2 PROPOSAL:

Refer to attached Site Plan package attached as separate document

Phase 2 will see the construction of a 4 storey building with 34 residential condominiums on the site. The additional building will result in a total of 50 residential condominium units on site. The building will be designed in such a way to compliment and be respectful to the heritage building preserved in Phase 1. The existing building in Phase 1 has a height of 54.5 ft from grade to top of roof peak while the Phase 2 proposed building is being designed and is presently proposed with a height that will be lower than the heritage building in Phase 1 with a height proposed under 45 ft.

3.3 OFFICIAL PLAN AMENDMENT AND ZBA:

The subject property is presently designated 'Institutional' in the Official Plan (OP) for the Town of Amherstburg and is zoned 'Institutional (I)' in the Comprehensive Zoning Bylaw (CZB) for the Town of Amherstburg.

Official Plan policies for the 'Institutional' designation allows for institutional uses such as schools, community centre uses, churches, etc. An Official Plan Amendment (OPA) is required to apply general residential policies to the proposed development. An OPA has been requested to redesignate the lands from 'Institutional' to 'Residential' designation to support the adaptive re-use of the existing building to a residential condominium building with 16 condo units and Phase 2 Future development of a residential condominium building with 34 residential condo units. The OPA will be a redesignation to residential land use with the general residential policy framework applying to the proposed land use: a site specific policy is not required as the proposed land use will conform with the general residential designation policies.

With the requested proposed adaptive re-use of the existing building to a new use of residential and the new condominium building, the site will require a site specific by-law to apply site specific regulations to the unique shaped parcel as well as the proposed adaptive re-use of an existing heritage building and the inclusion of a new condominium building.

It is recommended that the following be considered as site specific provisions:

- 1) Front Yard Setback (Brock St): 16 m;
- 2) Front Yard Setback (Gore St): 4.5 m
- 3) Exterior Side Yard Setback (Gore St): 5.0 m;
- 4) Height of building: 50 m

Both the existing Official Plan policies and Zoning regulations recognize the present land use of institutional on site. An Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) has been requested to recognize the proposed residential land use and site specific characteristics of both the existing and the proposed building and site. With the proposed change of use of the existing building to a condominium and the addition of a new condominium building, the new site specific (RM2-#) zone is also required to recognize the existing unique site provisions.

3.4 SITE SERVICING: CIVIL AND SWM REPORT

D.C. McCloskey Engineering Ltd., Project M21-148, 5745 Wyandotte St East, Suite 200, Windsor ON N8S 1M6, is a qualified civil engineering firm that undertook a Functional Servicing Report for 247 Brock Street proposed development.

“D. CONCLUSIONS & RECOMMENDATIONS

The results of the analysis conclude the following:

1. The site has the capacity to detain the runoff from the minor and major storm events while not exceeding a maximum total release rate for phase 1 and 2 of 19 Us.
2. Water quality is achieved by installing P-traps in all catchbasins (phase 1 and 2) and installing a Stormtech system in phase 2. This treatment of the runoff in phase 2 will achieve the TSS removal efficiency for normal protection as defined in the MECP design guidelines.
3. Municipal sanitary sewer has adequate capacity for the estimated peak flow of 1.8 Us.

4. Municipal water service has adequate capacity for this development.”

Based on the findings of the Functional Servicing Report the proposed development can be considered to not cause negative impacts to the municipal infrastructure and municipal services (water and sewer) have adequate capacity to accommodate the proposed development. Further, storm water can be managed from the site in both quantity and quality without negative impact on the neighbourhood. No modifications to municipal infrastructure are required to facilitate the proposed development.

3.5 TRAFFIC MEMO CONCLUSIONS

Paradigm Transportation Solutions Limited, 5A-150 Pinebush Rd, Cambridge ON N1R 8J8, is a qualified transportation engineering firm that undertook a traffic study relating to the proposed development.

EXECUTIVE SUMMARY AND RECOMMENDATIONS:

“This impact assessment includes an analysis of existing traffic conditions, describes the proposed development, traffic forecasts for five years from the assumed completion of the developments (2030), and recommendations to improve future traffic conditions.

Development Description:

This TIS considers the development of 247 Brock Street and consists of:

- 247 Brock Street: an existing building converted into a 16 unit mid-rise condominium building and a new 34 unit mid-rise condominium building;
- Access to the proposed development is provided via:
 - an all-moves access to Brock Street; and
 - two all-moves access to Gore Street.

Conclusions:

Based on the investigations carried out, it is concluded that:

- **Existing Traffic Conditions:** All study area intersections are currently operating within acceptable levels of service;
- **Proposed Development:**
 - 247 Brock Street: The full build-out of the site is forecast to generate 10 and 20 trips during weekday AM and PM peak hours, respectively.

- **2030 Background Traffic Conditions:** All study area intersections are forecast to operate at acceptable levels of service;
- **2030 Total Traffic Conditions:** The total traffic conditions are forecast to operate similarly to the background conditions;
- **Remedial Measures:**
 - Left-Turn Lane Warrants: It was found that **no left-turn** lanes are forecast to be warranted.

Recommendations:

Based on the findings of this study, it is recommended that the proposed development at 219 Brock Street and 247 Brock Street be constructed with no further roadway or intersection improvements.”

Based on the findings of the TIS, the proposed development can be considered to not cause negative impacts to the municipal infrastructure and will not have a negative impact on the traffic of the neighbourhood. No modifications to municipal infrastructure are required to facilitate the proposed development.

3.6 PHASE 4 ARCHEAOLOGICAL REPORT CONCLUSIONS

TMHC Inc., 1108 Dundas Street, Unit 105, London ON NSW 3A7, is a qualified, licensed archaeological firm with extensive experience and local knowledge, undertook a Stage 1-4 Archaeological Assessment of the subject property. File AaHs-138 dated August 27, 2021 has been registered with the Ministry of Heritag, Sport, Tourism and Culture.

SECTION 5, SUMMARY (page 31):

“A Stage I and 2 archaeological assessment was conducted for the roughly 0.75 ha (1.85 ac) property at 247 Brock Street in the Town of Amherstburg, Essex County, Ontario. The Stage I assessment revealed that the property had potential for the discovery of archaeological resources and a Stage 2 survey was recommended and carried out. The Stage 2 assessment (test pit assessment at a 5 m interval) resulted in the documentation of archaeological resources at Location I (AaHs-138). The site was found to have further cultural heritage value or interest (CHVI) and Stage 3 testing was recommended.

A Stage 3 archaeological assessment was conducted for Location I (AaHs-138). The Stage 3 work consisted of the excavation of 16 1 m² units across the site area, resulting in the collection of 2,236 19th and 20th-century artifacts. Based on the artifacts recovered and their distribution, Location I (AaHs-138) is a domestic site dating to the period between c.1880 and 1917. The site assemblage is likely the product of an accumulation of material variably deposited during the occupations of William Caldwell (1894-1899), Alice Primeau (1899-1907), the Conway family and their tenants (1907-1912) and/or Manley Cahoon (1912-1915). Given the age of the site and the lack of integrity, Location I (AaHs-138) is considered sufficiently documented. The site does not meet provincial criteria for Stage 4 assessment and no further work is recommended. **As such, the subject property should be considered free of archaeological concern.”**

In conclusion, the findings of the archaeological report do not warrant any further study of the property. There should be statements provided within the site plan agreement to provide direction should artifacts or remains be discovered during construction.

4.0 PROVINCIAL POLICY STATEMENT (PPS 2020)

When reviewing a planning application to determine if the requested Official Plan Amendment (OPA) and Zoning Bylaw Amendment (ZBA) makes sound planning, it is imperative that the proposed development is consistent with the Provincial Policy Statements (PPS): "The Provincial Policy Statement provides policy direction for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment. It (PPS) recognizes that the wise management of development may involve directing, promoting or sustaining growth. Land use must be carefully managed to accommodate appropriate development to meet the full range of current and future needs, while achieving efficient development patterns."

"Section 1.1.1 Healthy, liveable and safe communities are sustained by:

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*

COMMENT:

In my professional opinion, the proposed OPA and ZBA allowing for the adaptive reuse of the presently existing heritage building and the proposed new building will create an efficient and effective use suited and compatible with the existing neighbourhood.

- b) accommodating an appropriate affordable and market-based range and mix of residential types (including single-detached, additional residential units, multi-unit housing, affordable housing and housing for older persons), employment (including industrial and commercial), institutional (including places of worship, cemeteries and long-term care homes), recreation, park and open space, and other uses to meet long-term needs;*

COMMENT:

The condominium buildings will provide for an alternative style and tenure of housing than the standard housing in Amherstburg. The OPA and ZBA will facilitate the provision of a variety and diversity of housing needed within a community to support a healthy community. The residential buildings will be developed as condo ownership providing for an alternative housing style and tenure while supporting a diversification of housing styles and tenures within Amherstburg.

- c) avoiding development and land use patterns which may cause environmental or public health and safety concerns;*

COMMENT:

The existing St Anthony's Lofts were built in 1910 as a school with the remainder of the property vacant lands for play area associated with the previous school and subsequent youth center. Considering the previous historical uses, there are no known contaminants on site. There are no environmental or health issues associated with the adaptive re-use of the existing building.

- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas;*

COMMENT:

The subject lands are located within the urban area of the settlement area within the Town of Amherstburg. The adaptive re-use of the existing building and the additional building creates an infilling residential development within an established residential neighbourhood; the buildings are distance separated, provide a neighbourhood buffer between existing low and medium density residential, low profile, medium density residences that in my opinion, provide a housing tenure and style diversification that is compatible with the neighbourhood. The property is located within a residential area peripheral to the downtown core and will not result in the unnecessary expansion of the urban settlement area.

- e) promoting the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;*

COMMENT:

The subject development is proposed as an adaptive reuse of an existing heritage building converted to condos and an additional condo building within a mixed density residential neighbourhood.

The re-development of the existing building with an adaptive re-use of the presently vacant institutional building to condominiums and an additional condominium building with a total of 50 units to create a medium density development is best suited as an unobtrusive infill in the existing mixed density residential neighbourhood. The proposal supports the establishment of alternative housing tenure and style while being neighbourhood compatible.

COMMENT:

The utilization of the vacant building for the inclusion of 16 residential condominium units and the development of an condo building with 34 residential condominium units will result in with an appropriate intensification of use.

Site services are available to the site. The location will allow for an efficient and effective development while providing for a cost effective utilization of existing municipal infra-structure. As noted in the Engineering report, there is municipal capacity to accommodate the proposed land use and the development will not result in an expansion of municipal infrastructure.

The adaptive re-use of the existing building for condominiums and the new condominium building combined with the location in the periphery to the downtown area of the municipality will result in the support and cost effective utilization of municipal services such as the transit system, walking trail and bike trail infrastructure.

Proposed OPA will provide for residential policies and ZBA will recognize the site specific regulations and support the establishment of the residential development.

COMMENT:

In my professional opinion, the proposed residential adaptive re-use of the heritage building, and the re-development of the property is consistent with and supports the cost-effective re-use of the property while minimizing land consumption and supports the efficient and effective utilization of municipal infrastructure.

- f) improving accessibility for persons with disabilities and older persons by addressing land use barriers which restrict their full participation in society;*

COMMENT:

Building accessibility will be established in compliance with the OBC for all the residential units.

- g) ensuring that necessary infrastructure and public service facilities are or will be available to meet current and projected needs*

COMMENT:

The existing building is connected to municipal services and the proposed new condominium building will be connected to municipal infrastructure. As noted in the Civil Works report there is capacity available in the municipal infrastructure to accommodate the proposed 50 unit condos. The proposed adaptive re-use and the new condo building is considered an efficient and effective utilization of municipal infrastructure.

h) promoting development and land use patterns that conserve biodiversity; and

COMMENT:

The requested development is for an adaptive re-use of an existing building and the additional building is located on vacant lands. The proposed development assists with the conservation and preservation of biodiversity by providing for wise intensification with redevelopment of existing lands as infilling in an urban centre.

i) Preparing for the regional and local impacts of a changing climate.

COMMENT:

The building is located within a neighbourhood providing services and commodities within walking distance. There are employment opportunities within walking distance to the site, supporting the work/live initiative. In my professional opinion the proposal considers the changing climate by reducing the dependence on the vehicle while supporting walking, biking and healthy community initiatives of the Municipality and Province.

“Section 1.1.3.2 Land use patterns within settlement areas shall be based on:

- a) densities and a mix of land uses which:*
 - 1. efficiently use land and resources;*
 - 2. are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion;*
 - 3. minimize negative impacts to air quality and climate change, and promote energy efficiency;*
 - 4. prepare for the impacts of a changing climate;*
 - 5. support active transportation;*
 - 6. are transit-supportive, where transit is planned, exists or may be developed; and*
 - 7. are freight-supportive; and*
- b) a range of uses and opportunities for intensification and redevelopment in accordance with the criteria in policy 1.1.3.3. where this can be accommodated.”*

COMMENT:

The proposed adaptive re-use of an existing, under utilized building and the further development of vacant lands as infilling development as noted above, is an efficient use of the land.

The proposed development is an efficient use of the existing municipal services and can be considered an appropriate use of the subject lands. There is no need to expand municipal services to accommodate the proposed development.

In my professional opinion, the proposed residential development is an efficient, effective development for the site and supportive of the PPS policies ensuring compatible new development with the existing neighbourhood.

“Section 1.1.3.3 Settlement Areas

Planning authorities shall identify appropriate locations and promote opportunities for transit-supportive development, accommodating a significant supply and range of housing options through intensification and redevelopment where this can be accommodated taking into account existing building stock or areas, including brownfield sites, and the availability of suitable existing or planned infrastructure and public service facilities required to accommodate projected needs.”

COMMENT:

The subject lands are within a short walking distance to the downtown and within a neighbourhood where municipal transit is available. The OPA/ZBA will support the evolution of an under utilized vacant building for a residential condominium and vacant lands for a residential condominium building to provide needed residential accommodation within a residential neighbourhood in the periphery to the downtown.

“Section 1.1.3.4 Settlement Areas

Appropriate development standards should be promoted which facilitate intensification, redevelopment and compact form, while avoiding or mitigating risks to public health and safety.”

COMMENT:

The development of the subject lands supports, promotes and facilitates an appropriate land use for the neighbourhood while allowing for an intensification of land use and providing needed residential condominium units as alternative tenure and style of housing. As an adaptive re-use of an existing, under utilized building and the managed intensification by development of vacant lands can be considered an appropriate re-development. There are no public health issues or risks associated with the proposed development.

COMMENT:

In my professional opinion, the requested OPA and ZBA is consistent with the 2020 PPS by supporting the sound and efficient adaptive re-use of an existing heritage building and for the managed intensification and growth associated with the inclusion of residential land use for the subject site. Providing for a site specific ZBA regulation that support the redevelopment of these lands for residential condominiums, in my professional opinion supports the Healthy Community initiatives and is therefore consistent with the Provincial Policy Statements.

5.0 COUNTY OF ESSEX OFFICIAL PLAN:

The County of Essex Official Plan provides policies directing land use within the entirety of the County of Essex. The policies are consistent with the Provincial Policy Statements and provides additional policy direction for development within the County of Essex.

“3.2.1 General Directive Schedule “A1” of this Plan identifies the location and precise boundaries of the “Settlement Areas” within the County. Schedule “A2” details the structure of the “Settlement Areas”, by differentiating between Primary and Secondary.

It is the vision and purpose of this Plan to direct the majority of future growth and development into the Primary Settlement Areas in order to strengthen the County’s settlement structure, focus public and private investment in fewer areas and to preserve the lands designated “Agricultural” and “Natural Environment” for the purposes outlined in the policies of this Plan.”

COMMENT:

The subject lands are located within the Principal Settlement Area of the Town of Amherstburg.

In my professional opinion, the proposed OPA/ZBA conforms with S.3.2.1 of the County Official Plan.

“3.2.2 Goals

The following goals are established for those lands designated as “Settlement Areas” on Schedule “A1”:

- a) Support and promote public and private re-investment in the Primary Settlement Areas.*
- b) To support and promote healthy, diverse and vibrant settlement areas within each of the seven Essex County municipalities where all county residents, including special interest and needs groups can live, work and enjoy recreational opportunities*
- c) To promote development within Primary Settlement Areas that is compact, mixed-use, pedestrian oriented, with a broad range of housing types, services and amenities available for residents from all cultural, social and economic backgrounds.”*

COMMENT:

The investment to re-develop the subject lands is focused within the settlement area of the Town of Amherstburg.

The proposed development will provide for alternative housing and tenure by supporting diversification of the housing market by providing condominium accommodation and ownership.

The proposed development is for a medium density development in a mixed density neighbourhood. The development will support managed appropriate intensification of residential land use.

In my professional opinion, the proposed OPA/ZBA conforms with S.3.2.2 Goals of the County Official Plan.

“3.2.4.1 Policies apply to Primary Settlement Areas:

- b) Primary Settlement Areas shall have full municipal sewage services and municipal water services and stormwater management services, a range of land uses and densities, a healthy mixture of housing types including affordable housing options and alternative housing forms for special needs groups and be designed to be walkable communities with public transit options (or long-term plans for same).”*

COMMENT:

The OPA/ZBA will support the repurposing of the existing heritage building and adapting it to a new use from the original school to a residential condominium. The property will be further developed with an additional condominium building. Both buildings will provide alternative housing style and tenure within an area that is walkable to the downtown for commercial amenities.

In my professional opinion, the proposed OPA/ZBA conforms with S.3.2.4.1 of the County Official Plan.

COMMENT:

The proposed development will provide for needed alternative residential housing within the Primary Settlement area of Town of Amherstburg.

In my professional opinion, the proposed OPA/ZBA conforms with the County Official Plan.

6.0 TOWN OF AMHERSTBURG OFFICIAL PLAN:

The subject lands are presently designated 'Institutional' in the Town of Amherstburg Official Plan. The following policies relate to the permitted uses within the 'Institutional' designation:

"4.6 INSTITUTIONAL LAND USE DESIGNATION

The Institutional classification of land shall mean that the predominant use of the land so designated shall be for uses which exist for the benefit of the residents of Amherstburg and which are operated by the municipality or other public organization for this purpose. The general principles to be considered in the development and control of the use of such land are as follows: The uses permitted shall include educational facilities including public, separate, and private schools, places of worship, other civic and institutional uses such as fire halls, police stations, libraries and similar uses, public and private open space areas, active and passive recreation facilities, and community facilities are also included within the Institutional designation. In addition, municipal and private utility works such as water towers, sewage treatment facilities, telephone and gas utility operating facilities, and similar uses are also permitted uses.

COMMENT:

The proposed adaptive re-use of the existing building from a youth centre to a residential condominium use and the inclusion of a new residential condominium use does not conform with the permitted uses under the existing 'Institutional' designation permitted under S. 4.6 of the OP. An OPA is required to change the OP designation to 'Residential' to allow for the proposed development.

An Official Plan Amendment (OPA) has been requested to redesignate the subject lands 'Residential' to apply the following policies to the proposed residential land use. The 'Residential' designation of the Official Plan permits low, medium or high profile residential buildings in the Mixed Use designation. The owner proposes to adapt the existing structure from the previously under utilized and unoccupied institutional use to residential condominiums while also providing for an additional residential condominium on adjacent lands.

“4.2 RESIDENTIAL USES 4.2.1

It is the intention of this Plan to ensure that sufficient lands have been placed in various Residential designations to accommodate the anticipated population in a suitable variety of locations, densities, and unit types. This Plan also intends to ensure that new development or redevelopment is appropriately located, is compatible with surrounding land uses, and incorporates energy efficient aspects in its design. The Plan also intends to encourage the development of economical housing in a suitable environment. Existing housing and existing residential areas shall be preserved and improved.”

COMMENT:

The requested OPA will support the redevelopment of the site for residential development that will provide for alternative housing style and tenure. The provision of 16 new condominiums provides for alternative housing tenure and style to the present single detached residences that are typically available for sale in Amherstburg. The addition of a new condominium building will provide for alternative tenure and accommodation that is greatly needed within the Town.

The adaptive re-use of the existing building and the additional building creates an infilling residential development within an established mixed density residential neighbourhood; the buildings are distance separated, provide a neighbourhood buffer between existing low and medium density residential, low profile, medium density residences that in my opinion, provide a housing tenure and style diversification that is compatible with the neighbourhood. The buildings will also provide for transitioning from the existing medium density housing to the single detached housing located with distance separation.

The adaptive re-use of the existing building to new residential condominium will also support the preservation of significant heritage for the Town of Amherstburg.

The proposed development will provide for alternative housing tenure and style that is compatible in density and form to the existing mixed density neighbourhood.

In my professional opinion, the proposed OPA/ZBA conforms with S.4.2.1 of the Town of Amherstburg Official Plan.

“Section 1.7.5 Identified Areas for Residential Development

The main areas identified for residential development are:

- (1) the old Town of Amherstburg;*
- (2) lands immediately to the south of the old Town (up to the Big Creek fill regulation which is now known as the Limit of the Regulated Area);*
- (3) lands to the north of Texas Road (up to the Edgewater sewage treatment facility);*
- (4) McGregor;*
- (5) Bois Blanc Island; and,*
- (6) Amherst Point.*

These areas are where the greatest concentration of development has already occurred, or has been planned for, and are areas located within sanitary sewer service areas. The old Town of Amherstburg has the greatest concentration of support services such as parks, open space, schools, churches, social services, medical services, commercial facilities and employment opportunities.”

COMMENT:

The proposed OPA/ZBA will be applied to the subject lands located within the periphery to the downtown core of the ‘old Town of Amherstburg’.

In my professional opinion, the proposed OPA/ZBA conforms with S.1.7.5 of the Town of Amherstburg Official Plan.

“4.3 RESIDENTIAL LAND USE DESIGNATIONS

The Residential classification of land shall mean that the predominant use of land so designated shall be for varying densities and types of residential land uses. Under the Residential classification, there are six Residential designations:

- (1) Low Density Residential*
- (2) Medium Density Residential*
- (3) High Density Residential*
- (4) Office Residential*
- (5) Heritage Residential*
- (6) Modular Home Residential.”*

COMMENT:

The Official Plan Amendment (OPA) will redesignate the subject lands from the present 'Institutional' designation to an appropriate 'Residential' designation. This will support the adaptive reuse and subsequent heritage preservation of the proposed heritage building.

In my professional opinion, the proposed OPA/ZBA conforms with S.4.3 of the Town of Amherstburg Official Plan.

"Section 4.3.2 Medium Density Residential Areas

*The uses permitted in areas designated Medium Density Residential shall be limited to single, duplex, triplex, conversions, and horizontal multiples, home occupation uses and public uses. In addition to these permitted uses, **low-rise apartment buildings with a maximum height of five stories are permitted.***

The maximum density shall not exceed 70 units per gross hectare."

COMMENT:

Phase 1 building is an existing heritage building with 54.5 ft and 3.5 storey height. Proposed Phase 2 building will be slightly shorter with 45 ft height (top of parapet) to ensure the Phase 2 building is shorter than the existing heritage building out of respect to the heritage of the existing structure. Phase 2 building will be 4 storeys in height.

The redesignation will allow for the development of the Phase 2 subject lands with a new residential land use. The two phases at 50 units for the 0.7516 ha lands will result in a Medium Density Residential development at 66 units/ha for the subject lands.

In my professional opinion, the proposed OPA/ZBA conforms with S.4.3.2 of the Town of Amherstburg Official Plan.

“Section 4.3.2 Medium Density Residential Areas

The general location shall be in conformity with Schedules “A” and “B”.

The Medium Density Residential area may have separate zoning categories in the implementing Zoning By-Law.

Where a large dwelling would be converted to contain a number of additional dwelling units, this activity would be permissible provided that:

- (1) Required parking spaces can be provided on the site, other than within the required front yard;*
- (2) There is no change in the exterior character of the dwelling;*
- (3) Adequate buffering and transition can be provided to surrounding lower density development; and,*
- (4) There is no change in the character of existing development, using the criteria outlined above to determine the effect of the proposal. If the proposed development will result in a change in the character, an Official Plan amendment will be required, with a study being required and a public hearing being held to determine if the Official Plan amendment should be undertaken.”*

COMMENT:

The existing heritage building has historically been used as a school and then a youth centre, not a residence. With the adaptive re-use of this institutional building, the above criteria was considered for the conversion of the large building to a residential use.

- (1) Parking has been calculated for Phase 1 and Phase 2 in compliance with Parking Standards established in the CZB. The provision of parking exceeds the bylaw requirements and will be provided as follows:

Phase 1 - 16 residential units; required 1/unit = 16 spaces; provided = 30 reg, 2 BF

Phase 2 - 34 residential units; required 1/unit = 34 spaces; provided = 42 reg, 2 BF

- (2) The building is designated under Part IV of the Heritage Act. The exterior of the building requires some minor modifications to accommodate deteriorated items such as windows however these will be replaced with replicas of the existing feature. There will be minor modifications to the exterior to modernize the building with items such as elevator shafts to accommodate accessibility. The minor modifications have been approved by the Heritage Committee. The minor modifications have been minimized to reduce visual impact and in my professional opinion, do not change the character of the building.
- (3) The lot configuration and size support buffering and distance separation from existing residential uses creating a compatible development within the neighbourhood;
- (4) An OPA has been requested to support the adaptive re-use of the heritage building from institutional to residential. The OPA will support the heritage preservation, provide for needed alternative residential uses, and will establish a land use appropriate for the site and the neighbourhood.

In my professional opinion, the proposed OPA/ZBA conforms with S.4.3.2 of the Town of Amherstburg Official Plan.

COMMENT:

In my professional opinion, the requested OPA/ZBA conforms with the relevant policies of the Official Plan for the justification noted above.

7.0 ZONING BY-LAW REGULATIONS

The subject lands are zoned 'Institutional (I)' in the Comprehensive Zoning By-law for the Town of Amherstburg.

The land use of residential is a not a permitted use in the 'Institutional (I)' zone presently applied to the subject lands. The change of use from a school to a residential use doesn't comply with the existing regulatory framework applied to the property.

A Zoning Bylaw Amendment (ZBA) has been requested to rezone the subject lands to 'Residential Multiple Second Density (RM2)' zone under the Comprehensive Zoning Bylaw 1999-52 for the Town of Amherstburg.

In addition to recognizing the proposed residential land use outlined for Phase 1 and 2, it is critical to place site specific regulations on the site to recognize the existing heritage aspects of the building setbacks and site context for Phase 1 and the proposed new building for Phase 2. Establishing site specific regulations for Phase 1 to maintain the heritage situate of the building will support the conservation and preservation of the heritage building. As well, it is critical to reflect the uniqueness of the regulations on the vacant parcel to ensure heritage aspects such as established front yard setback is respected for the future Phase 2 development.

TABLE 3: EXTERIOR FEATURES UNDER BYLAW:

PROVISION	'RESIDENTIAL (RM2)' REGS	PHASE 1	PHASE 2
LOT AREA	840 m2	3,626 m2	3,889 m2
LOT FRONTAGE	30 m	36.5 m	56.9 m
REAR YD SETBACK	7.5 m	6.7 m	8.3 m
FRONT YD SETBACK	7.5 m	16 m	4.5 m
INTERIOR SIDE YD	6 m	4.2 m	4.0 m
EXTERIOR SIDE YD	6 m	10 m	N/A
LANDSCAPED OPEN SPACE	30%	33.7%	
HEIGHT (MAX)	22 m	13.7 m	16.7 m
LOT COVERAGE	40%	18%	28.7%
PARKING	1 sp/unit	16 spaces req'd 30 reg + 2 BF	34 spaces req'd 42 reg + 2 BF

COMMENT:

In my professional opinion, the requested ZBA complies with the intent of the CZB to recognize site specific regulations for the existing building and provide for site specific provisions for the Phase 2 building to recognize the heritage aspects of the property. After passing of the ZBA, the proposed development will comply with the regulatory framework under the CZB for the Town of Amherstburg.

8.0 CONCLUSIONS

In my professional opinion, the requested Official Plan Amendment (OPA) and Zoning Bylaw Amendment (ZBA) purports to apply 'Residential' Official Plan policy framework and will provide a new site specific regulatory framework to allow for an appropriate land use for the subject site. As an adaptive re-use of the existing under utilized building, the residential condominium uses are compatible with the neighbourhood and appropriate utilization of the existing building and proposed future building with the existing neighbourhood.

The OPA/ZBA will support the preservation of significant heritage building in the Old Town of Amherstburg. As well, the ZBA will support the preservation of the viewscape of the heritage building by providing for site specific bylaw regulations to ensure the respect and sympathy the new building will provide to the existing heritage while allowing for new infilling development.

The existing building and proposed building height and massing will provide for a buffering with the existing mixed density housing from the single detached residences in this older established neighbourhood of the Old Town of Amherstburg. The proposed development of both Phase 1 and Phase 2 will provide for needed alternative housing supporting diversity in housing in the Town. The OPA/ZBA will support the Town's residential policy initiatives to supply alternative housing through the adaptive re-use of the existing infrastructure and the new building being proposed. The initiative also supports the municipality's initiative to provide for a healthy, walkable community.

8.1 GOOD PLANNING

With the adaptive re-use of the existing 110 year old heritage building to residential condominiums with ownership tenure will require a change in policy framework that will be used to support the residential land use. Phase 2 is proposed for infilling development of a condominium building that will be designed to be supportive and respectful of the existing heritage building on the adjacent lands.

The OPA will establish 'Residential' policies for the subject lands to direct and support the proposed residential land use. The new development is intended as a medium density residential condominium development providing alternative housing tenure and style to the typical single detached residences found in the town.

The existing building is established while the Phase 2 building is proposed as infilling resulting in a medium density development within a mixed density residential neighbourhood. The proposed condominium development provides a diverse housing option as an alternative to the single detached residence.

The proposed adaptive re-use of the building to 16 condominiums and the new 34 unit condominium building, in my professional opinion, is compatible with the existing residential neighbourhood and would result in a low impact use on the long established residential neighbourhood.

Phase 1 is proposed as an adaptive re-use of the existing 3.5 storey building with the interior re-organized and retrofitted from the institutional use to provide for the 16 residential condominium units and will be sold as condominiums providing for alternative tenure and housing style.

To provide for an efficient and effective use of the subject lands, Phase 2 is comprised of a second building on a vacant lot to the east of the existing building. The second building will be developed with 34 residential condominium units for a total of 50 new residential units in the project on the subject lands. The additional 34 condominium units will provide for an alternative housing tenure and style while supporting a diversification in housing in Amherstburg.

Referring to pictures above, the present 3.5 storey height of the Lofts of St. Anthony's will not be modified. There are exterior modifications discussed above including an addition of an elevator to the side of the building but has been designed to have a lower profile than the existing building. There will be some exterior improvements to clean and repair the façade of the existing heritage building and replace any features identified requiring replacement. The new building has been designed to be compatible with the existing heritage building.

The proposed modifications and adaptive re-use of the building from the present vacant institutional building to needed residential condo use will support the rejuvenation of the existing building, will support the preservation of a heritage building, will provide for a compatible development as an adaptive re-use and infilling residential use in an existing residential neighbourhood, will provide an aesthetically pleasing development, will assist with rejuvenating the neighbourhood, and will provide for needed alternative residential housing tenure supporting the diversification of housing accommodation in the Town of Amherstburg.

In my professional opinion, the requested OPA and ZBA makes sound planning and the necessary amendments are supportable.

8.3 CONCLUSIONS

Given the foregoing assessment and our evaluation of the proposal in relation to the PPS 2020, the County of Essex Official Plan, The Town of Amherstburg Official Plan and the Comprehensive Zoning By-law, in my professional opinion the proposed Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) is consistent with policies of the PPS, OP, and regulations found in the Zoning By-law.

In addition, it is our opinion that the proposed Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) is appropriate and desirable within this policy framework as it will facilitate development of site while also implementing the proposals included in this Planning Justification Report dated March 7, 2022.

In summation, the proposal conforms with the proposed Official Plan Amendment (OPA) that will see the subject lands re-designated to 'Residential' and the proposal complies with the Zoning Bylaw Amendment (ZBA) that will appropriately establish a site specific regulatory framework under the 'Residential Multiple Second Density (RM2)' zone. The OPA and ZBA provides a good solution for the preservation of the heritage of the designated property while providing for needed residential accommodation and supporting a diversity of housing tenures and styles within the municipality.

In my professional opinion the requested OPA and ZBA:

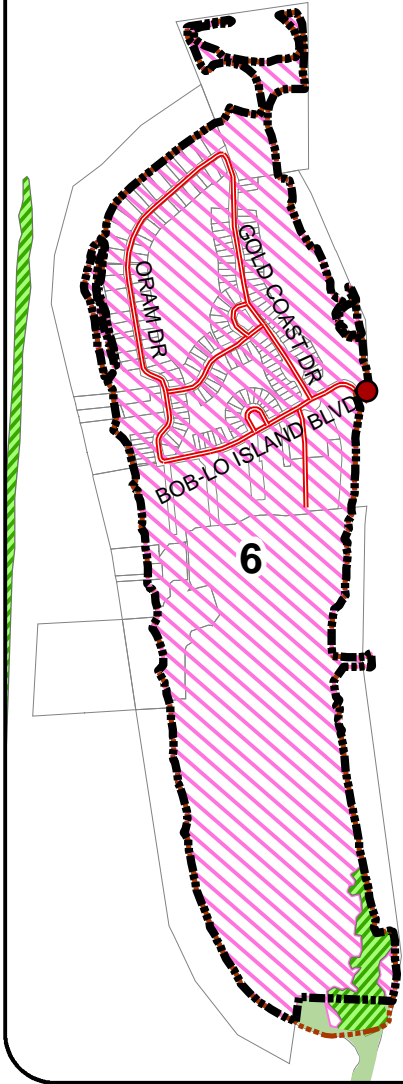
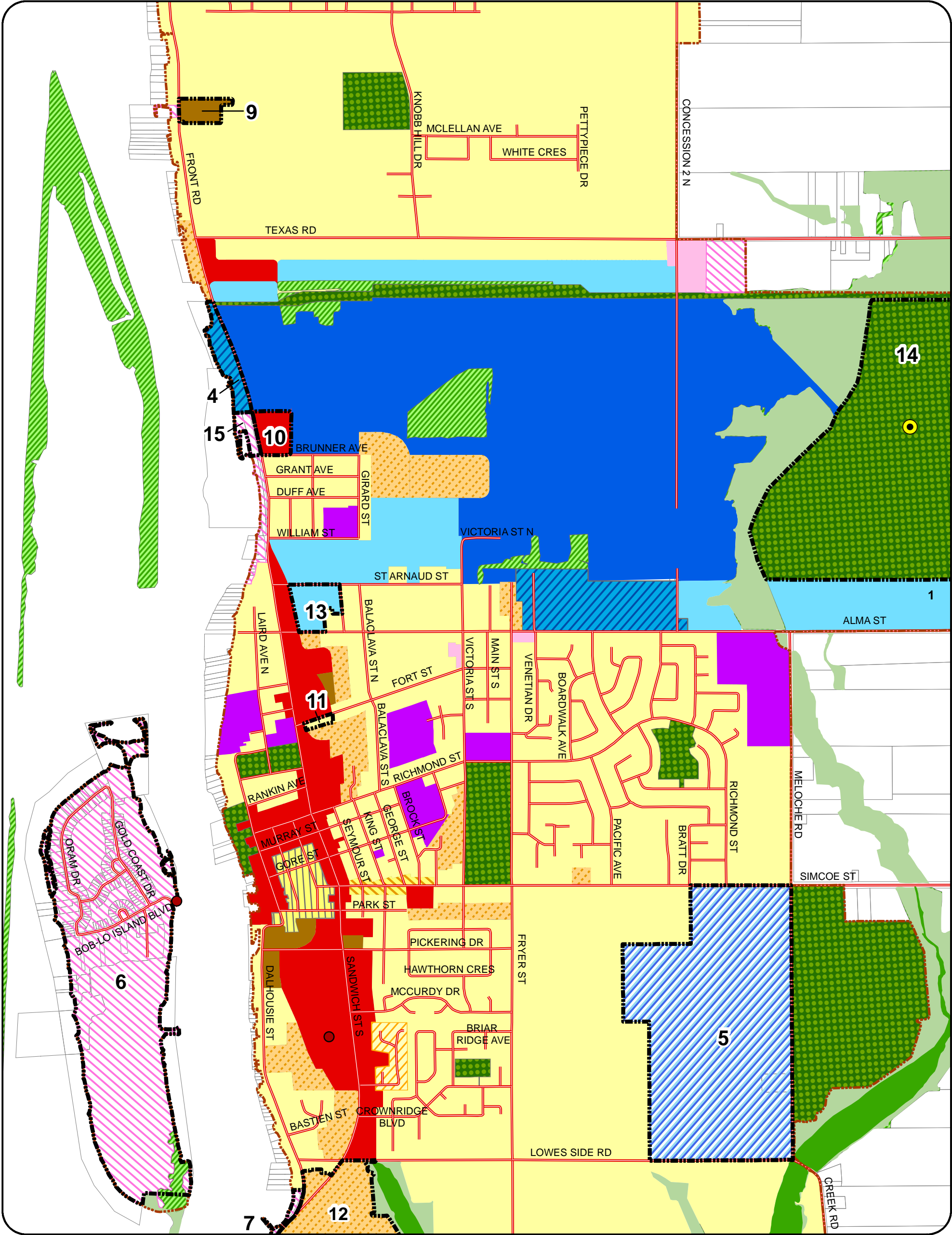
- 1) is consistent with the policies of the 2020 Provincial Policy Statements;
- 2) maintains the intent of the relevant policies of the Town of Amherstburg Official Plan and when the OPA is adopted, it will conform with the established policy framework of the OP;
- 3) maintains the intent of Town of Amherstburg CZB and when the ZBA is passed, it will establish the regulatory framework required for the development to comply with the CZB;
- 4) makes sound planning.

I hereby certify that this report was prepared by Jackie Lassaline RPP MCIP, a Registered Professional Planner within the meaning of the Ontario Professional Planners Institute Act, 1994.

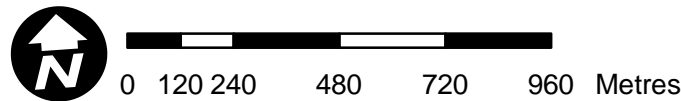
Lassaline Planning Consultants Inc.

Jackie Lassaline BA MCIP RPP
Principal Planner

APPENDIX A – OFFICIAL PLAN SCHEDULE A



TOWN OF AMHERSTBURG
OFFICIAL PLAN
SCHEDULE "B-2"
LAND USE PLAN



Legend

- | | | |
|-----------------------------------|--------------------------|---------------------------|
| Agricultural | Heritage Residential | Recreational Development |
| Settlement Area Boundary | Modular Home Residential | Open Space |
| Provincially Significant Wetlands | Neighbourhood Commercial | Special Policy |
| Natural Environment | General Commercial | Closed Landfill Site |
| Woodlots | Special Industrial | Open Landfill Site |
| Low Density Residential | Light Industrial | Sewage Treatment Facility |
| High Density Residential | Heavy Industrial | |
| Medium Density Residential | Extractive Industrial | |
| Office Residential | Institutional | |

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Fill and flood line information copyright Essex Region Conservation Authority. Fill and flood lines represented on this map are for visual reference only, and are not to be considered legal boundaries. Confirmation of the actual boundaries must be confirmed on the legal fill and flood line mapping located at the Essex Region Conservation Authority office.
The boundaries of Environmentally Significant Areas as shown on the map are approximate. The location and status of these sites are subject to change. Boundaries of Environmentally Significant Areas are subject to verification by the Essex Region Conservation Authority.

APPENDIX B – ‘RESIDENTIAL MULTIPLE SECOND DENSITY (RM2)’

SECTION 11 RESIDENTIAL MULTIPLE SECOND DENSITY (RM2) ZONE

(1) SCOPE

The provisions of this Section shall apply in all Residential Multiple Second Density (RM2) Zones except as otherwise provided in the Special Provisions Subsection of this Section.

(2) USES PERMITTED

No person shall within any RM2 Zone, use any lot or erect, alter or use any building or structure for any purpose except one or more of the following RM2 uses, namely:

- (i) multiple dwelling;
- (ii) continuum-of-care facility;
- (iii) home occupation;
- (iv) accessory uses;
- (v) public use.

(3) ZONE REQUIREMENTS

No person shall within any RM2 Zone, use any lot or erect, alter or use any building or structure except in accordance with the following provisions.

(a)	Lot Area (Minimum)	840 m ²
(b)	Lot Frontage (Minimum)	30 m
(c)	Front Yard Depth (Minimum)	7.5 m
(d)	Interior Side Yard Width (Minimum) or half the height of the building, whichever is greater.	6 m
(e)	Exterior Side Yard Width (Minimum) or half the height of the building, whichever is greater.	6 m
(f)	Rear Yard Depth (Minimum)	7.5 m
(g)	Lot Coverage (Maximum) including parking structures	40%
(h)	Landscaped Open Space (Minimum)	30%
(i)	Dwelling Unit Area (Minimum)	
	(i) Bachelor dwelling unit	35 m ²
	(ii) Dwelling unit containing one bedroom	50 m ²

- | | | |
|-------|---|-------------------|
| (iii) | Dwelling unit containing two bedrooms | 65 m ² |
| (iv) | Dwelling unit containing three bedrooms | 80 m ² |
| (v) | Dwelling unit containing more than three bedrooms
- 80 m ² plus 10 m ² for each bedroom in excess of 3 | |
| (j) | Height (Maximum) | 22 m |
| (k) | Privacy Yards (Minimum) | 7 m |
| | A privacy yard shall be provided adjoining each exterior wall of every dwelling unit that contains habitable room window. | |
| (l) | Building Separation (Minimum) | |
| (i) | between two primary windows | 15 m |
| (ii) | between a primary window and a secondary window | 12 m |
| (iii) | between a primary window and an ancillary window | 9 m |
| (iv) | between a primary window and a blank wall | 7.5 m |
| (v) | between two secondary windows | 9 m |
| (vi) | between a secondary window and an ancillary window | 6 m |
| (vii) | between a secondary window and a blank wall | 4 m |
| (m) | Accessory Uses, Parking, Home Occupation, etc. in accordance with the provisions of Section 3 hereof. | |

(4) SPECIAL PROVISIONS

(a) RM2-1 (UNION HALL)

Notwithstanding any provisions of this By-law to the contrary, within any area designated RM2-1 on Schedule "A" hereto, the following special provisions shall apply:

- (i) Uses Permitted
1. an assembly hall;
 2. offices accessory to a permitted use;

APPENDIX C – HERITAGE BYLAW 2021-079

THE CORPORATION OF THE TOWN OF AMHERSTBURG

BY-LAW NUMBER 2021-079

A By-law to designate the property known as the “St. Anthony School” as being of cultural heritage value or interest.

WHEREAS the *Ontario Heritage Act* authorizes the Council of a municipality to enact By-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

AND WHEREAS authority was granted by Council to designate the property located municipally at 247 Brock Street and known as the “St. Anthony School”, as being of cultural heritage value or interest;

AND WHEREAS the St. Anthony School is legally described as:

LT 1 E/S KEMPT ST, 3 E/S BROCK ST, 18 W/S KEMPT ST, 19 W/S KEMPT ST PL 1
AMHERSTBURG; PT KEMPT ST PL 1 AMHERSTBURG CLOSED BY R1109842; PT EPT LT 2
CON 1 MALDEN AS IN R1143624; AMHERSTBURG

AND WHEREAS the Council of the Town of Amherstburg has caused to be served upon the owners of the land and premises known as the St. Anthony School and upon the Ontario Heritage Trust, Notice of Intent to designate the property and has caused the Notice of Intent to be published in a newspaper having general circulation in the municipality as required by the Ontario Heritage Act;

AND WHEREAS the property’s cultural heritage value or interest, its important physical heritage attributes, and therefore its reasons for designation are summarized and set out in Schedule “A” to this bylaw;

AND WHEREAS a more fulsome description of the history and cultural heritage value of the St. Anthony School is set out in Schedule “B”;

AND WHEREAS the St. Anthony School is visually represented in Schedule “C”;

AND WHEREAS any future interventions or changes to the property shall follow commonly used heritage-conservation best practices, as set out in Schedule “D”;

NOW THEREFORE the Council of the Corporation of the Town of Amherstburg hereby enacts as follows:

1. The property at 247 Brock Street, known as the St. Anthony School and more particularly described in Schedule “A” is hereby designated as being of cultural heritage value or interest, for the reasons set out in Schedules “A” and “B”.


2. Any future interventions or changes to the property shall follow commonly used heritage-conservation best practices, as set out in Schedule “D”.

3. The Town Solicitor is authorized to cause a copy of this by-law to be registered in the proper Land Registry Office against the property located at 247 Brock Street and legally described as:

LT 1 E/S KEMPT ST, 3 E/S BROCK ST, 18 W/S KEMPT ST, 19 W/S KEMPT ST PL 1
AMHERSTBURG; PT KEMPT ST PL 1 AMHERSTBURG CLOSED BY R1109842; PT EPT LT 2
CON 1 MALDEN AS IN R1143624; AMHERSTBURG

4. The Town clerk is authorized to cause a copy of this bylaw to be served upon the owner of the property located at 247 Brock Street, and upon the Ontario Heritage Trust and to cause notice of this bylaw to be published in a newspaper having general circulation in the Town of Amherstburg as required by the *Ontario Heritage Act*.

Read a first, second, and third time and finally passed the 13 day of December, 2021.



MAYOR – ALDO DICARLO



CLERK – VALERIE CRITCHLEY

SCHEDULE “A” - STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST AND HERITAGE ATTRIBUTES

Description of Property

247 Brock Street, Amherstburg, Ontario

LT 1 E/S KEMPT ST, 3 E/S BROCK ST, 18 W/S KEMPT ST, 19 W/S KEMPT ST PL 1 AMHERSTBURG; PT KEMPT ST PL 1 AMHERSTBURG CLOSED BY R1109842; PT EPT LT 2 CON 1 MALDEN AS IN R1143624; AMHERSTBURG

known as the “St. Anthony School”

Statement of Cultural Heritage Value of Interest

Built 1910-11, and expanded in 1929, the building has design value unique as a substantial and important example of Romanesque Revival-style architecture in the Town of Amherstburg; Classical Revival-style elements also distinguish the building.

The building also has physical value being unique for its extensive use of local limestone, which was not a commonly used building material in the Town despite being a local material. It is one of only a small number of limestone buildings in the town, and among the most substantial.

Originally St. Anthony School, the property has historical value in the community as an important and integral educational institution. From 1912 to 1972 the building was a hub of educational activity, serving as a Roman Catholic Separate School, initially to serve lower grades.

The property has contextual value being historically and visually linked to its surroundings adjacent to St. John the Baptist Roman Catholic church. With the church building, the property recalls the significant historical presence of the Roman Catholic church in the town.

With the school building's prominent and distinctive physical presence on a corner lot visually linked to the adjacent church, the building stands out in an otherwise residential neighbourhood.

Heritage Attributes

The primary exterior heritage attributes (character-defining elements) of the property are its:

Exterior:

- Original location and placement on Brock Street, adjacent to St. John the Baptist Roman Catholic church;
- Rectangular, two-storey form on a raised basement;
- Hipped primary roof; gabled (pedimented) frontispiece; metal roofline cornices; secondary metal cornices atop doorways; exterior stone chimney;
- Masonry construction and limestone facades with sandstone detailing; the limestone main exterior stairs;
- Fenestration, symmetrical in arrangement; wooden sash windows; single and double doorways and assemblies with transom lights above.

Interior:

- two staircases with wood balustrades;
- interior spatial configuration;
- wood finishes comprising door and window casings, baseboards, and doors throughout.

SCHEDULE “B” – STATEMENT OF SIGNIFICANCE

Description

Built 1910-11, with a 1929 extension, St. Anthony School is two-storey, limestone-clad building designed in the Romanesque Revival style, with Classical Revival style influences. The property is in a historic residential area adjacent to St. John the Baptist Roman Catholic Church.

Heritage Value

St. Anthony School has design value unique as a substantial and important example of Romanesque Revival-style architecture in the Town of Amherstburg; Classical Revival-style elements also distinguish the building. Aligning the building with the Romanesque Revival style are elements such as its rough-faced stone finish and rounded-arch windows, while classical-style cornices, the pedimented frontispiece, and doorway fanlights further contribute to the composition.

The original building is the work of a renowned Detroit architect, Peter Dederichs. Dederichs designed numerous buildings for the Roman Catholic Dioceses of Detroit, including the impressive 1885 St. Mary's Roman Catholic Church. In Canada Dederichs also designed many buildings for the Roman Catholic Church, most notably the 1907-08 Gothic Revival-style chapel at Assumption Roman Catholic College in Windsor. The 1929 addition was designed by the prolific Windsor firm of Pennington & Boyde, who were favoured architects of the Roman Catholic church in the region, and who designed a broad spectrum of residential, institutional, ecclesiastical and commercial buildings in the southwestern Ontario.

The building also has physical value being unique for its extensive use of Amherstburg limestone, which was not a commonly used building material in the Town despite being a local material. Berea sandstone was used for the detailing and smooth finishes. It is one of only a small number of limestone buildings in the town, and among the most substantial.

Originally known as St. Anthony School, the property has historical value in the community as an important and integral educational institution. From 1912 to 1972 the building was a hub of educational activity, serving as a Roman Catholic Separate School, initially to serve lower grades. When the addition was completed in 1929, the school was able to serve children up to Grade Eight. From 1974 – 2020 the building became the House of Shalom, a non-denominational youth centre.

The property has contextual value being historically and visually linked to its surroundings adjacent to St. John the Baptist Roman Catholic church. With the church building, the property recalls the significant historical presence of the Roman Catholic church in the town.

With the school building's prominent and distinctive physical presence on a corner lot visually linked to the adjacent church, the building stands out as a landmark in an otherwise residential neighbourhood.

SCHEDULE “C” – IMAGES OF THE ST. ANTHONY SCHOOL
247 BROCK STREET PHOTOGRAPHS



Historic view of West (main) and North Facades, no date, Marsh Collection Society PC100.14



West (Main) façade of 247 Brock Street (August 9, 2021)



North façade of 247 Brock Street (August 9, 2021)



South façade of 247 Brock Street (September 2, 2021)



East facades of 247 Brock Street (August 9, 2021)



An example of one of the two staircases of 247 Brock Street (August 9, 2021)

SCHEDULE “D” – “THE STANDARDS”

(Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010)

General Standards for Preservation, Rehabilitation and Restoration

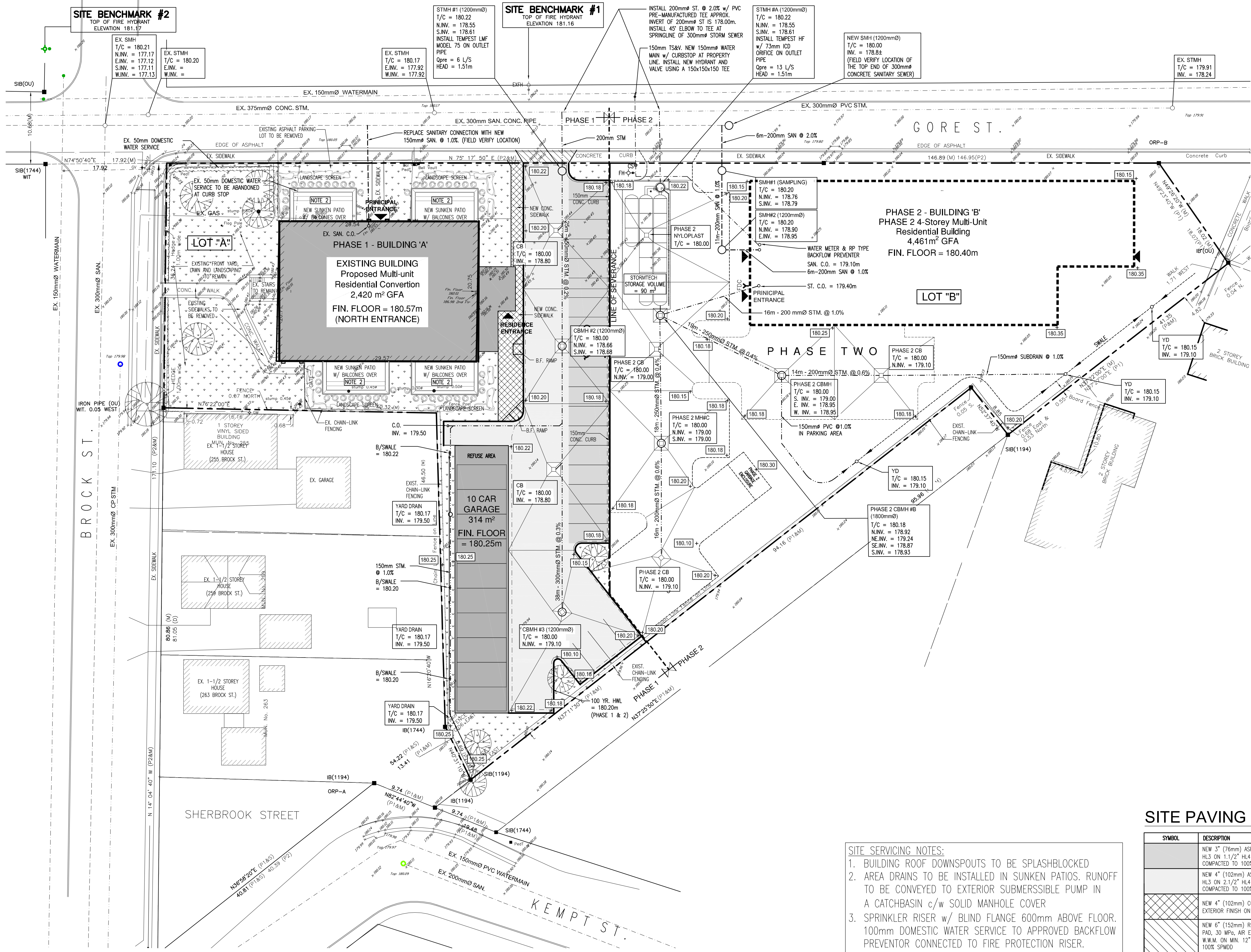
1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Additional Standards Relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Additional Standards Relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.



SITE NOTES:

AFTER EXCAVATION TO PROPER GRADE, PROOF ROLL EXISTING SUBGRADE AND FOLLOW IMMEDIATELY WITH PLACEMENT OF GRANULAR BASE UPON APPROVAL OF GEOTECHNICAL ENGINEER.

ALL WORK TO COMPLY WITH THE LOCAL BYLAWS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE OCCUPATIONAL HEALTH AND SAFETY REGULATIONS FOR CONSTRUCTION PROJECTS.

THE OWNER, ENGINEER AND THE LOCAL MUNICIPALITY AND ITS AGENTS DO NOT GUARANTEE THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS. OTHER UTILITIES MAY BE PRESENT OR UTILITIES MAY DIFFER IN SIZE OR LOCATION SHOWN. THE CONTRACTOR ASSUMES FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES PRIOR TO CONSTRUCTION TO LOCATE ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE TO REPAIR ANY DAMAGE THAT HE MAY CAUSE TO THESE UTILITIES. THE CONTRACTOR FURTHER AGREES TO INDEMNIFY THE OWNER AND ENGINEER AGAINST ANY CLAIMS WHICH MAY ARISE FROM HIS ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS WORK.

FIELD CHECK ALL EXISTING GRADE AND DIMENSIONS PRIOR TO COMMENCING ANY NEW CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

REMOVE ALL DEBRIS INCLUDING EXCAVATED MATERIALS, BROKEN CONCRETE ETC. FROM THE SITE.

BACKFILL ALL EXCAVATIONS BELOW PAVEMENT WITH FULL DEPTH GRANULAR MATERIAL COMPACTED TO MINIMUM 100% SPMOD. GRANULAR 'A' BASE SHALL BE A MINIMUM OF 300mm THICK UNLESS NOTED OTHERWISE.

ALL GRANULAR BASE ELEVATIONS BELOW CONCRETE SLABS TO AT A LEVEL WITHIN 10mm OF THE DESIGN ELEVATION.

ALL EXTERIOR CONCRETE TO BE 32 MPA CITY MIX WITH 6% + 1.1/2% AIR ENTRAINMENT.

ALL PARKING LOT LINES TO BE PAINTED BY CONTRACTOR (PARKING LOT MARKINGS DISTURBED BY CONSTRUCTION TO BE RE-PAINTED). REFER TO SITE PLAN FOR ALL PAVEMENT MARKINGS AND TRAFFIC SIGNAGE.

CONCRETE PADS AT REFUSE BINS LOCATIONS TO BE 200mm THK., 32 MPa, AIR ENTRAINED CONCRETE w/ 15x15x2mm18.7mm18.7 W.W.M. ON MIN. 300mm GRAN. A COMPACTED TO 100% SPMOD. CONCRETE FINISH: LIGHT BROOM IN DIRECTION OF CROSSFALL.

SIDEWALKS ON PRIVATE PROPERTY TO BE 100mm THK., 32 MPa, CONCRETE w/ 15x15x2mm18.7mm18.7 W.W.M. ON MINIMUM 250mm COMP. GRAN. 'A'. INSTALL 12mm EXPANSION JOINTS w/ DECK-O-FOAM (BY W.R. MEADOWS OR EQUIV.) EXPANSION JOINT FILLER WATERPROOFED w/ SEALANT AT 6m O.C. AND 6mm x 35mm DP. SAWCUTS @ 1.5m O.C.

SIDEWALK IN RIGHT-OF-WAY TO BE 125mm THK. AND 150mm THK. IN DRIVEWAY APPROACH, 35 MPa CONC. w/ AIR ENTRAINMENT ON MINIMUM 150mm COMP. GRAN. 'A' COMPACTED TO 100% SPMOD. PROVIDE 12mm EXPANSION JOINTS w/ DECK-O-FOAM (BY W.R. MEADOWS OR EQUIV.) EXPANSION JOINT FILLER WATERPROOFED w/ SEALANT AT 6m O.C. AND 6mm x 35mm DP. SAWCUTS @ 1.5m O.C.

SUPPLY AND INSTALL 50mm (20 psf) RIGID INSULATION UNDER SIDEWALK AT ALL DOOR LOCATIONS. EXTEND 1200mm FROM FOUNDATION WALL AND 1200mm EACH SIDE OF DOOR.

ALL EXPOSED CONCRETE SURFACES TO BE COATED WITH A WHITE PIGMENTED CONCRETE CURING COMPOUND (SEALGLO WP-45) CURE ALL SITE PLACED CONCRETE.

PROVIDE SAWCUT JOINTS IN CURB AT 3m ON CENTER. FILL JOINTS WITH JOINT FILLER. VERIFY JOINT LOCATION WITH ENGINEER. INSTALL 12mm EXPANSION JOINTS w/ DECK-O-FOAM (BY W.R. MEADOWS OR EQUIV.) EXPANSION JOINT FILLER WATERPROOFED w/ SEALANT AT 6m O.C.

GRANULAR 'A' TO OPS5 1010

ASPHALT PAVING TO CONSIST OF A BASE COURSE AND A SURFACE COURSE AS PER THE FOLLOWING TABLE AND MEETING THE REQUIREMENTS OF THE APPROPRIATE ONTARIO PROVINCIAL STANDARDS SPECIFICATIONS.

PROOF-ROLL PARKING LOT SUB-GRADE WITH A STEEL VIBRATORY ROLLER. THE GEOTECHNICAL ENGINEER MUST WITNESS THE PROOF-ROLLING.

WATERMAIN NOTES:

MAINTAIN 0.50m VERTICAL SEPARATION BETWEEN WATERMAIN / WATER SERVICES AT ALL CROSSINGS.

MAINTAIN 2.6m MIN. HORIZONTAL CLEARANCE BETWEEN WATER AND SEWER SERVICES.

ALL WATER SERVICE PIPING 50mm OR LESS TO BE PEX MEETING PRESSURE RATING OF 160psi (1100kPa) w/ #12 TRACING WIRE. PROVIDE CURB BOX AT 1.5m FROM EACH BUILDING.

WATERMAIN PIPING TO BE SIZE AS INDICATED ON PLAN CLASS 150 DR 18 PVC PIPE w/ TRACING WIRE INCLUDING FITTINGS, GASKETS, THRUST RESTRAINTS, ALL INSTALLED AS PER MANUFACTURER'S INSTRUCTION. PROVIDE MECHANICAL THRUST RESTRAINTS AS PER LOCAL WATER UTILITY COMPANY MANUFACTURERS SPECIFICATIONS AT ALL CHANGES IN PIPE DIRECTION AND AT ALL APPURTENANCES. PROVIDE MINIMUM 1.5m COVER OVER WATERMAIN PIPES.

ANCHOR ELBOWS, TEES AND HYDRANTS WITH MECHANICAL JOINT CONNECTIONS, WITH TE. RODS. INSTALL TE. RODS, CLAMPS, BOLTS AND WASHERS TO THE MECHANICAL COMPOUND AFTER INSTALLATION TO PREVENT CORROSION. CLEAN BURIED PARTS OF VALVES AND HYDRANTS AND COAT WITH SAME COMPOUND.

PROVIDE MECHANICAL THRUST RESTRAINTS AT ALL BENDS AS PER LOCAL UTILITY DETAILS AND LOCAL MUNICIPAL DETAILS.

SET HYDRANTS ON 460mm SQUARE CONCRETE BASE, 200mm THICK WITH 0.8 O.D. M. OF COARSE CORREL PLACED AROUND AND BENEATH AND WORK IN GEOTEXTILE FABRIC FOR DRAINAGE HOLES IN BASE OF HYDRANT. INSTALL GATE VALVE AND CURB BOX ADJACENT TO EACH HYDRANT.

APPLY HYDROSTATIC TEST TO PIPING SYSTEM IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF NPA 24 AND AT A MINIMUM TEST PRESSURE OF 200 psig FOR A MINIMUM PERIOD OF TWO HOURS. FURNISH PUMPS, GAUGES, AND OTHER EQUIPMENT REQUIRED TO COMPLETE THE TEST. PROMPTLY REPAIR DEFECTS WHICH DEVELOP DURING THE TESTS AND RETEST SYSTEM TO COMPLETE SATISFACTION OF AUTHORIZED INSPECTORS. SUBMIT A CERTIFICATE COVERING MATERIALS AND TEST TO THE UNDERWRITERS INSPECTION AUTHORITY, TOGETHER WITH A REQUEST FOR INSPECTION AND APPROVAL ON RECEIPT OF APPROVAL, FORWARD CERTIFICATE TO OWNER. FILL PIPE LINE AND LEAVE FULL OPERATIONAL CONDITION AND PRESSURE AFTER COMPLETION OF TESTING. PROVIDE TEMPORARY VALVES, CAPS, THRUST BLOCKS, ETC. REQUIRED TO CARRY OUT TESTING.

FIRE HYDRANTS SHALL BE "FM" LISTED, DRY BAREL TYPE, OPENING AGAINST PRESSURE, WITH LOW PROFILE AND MODERN APPEARANCE, AND DESIGNED TO REMAIN CLOSED IF BARREL IS SHEARED OR DAMAGED. HYDRANT SHALL BE FURNISHED WITH TWO 64mm HOSE OUTLETS COMPLETE WITH NON-BINDING CAPS AND CAP CHAINS. NOZZLE THREADS SHALL BE "ONTARIO STANDARD" HOSE THREADS. TURN OPERATOR COUNTER-CLOCKWISE TO OPEN. FACTORY FILL PRIME AND FACTORY FINISH ALL ABOVE GRADE SURFACES WITH A MULTIPLE COAT OF HIGH GLOSS. WEATHER-RESISTANT, YELLOW ENAMEL COAT ALL SURFACES BELOW GRADE WITH A COATING OF BITUMEN NOT LESS THAN 0.5mm THICK. APPROVED MANUFACTURERS ARE CANADA VALVE, AMERICAN DANFOS VALVE, JESSUP, GRUNNELL, JENWINS.

BURIED GATE VALVE SHALL BE ULG LISTED OR FM APPROVED CONFORMING TO AWWA C-505-05 WITH NON-REISING STEEL IRON BODY, REMOVABLE MOUNTED, REMOVABLE SEA RING, STUFFING BOX AND PACKING GLAND AND MECHANICAL JOINT ENDS. VALVES SHALL BE COMPLETE WITH CAST IRON VALVE BOX TO GRADE WITH HEAVY DUTY COVER. APPROVED MANUFACTURERS ARE CANADA VALVE, FIG-55; MANITY, FIG. 20075-6; JENWINS, FIG. 2397A.

BURIED GATE VALVE SHALL BE ULG LISTED OR FM APPROVED CONFORMING TO AWWA C-505-05 WITH NON-REISING STEEL IRON BODY, REMOVABLE MOUNTED, REMOVABLE SEA RING, STUFFING BOX AND PACKING GLAND AND MECHANICAL JOINT ENDS. VALVES SHALL BE COMPLETE WITH CAST IRON VALVE BOX TO GRADE WITH HEAVY DUTY COVER. APPROVED MANUFACTURERS ARE CANADA VALVE, FIG-55; MANITY, FIG. 20075-6; JENWINS, FIG. 2397A.

BACKFLOW PREVENTER NOTES:

1. ACCEPTABLE PRODUCT: WATTS SERIES 900R APPROVED EQUIVALENT

2. BRONZE BODY, STAINLESS STEEL WORKING PARTS, INTEGRAL STRAINER AND DURABLE RUBBER DISCS. MAXIMUM EMERGENCY BACKFLOW TEMPERATURE 250°F (120°C) AND MAXIMUM PRESSURE 175 PSI (1.2 MPa). TO MEET STANDARD: CAN/CSA-B64.10-M88 AND ASME STD. 1012.24. PROVIDE AT ALL MAKE-UP FILL CONNECTIONS TO EACH CLOSED LOOP HYDROVIC SYSTEM.

NOTE: CITY OF WINDSOR TO PERFORM TESTING ON ALL WATERMANS. (SWAB, CHLORINATE AND SAMPLE. CONTRACTOR TO PAY ALL LAB TESTING COSTS.)

SEWER NOTES:

CONTRACTOR TO FLUSH AND VIDEO STORM AND SANITARY PRIVATE DRAIN CONNECTIONS (PDC) FROM PROPERTY LINE TO MAINLINE MUNICIPAL SEWER AND SUBMIT COPIES OF THE SEWER REPORT AND VIDEO TO THE LOCAL MUNICIPAL ENGINEERING/PUBLIC WORKS DEPARTMENT FOR REVIEW PRIOR TO CONSTRUCTION.

CONTRACTOR TO FLUSH AND VIDEO PRIVATE STORM AND SANITARY SEWERS AFTER CONSTRUCTION AND SUBMIT COPIES OF REPORT AND VIDEO TO D.C. McCLOSKEY ENGINEERING LTD. OFFICE FOR REVIEW.

ALL SEWERS TO BE PRESSURE AIR OR WATER TESTED AND THE RESULTS SUBMITTED TO THE PROJECT ENGINEER.

BRASS COVER PLATES TO BE USED ON ALL CLEANOUTS LOCATED IN PAVEMENT.

STORM SEWER PIPE TO BE ONE OF THE FOLLOWING ACCEPTABLE OPTIONS:

1. HDPE (ANNUAL PROFILE PIPE) - CSA B182.8/PIPE SIZES 200mm-900mm

2. 150mm TO 300mm TO BE PVC. MINIMUM RING STIFFNESS SHALL BE 320 KPA FOR DR35 PIPE AND 625 KPA FOR DR 28 AND MEET THE REQUIREMENTS OF ASTM F794 AND CSA B182.2

3. 360mm TO 600mm ULTRA-RIB PVC PIPE AND FITTINGS SHALL BE CERTIFIED TO CSA B182.4 AND MEET THE REQUIREMENTS OF ASTM F794. MINIMUM PIPE STIFFNESS OF 320 KPA.

ALL SEWER CONNECTIONS IN RIGHT-OF-WAY TO BE PVC PIPE & FITTINGS.

SANITARY SEWER PIPING TO BE PVC (SMOOTH WALL CSA B182.2 DR35 (PIPE SIZES 100mm - 600mm) AS MANUFACTURED BY IPEX, COMPLETE INCLUDING MOLDED FITTINGS, PIPE LUBRICANT, INSTALLED AS PER MANUFACTURERS PRINTED INSTRUCTIONS.

ALL CATCHBASIN LEADS TO BE 200mm PIPE AT A MINIMUM OF 0.6% UNLESS NOTED OTHERWISE.

ALL CATCHBASINS AND MANHOLES SHALL BE IN ACCORDANCE WITH DIVISION 700 OF THE ONTARIO PROVINCIAL STANDARD DRAWING (OPSD) SPECIFICATIONS:

#701.010 1200mm PRECAST CONCRETE MAINTENANCE HOLE

#701.011 1500mm PRECAST CONCRETE MAINTENANCE HOLE

#705.010 600mm x 600mm PRECAST CONCRETE CATCH BASIN

CATCHBASIN MANHOLES (CBMH) TO HAVE FRAME AND COVER AS PER OPSD #400.010

SANITARY MANHOLES (SMH) AND STORM MANHOLES (STMH) TO HAVE FRAME AND COVER AS PER OPSD #401.010 (TYPE A) AND LADDER AS PER OPSD #405.020

CATCHBASINS TO HAVE P-TRAPS.

ALL STORM MANHOLES SHALL HAVE A MINIMUM 610mm DEEP SLUMP BELOW THE LOWEST PIPE INVERT. SANITARY MANHOLES TO HAVE SLUMP AS SPECIFIED ON APPLICABLE OPSD DETAIL WITH CONCRETE BENCHING PLACED IN SANITARY MANHOLE AS PER OPSD# 701.0210

SANITARY MANHOLES TO BE WRAPPED IN BLUESKIN AND RAINSHIELDS INSTALLED.

CONSTRUCT BENTONITE CLAY PLUGS AT PROPERTY LINES ON ALL UTILITY & SEWER CONNECTIONS IN R.O.W.

LEGEND

B/D	BOTTOM OF DITCH	LS	LIGHT STANDARD
BC	BOTTOM OF CURB	MHW	WATER MANHOLE
BP	BELL PEDESTAL	PV	POST INDICATOR VALVE
BOL	BOLLARD	SA	SANITARY SEWER
CB	CATCH BASIN	SMH	SANITARY SEWER MANHOLE
CBMH	CATCH BASIN MANHOLE	ST	STORM SEWER
C.O.	CLEAN OUT	STMH	STORM SEWER MANHOLE
CS	CORRUGATED STEEL PIPE	TC	TOP OF CURB
CS	CURB STOP	T/C	TOP OF COVER
DCB	DITCH INLET CATCH BASIN	UP	UTILITY POLE
DS/CO	DOWNSPOUT w/ CLEANOUT	WCR	WHEELBAR RAMP (CURB OUT)
DS/SB	DOWNSPOUT w/ SPLASHBLOCK	WP	WALL PACK LIGHTING
E/P	EDGE OF PAVEMENT	WV	WATER VALVE
E/S	EDGE OF SHOULDER	YD	YARD DRAIN
FDC	FIRE DEPARTMENT CONNECTION	603.68	EXIST. GRADE
FH	FIRE HYDRANT	603.68	NEW GRADE
GM	GAS METER		SLOPE LINES
GW	GUY WIRE		PRIMARY BLDG. ENTRANCE
HP	HYDRO POLE		SECONDARY BLDG. ENTRANCE
INV	SEWER INVERT		

SITE SERVICES LEGEND

SYMBOL	DESCRIPTION
---	STORM LINE
---	SANITARY LINE
---	WATER LINE
---	GAS LINE
---	OVERHEAD HYDRO LINE
---	UNDERGROUND HYDRO LINE
---	UNDERGROUND TELEPHONE/FIBRE LINE

SITE PAVING LEGEND

SYMBOL	DESCRIPTION
	NEW 3" (76mm) ASPHALT PAVING - 1 1/2" HL3 ON 1 1/2" HL4 ON 12" GRAN. 'A' COMPACTED TO 100% SPMOD
	NEW 4" (102mm) ASPHALT PAVING - 1 1/2" HL3 ON 2 1/2" HL4 ON 12" GRAN. 'A' COMPACTED TO 100% SPMOD
	NEW 4" (102mm) CONCRETE SIDEWALK EXTERIOR FINISH ON 2" RIGID INSULATION
	NEW 6" (152mm) REINFORCED CONCRETE PAD, 30 MPa, AIR ENTRAINED w/ 6x6x6/6 W.W.M. ON MIN. 12" GRAN. A COMPACTED TO 100% SPMOD
	NEW LANDSCAPING AREA
	NEW 6" (152mm) STANDARD CONC. CURB NEW CONCRETE CURB & CUTTER
	6" HIGH WOOD SCREENING FENCE

SITE SERVICING NOTES:

- BUILDING ROOF DOWNSPOUTS TO BE SPLASHBLOCKED
- AREA DRAINS TO BE INSTALLED IN SUNKEN PATIOS. RUNOFF TO BE CONVEYED TO EXTERIOR SUBMERSIBLE PUMP IN A CATCHBASIN c/w SOLID MANHOLE COVER
- SPRINKLER RISER w/ BLIND FLANGE 600mm ABOVE FLOOR. 100mm DOMESTIC WATER SERVICE TO APPROVED BACKFLOW PREVENTOR CONNECTED TO FIRE PROTECTION RISER. REFER TO MECH. DRAWINGS FOR METER SIZE

GENERAL CONTRACTOR TO CONTACT AND CO-ORDINATE LOCAL GAS UTILITY FOR NEW NATURAL GAS SERVICE.

SITE SERVICING & LOT GRADING PLAN

SCALE: 1:300



6555 MALDEN ROAD, WINDSOR, ONTARIO, N9H 1T5 PH: 519.734.6511

DRAWING TITLE:

SITE SERVICING & LOT GRADING PLAN

PROJECT/CLIENT:

BROCK ST. CONVERSION
247 BROCK ST., AMHERSTBURG, ON

DATE ISSUED FOR:

02.09.22 SPA APPROVAL

DATE ISSUED FOR:

PROJECT No.: 2021009

SCALE: 1:300

DRAWN BY: DCME

CHECKED BY: DCME

M21-148

GENERAL NOTES:

ALL DIMENSIONS TO BE CALCULATED AND VERIFIED ON THE JOB SITE. ANY AND ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT OR ENGINEER. ALL DRAWINGS REMAIN THE PROPERTY OF ROSATI CONSTRUCTION INC. ALL RIGHTS RESERVED

STAMP:

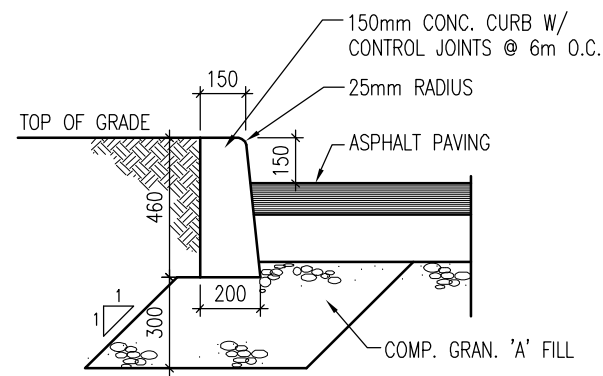


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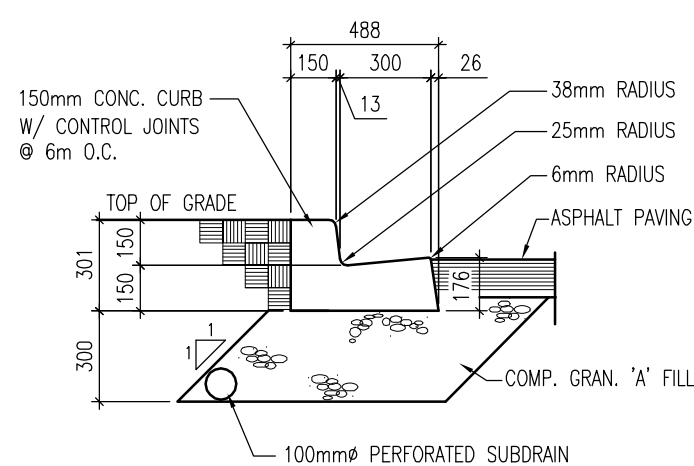
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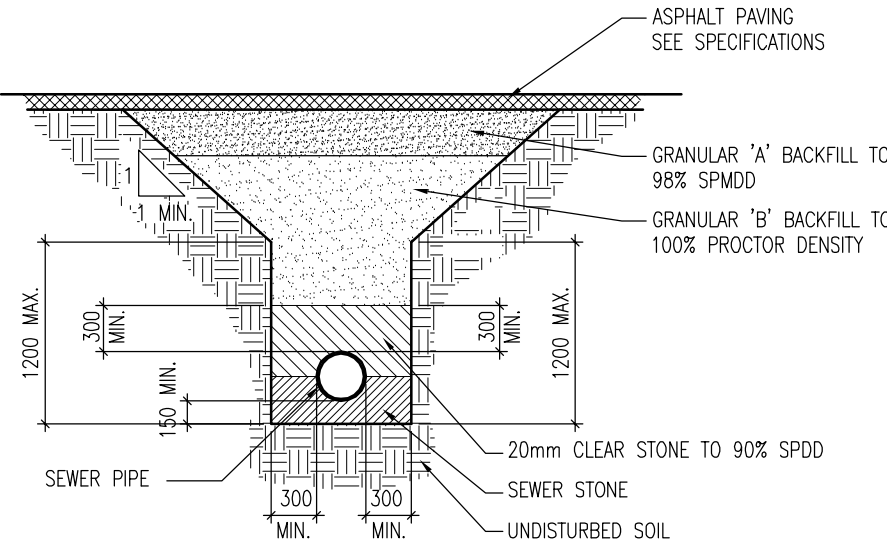
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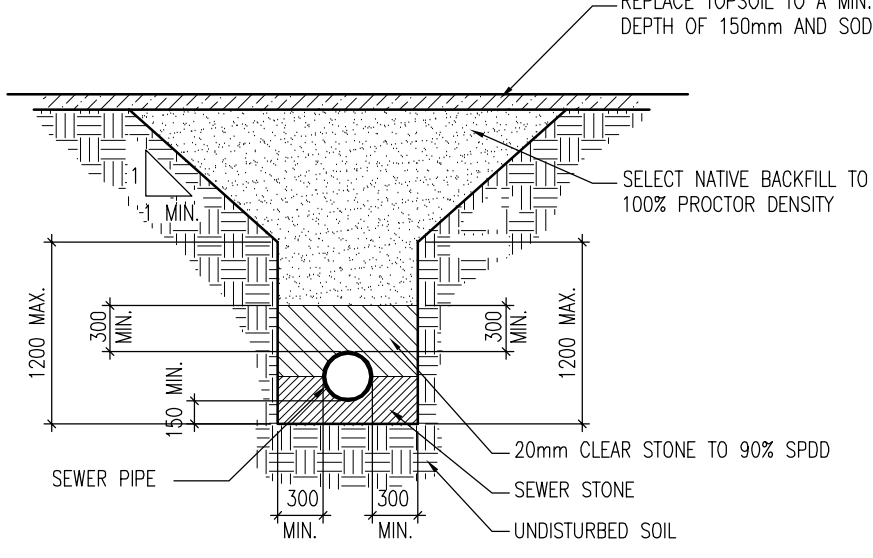
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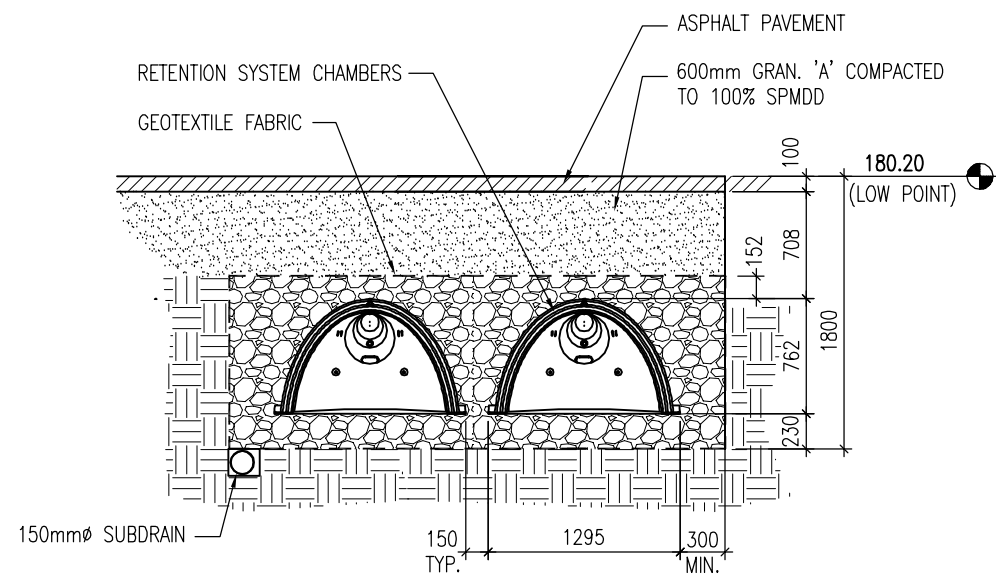
CURB-GUTTER



UTILITY TRENCH - ASPHALT

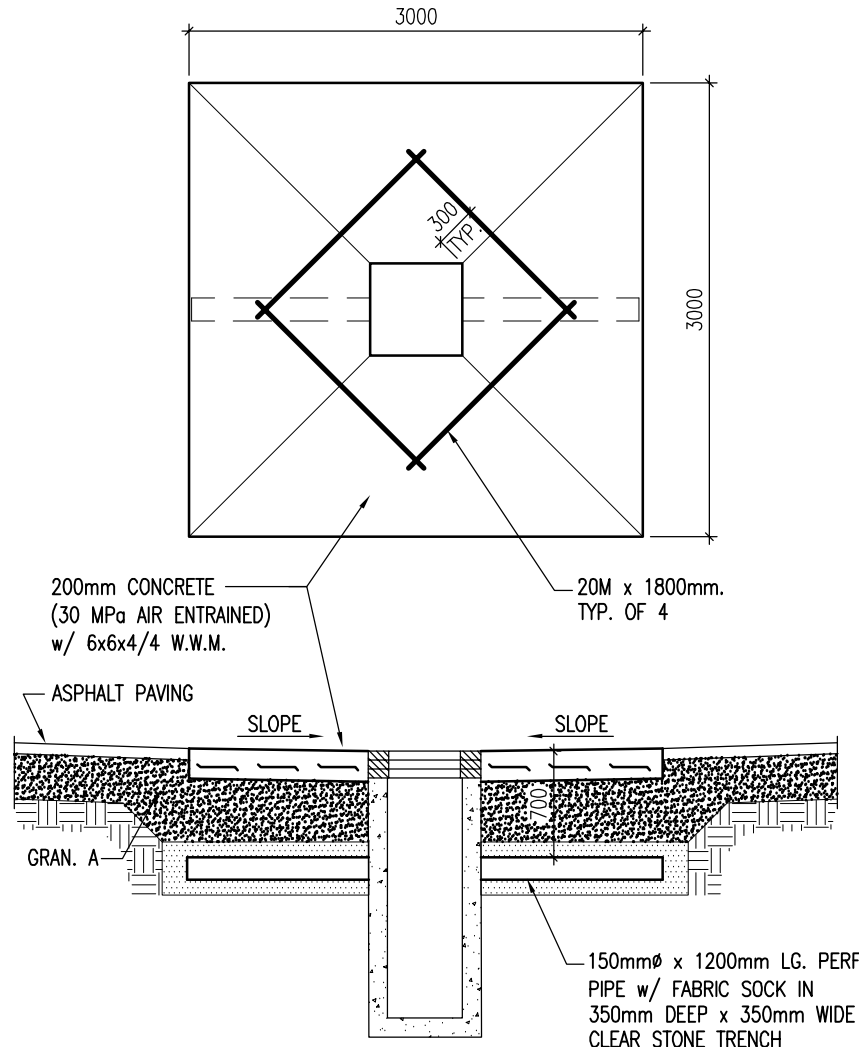


UTILITY TRENCH - LANDSCAPED

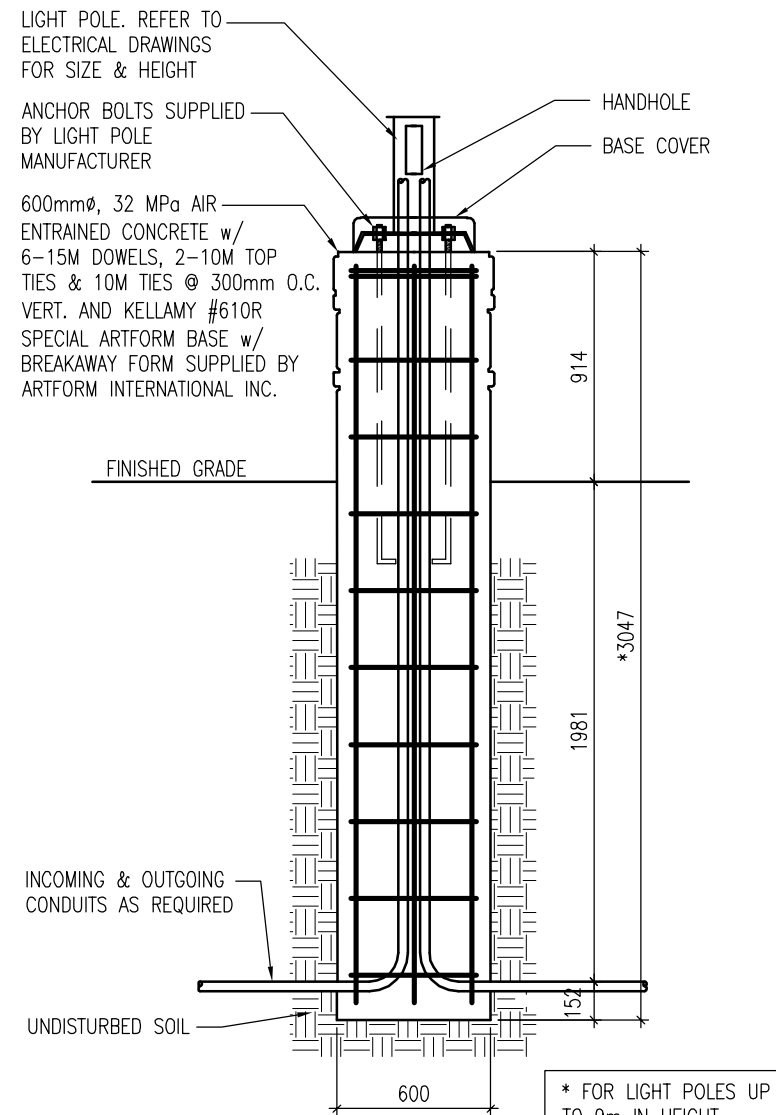


STORMTECH SECTION

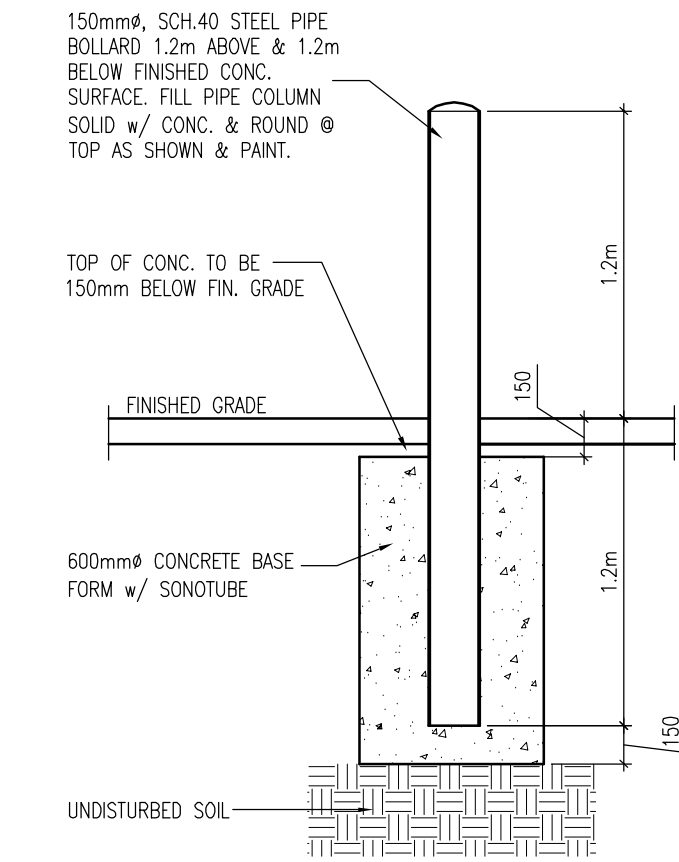
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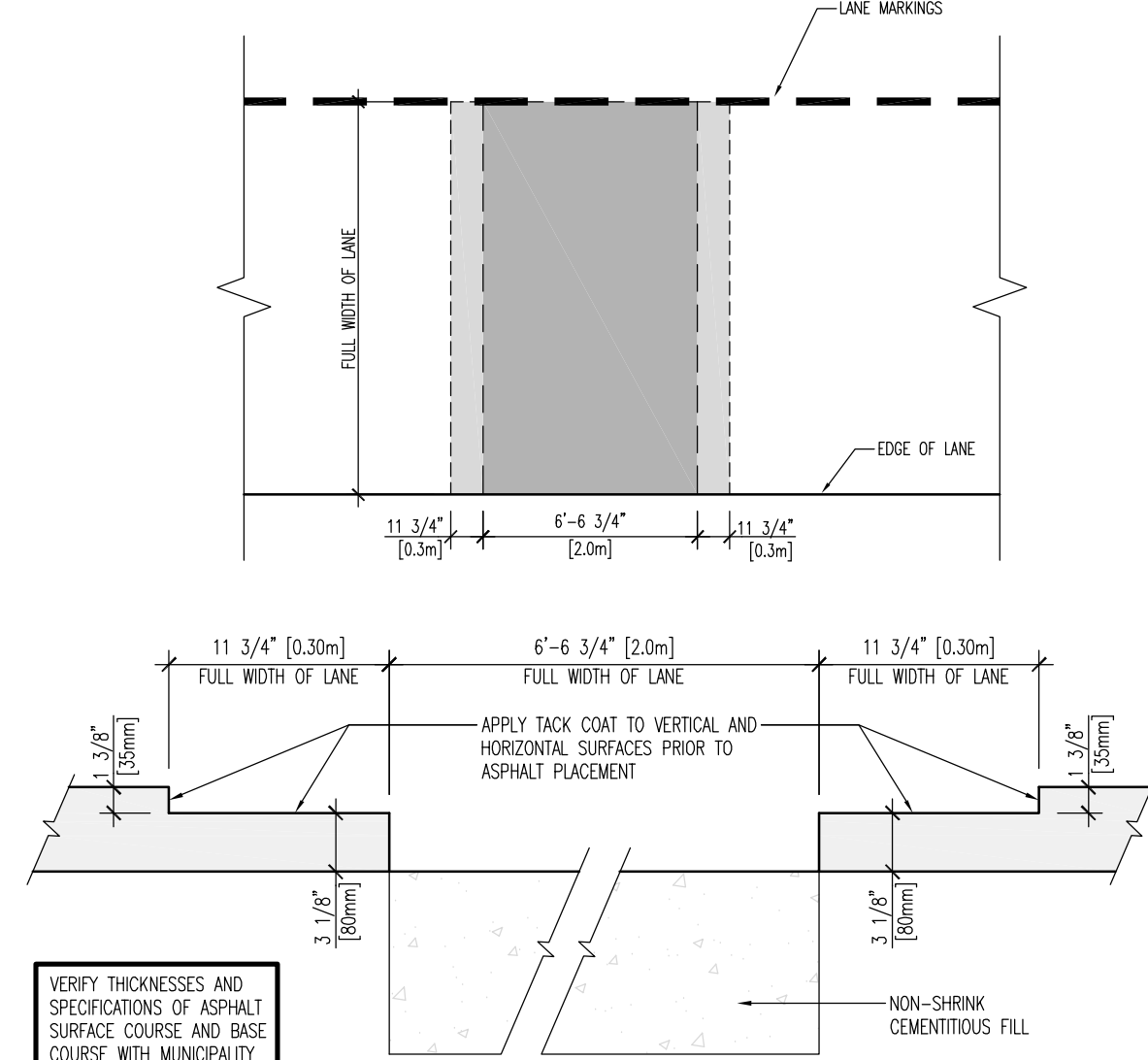
CATCHBASIN DETAIL



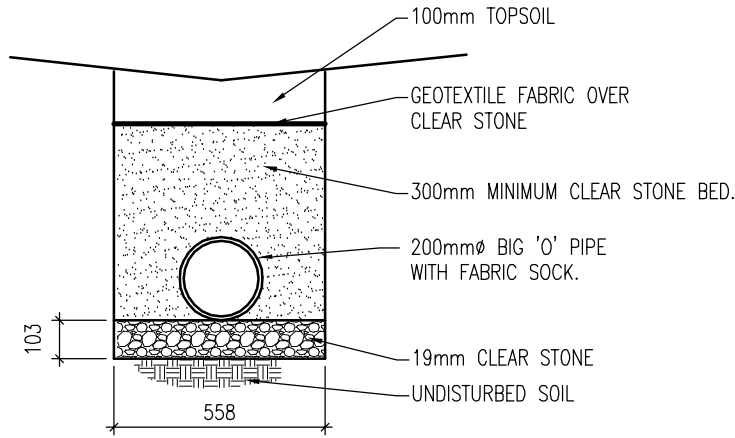
LIGHT STANDARD BASE



BOLLARD

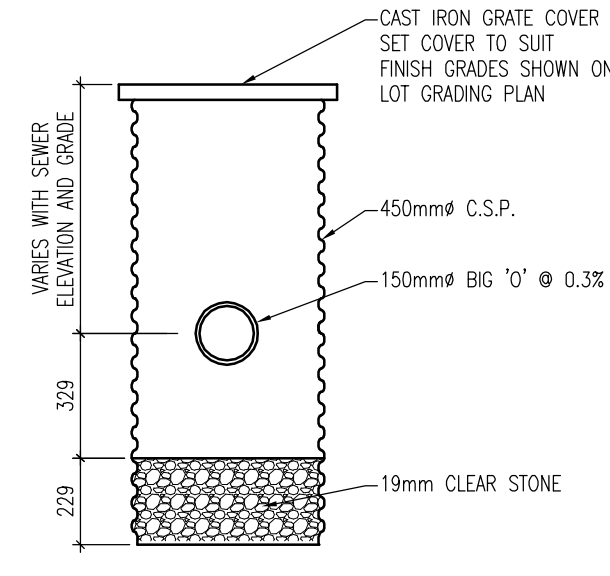


ASPHALT RESTORATION DETAIL



SUB-DRAIN DETAIL

SCALE : 1:20



REAR YARD DRAIN DETAIL

SCALE : 1:20

**Stage 1-3 Archaeological Assessment
AaHs-138
247 Brock Street
Town of Amherstburg
Part of Lot 2, Concession 1
Geographic Township of Malden
Essex County, Ontario**

Original Report

Submitted to:
Ministry of Heritage, Sport, Tourism and Culture Industries

Prepared for:
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Rosati Group
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Prepared by:
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Licensee: Liam Browne, M.A., P1048
PIF No: P1048-0028-2021 [Stage 1-2]
P1048-0031-2021 [Stage 3]
Project No: 2021-087 [Stage 1-2]; 2021-154 [Stage 3]
Dated: August 27, 2021



EXECUTIVE SUMMARY

A Stage 1 and 2 archaeological assessment was conducted for the roughly 0.75 ha (1.85 ac) property at 247 Brock Street in the Town of Amherstburg, Essex County, Ontario. The subject property is generally triangular and currently contains the former House of Shalom building, the outbuilding to its rear and the associated paved parking lot and walkways. The majority of the property consists of manicured lawn or is sparsely treed. In 2021 TMHC was contracted by Denis Gauthier to carry out the assessment, which was conducted in accordance with the provisions of the *Planning Act* and *Provincial Policy Statement*. The purpose of the assessment was to determine whether there were archaeological resources present within the subject property.

The Stage 1 background study included a review of current land use, historic and modern maps, past settlement history for the area and a consideration of topographic and physiographic features, soils and drainage. It also involved a review of previously registered archaeological resources within 1 km of the subject property and previous archaeological assessments within 50 m. The background study indicated that the property had potential for the recovery of archaeological resources due the proximity (i.e., within 300 m) of features that signal archaeological potential, namely:

- mapped 19th-century thoroughfares (Brock Street, Kempt Street, Gore Street, Victoria Street South);
- mapped 19th-century structure (Bell Farm);
- proximity to known heritage sites (St. Jean Baptiste Church and Cemetery Site, Ralph Jimmerfield Residence, and First Baptist Church)
- proximity to known archaeological sites (St. Joseph' Academy site: AaHs-106); and,
- other areas of early 19th-century settlement (Fort Malden, Town of Amherstburg).

The subject property consists of non-ploughable lands and as such was subject to Stage 2 assessment via standard test pit survey at a 5 m transect interval (84%; 0.63 ha), in keeping with provincial standards. The remainder of the subject property consists of built features that were previously disturbed, deemed of low archaeological potential and were photo-documented (16%; 0.12 ha). All work met provincial standards. The Stage 2 assessment resulted in the identification of one archaeological location (Location 1; AaHs-138). Our recommendations with respect to the Stage 2 findings are presented below.

1. Location 1 (AaHs-138) is a small late 19th to early 20th-century site. As the site contains at least 20 artifacts that date the period of use to before 1900 (MTC 2011:41; Section 2.2, Standard 1.c), Location 1 (AaHs-138) has further CHVI and qualifies for Stage 3 assessment. Given the age and small size of the site, the Stage 3 strategy should follow that established for sites where it is not yet evident that the level of cultural heritage value or interest will result in a recommendation to proceed to Stage 4 (MTC 2011:51, Table 3.1). This would involve the excavation of 1 m² test units across the site area at a 5 m interval, with an additional 20% infill units placed in areas of interest. Additional background research will be required to properly contextualize the site and assess its CHVI.
2. The Stage 2 survey of the remainder of the subject property did not result in the recovery of any archaeological resources and as such, these portions should be considered free of archaeological concern and no further assessment is required.



In Summer 2021 the Stage 3 assessment of Location 1 (AaHs-138) was undertaken. The Stage 3 assessment consisted of historical background research and the Stage 3 unit excavation of 16 1 m² test units across the site area. The Stage 3 unit excavation resulted in the recovery of 115 modern objects and 2,121 artifacts dating to the late 19th and early 20th century. The recommendations for the site and the subject property are as follows:

- I. Based on the artifacts recovered and their distribution, Location 1 (AaHs-138) is a domestic site dating to the period between c.1880 and 1917. The site assemblage is likely the product of an accumulation of material variably deposited during the occupations of William Caldwell (1894-1899), Alice Primeau (1899-1907), the Conway family and their tenants (1907-1912) and/or Manley Cahoon (1912-1915). Given the age of the site and the lack of integrity, Location 1 (AaHs-138) is considered sufficiently documented. The site does not meet provincial criteria for Stage 4 assessment and no further work is recommended. As such, the subject property should be considered free of archaeological concern.

Our recommendations are subject to the conditions laid out in Section 6.0 of this report and to the MHSTCI' review and acceptance of this report into the provincial registry.



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Senior Review	Matthew Beaudoin, Ph.D. (P324)

ACKNOWLEDGEMENTS

Denis Gauthier	VP Project Development
	The Rosati Group



TERRITORIAL ACKNOWLEDGEMENT

The subject property is located on the traditional lands of the Anishinaabek (Ah-nish-in-a-bek), Haudenosaunee (Ho-den-no-show-nee), Lūnaapéewak (Len-ahpay-wuk), and Attawandaron (Add-a-won-da-run) peoples, on lands connected with the McKee Purchase (Treaty No. 2) of 1790 and the Dish with One Spoon Covenant Wampum. This land continues to be home to diverse Indigenous peoples (e.g., First Nations, Métis and Inuit) whom we recognize as contemporary stewards of the land and vital contributors of our society.



ABOUT TMHC

Established in 2003, with a head office in London, Ontario, TMHC provides a broad range of archaeological assessment heritage planning and consultation services throughout the Province of Ontario, founded on over forty years of progressive and responsible experience. We provide consulting services for Indigenous communities, municipal heritage planning and training, public outreach and educational programs, and have established specialties in community engagement, cemetery investigations, faunal analysis and ground penetrating radar surveys. Since TMHC's inception, we have evolved with the needs of our clients, the demands of the regulatory environment, and the growth in the industry.

Since 2004, TMHC has held retainers with Infrastructure Ontario (formerly the Ontario Realty Corporation), Hydro One, the Ministry of Transportation and the City of Hamilton. Presently, TMHC was successfully added to the Infrastructure Ontario, Ministry of Transportation, Hydro One, Metrolinx, and Niagara Parks retainers. In addition, TMHC has successfully managed a wider variety of highly sensitive, large, and complicated projects and have a proven track record in successfully managing and navigating them to completion. In 2013, TMHC earned the Ontario Archaeological Society's award for Excellence in Cultural Resource Management.

KEY STAFF BIOS

Matthew Beaudoin, PhD., Partner, Manager – Archaeological Assessments

Matthew Beaudoin received a Ph.D. in Anthropology from Western University in 2013 and became a Principal at TMHC in 2019. During his archaeological career, Matthew has conducted extensive field research and artifact analysis on Indigenous and Settler sites from Labrador and Ontario. In addition, Matthew has also conducted ethnographic projects in Labrador. Since joining TMHC in 2008, Matthew has been involved with several notable projects, such as the Imperial Oil's Waterdown to Finch Project, the Camp Ipperwash Project, and the Scugog Island Natural Gas Pipeline Project.

Matthew is an active member of the Canadian Archaeological Association, the Ontario Archaeological Association, the Ontario Historical Society, the World Archaeology Congress, the Council for Northeastern Historical Archaeology, the Society for American Archaeology, and the Society for Historical Archaeology.

Liam Browne, M.A., Project Manager

Liam is a professional-licensed archaeologist with significant experience managing large archaeological projects and working with First Nations communities.

Liam holds a Masters degree in Anthropology from Trent University specializing in late Paleo projectile points in Ontario and New York. He has worked in various cultural resource management capacities since 2012.



STATEMENT OF QUALIFICATIONS AND LIMITATIONS

The attached Report (the “Report”) has been prepared by Timmins Martelle Heritage Consultants Inc. (TMHC) for the benefit of the Client (the “Client”) in accordance with the agreement between TMHC and the Client, including the scope of work detailed therein (the “Agreement”).

The information, data, recommendations and conclusions contained in the Report (collectively, the “Information”):

- is subject to the scope, schedule, and other constraints and limitations in the Agreement and the qualifications contained in the Report (the “Limitations”);
- represents TMHC’s professional judgment in light of the Limitation and industry standards for the preparation of similar reports;
- may be based on information provided to TMHC which has not been independently verified;
- has not been updated since the date of issuance of the Report and its accuracy is limited to the time period and circumstances in which it was collected, processed, made or issued;
- must be read as a whole and section thereof should not be read out of such context; and
- was prepared for the specific purposes described in the Report and the Agreement.

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Liam Browne, M.A. (PI048)
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Report reviewed by:

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Matthew Beaudoin, Ph.D. (P324)
Principal/Manager of Archaeological Assessment



I PROJECT CONTEXT

I.1 Development Context

I.1.1 Introduction

A Stage I-3 archaeological assessment was conducted for the roughly 0.75 ha (1.85 ac) property at 247 Brock Street in the Town of Amherstburg, Essex County, Ontario. The subject property is generally triangular and currently contains the former House of Shalom building, the outbuilding to its rear and the associated paved parking lot and walkways. The majority of the property consists of manicured lawn or is sparsely treed. In 2021 TMHC was contracted by Denis Gauthier of The Rosati Group to carry out the assessment, which was conducted in accordance with the provisions of the *Planning Act* and *Provincial Policy Statement*. The purpose of the assessment was to determine whether there were archaeological resources within the subject property.

All archaeological assessment activities were performed under the professional archaeological license of Liam Browne, M.A. (PI048) and in accordance with the *Standards and Guidelines for Consultant Archaeologists* (MTC 2011, “Standards and Guidelines”). Permission to enter the property and carry out all required archaeological activities, including collecting artifacts when found, was given by Denis Gauthier.

I.1.2 Purpose and Legislative Context

The *Ontario Heritage Act* (R.S.O. 1990) makes provisions for the protection and conservation of heritage resources in the Province of Ontario. Heritage concerns are recognized as a matter of provincial interest in Section 2.6.2 of the *Provincial Policy Statement* (PPS 2020) which states:

development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

In the PPS, the term conserved means:

the identification, protection, management and use of *built heritage resources, cultural heritage landscapes and archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

The *Ontario Planning Act* (R.S.O. 1990) Sections 2 (d) and 3.5 of the *Planning Act* stipulate that municipalities shall have regard for their conservation of features of significant architectural, cultural, historical, archaeological or scientific interest. Therefore, the purpose of a Stage I background study is to determine if there is potential for archaeological resources to be found on a property for which a change in land use is pending. It is used to determine the need for a Stage 2 field assessment involving the search for archaeological sites. If a property demonstrates archaeological potential, a Stage 2 field survey must be carried out. If potentially significant sites are found during the field review, subsequent Stage 3 and Stage 4 assessments may



be required. In accordance with Provincial Policy Statement 2.6, if significant sites are found, a strategy (usually avoidance, preservation or excavation) must be put forth for their mitigation.

2 STAGE I BACKGROUND REVIEW

2.1 Research Methods and Sources

A Stage I overview and background study was conducted to gather information about known and potential cultural heritage resources within the subject property. According to the *Standards and Guidelines*, a Stage I background study must include a review of:

- an up-to-date listing of sites from the Ministry of Heritage, Sport, Tourism and Culture Industries' (MHSTCI) PastPortal for 1 km around the property;
- reports of previous archaeological fieldwork within a radius of 50 m around the property;
- topographic maps at 1:10,000 (recent and historical) or the most detailed scale available;
- historical settlement maps (e.g., historical atlas, survey);
- archaeological management plans or other archaeological potential mapping when available; and,
- commemorative plaques or monuments on or near the property.

For this project, the following activities were carried out to satisfy or exceed the above requirements:

- a database search was completed through MHSTCI's PastPortal system that compiled a list of registered archaeological sites within 1 km of the subject property (completed May 27, 2021)
- a review of known prior archaeological reports for the property and adjacent lands;
- Ontario Base Mapping (1:10,000) was reviewed through ArcGIS and mapping layers provided by geographynetwork.ca;
- a series of historic maps and photographs was reviewed related to the post-1800 land settlement;
- a review of land registry data for the subject property related to the post-1800 land settlement;
- a review of census data for individuals affiliated with structures or land registry related to the post-1800 land settlement;
- detailed mapping provided by the client was also reviewed; and,
- any associated commemorative plaques or monuments on or near the property were reviewed.

There are no applicable archaeological management plans for the area.

Additional sources of information were also consulted, including modern aerial photographs, local history accounts, soils and physiographic data provided by the Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA), and both 1:50,000 (Natural Resources Canada) and finer scale topographic mapping.

When compiled, background information was used to create a summary of the characteristics of the subject property, in an effort to evaluate its archaeological potential. The Province of Ontario (MTC 2011; Section 1.3.1) has defined the criteria that identify archaeological potential as:

- previously identified archaeological sites;
- water sources;
 - primary water sources (e.g., lakes, rivers, streams, creeks);
 - secondary water sources (e.g., intermittent streams and creeks, springs, marshes, swamps);
 - features indicating past water sources (e.g., glacial lake shorelines, relic river or stream channels, shorelines of drained lakes or marshes, cobble beaches);
 - accessible or inaccessible shorelines (e.g., high bluffs, sandbars stretching into a marsh);



- elevated topography (e.g., eskers, drumlins, large knolls, plateau);
- pockets of well-drained sandy soils;
- distinctive land formations that might have been special or spiritual places (e.g., waterfalls, rock outcrops, caverns, mounds, promontories and their bases);
- resource areas, including:
 - food or medicinal plants (e.g., migratory routes, spawning areas, prairies);
 - scarce raw materials (e.g., quartz, copper, ochre, or chert outcrops);
 - early Settler industry (e.g., fur trade, logging, prospecting, mining);
- areas of early 19th-century settlement, including:
 - early military locations;
 - pioneer settlement (e.g., homesteads, isolated cabins, farmstead complexes);
 - wharf or dock complexes;
 - pioneer churches;
 - early cemeteries;
- early transportation routes (e.g., trails, passes, roads, railways, portage routes);
- a property listed on a municipal register, designated under the *Ontario Heritage Act*, or that is a federal, provincial, or municipal historic landmark or site; and,
- a property that local histories or informants have identified with possible archaeological sites, historical event, activities, or occupations.

In Southern Ontario (south of the Canadian Shield), any lands within 300 m of any of the features listed above are considered to have potential for the discovery of archaeological resources.

Typically, a Stage 1 assessment will determine potential for Indigenous and 19th-century period sites independently. This is due to the fact that lifeways varied considerably during these eras, so the criteria used to evaluate potential for each type of site also varies.

It should be noted that some factors can also negate the potential for discovery of intact archaeological deposits. The *Standards and Guidelines* (MTC 2011; Section 1.3.2) indicates that archaeological potential can be removed in instances where land has been subject to extensive and deep land alterations that have severely damaged the integrity of any archaeological resources. Major disturbances indicating removal of archaeological potential include, but are not limited to:

- quarrying;
- major landscaping involving grading below topsoil;
- building footprints; and,
- sewage and infrastructure development.

Some activities (agricultural cultivation, surface landscaping, installation of gravel trails, etc.) may result in minor alterations to the surface topsoil but do not necessarily affect or remove archaeological potential. It is not uncommon for archaeological sites, including structural foundations, subsurface features and burials, to be found intact beneath major surface features like roadways and parking lots. Archaeological potential is, therefore, not removed in cases where there is a chance of deeply buried deposits, as in a developed or urban context or floodplain where modern features or alluvial soils can effectively cap and preserve archaeological resources.



2.2 Project Context: Archaeological Context

2.2.1 Subject Property: Overview and Physical Setting

The subject property is located at 247 Brock Street in the Town of Amherstburg, Ontario. It is roughly 0.75 ha (1.85 ac) in size and falls within Lot 2, Concession 1, Geographic Township of Malden, now Town of Amherstburg, Essex County, Ontario (Maps 1-3). The subject property is generally triangular and currently contains the former House of Shalom building, the outbuilding to its rear and the associated paved parking lot and walkways. The majority of the property consists of manicured lawn or is sparsely treed. The subject property is bound to the north by Wolfe Street, south and east by residential properties on Kempt Street and west by residential properties on Brock Street. Directly north of Wolfe Street is the St. John the Baptist Parish, a 19th-century Roman Catholic church and associated cemetery site.

Subsequent to the production of the proponent map (Map 3), the area to be assessed was reduced through the exclusion of the closed Perry Street road allowance.

The subject property falls within the St. Clair Plains physiographic region, as defined by Chapman and Putnam (1984; Map 4). The region is a vast flat, clay plain covering some 2,270 square miles. It was formerly the bed of glacial Lakes Whittlesey and Warren. The lakes did not leave deeply stratified beds of sediment atop the underlying clays and thus much of Essex County is subsequently beveled till plains smoothed by shallow deposits of lacustrine clay (Chapman and Putnam 1984:147). The Glacial Lake Grassmere Beach is roughly 3 km to the east of the subject property. The soils within the subject property are Brookston Clay (Map 5), a dark grey gleisolic soil with poor natural drainage, requiring tile drainage for agriculture (Richards et al. 1949:35).

The area has been urbanized and the natural drainage patterns of the land have been obscured. The 2nd Concession Road Drain runs north-south roughly 200 m east of the subject property (Map 6). The Detroit River lies roughly 500 m west of the subject property.

2.2.2 Summary of Registered or Known Archaeological Sites

According to PastPortal (accessed June 22, 2021) there are 19 other registered archaeological sites within 1 km of the subject property (Table 1). Two sites, AaHs-31 and AaHs-106, are respectively located roughly 75 m and 100 m north of the subject property. AaHs-31 consists of the St. Jean Baptiste Church and Cemetery site, whereas AaHs-106 is St. Joseph's Academy adjacent to the cemetery.



Table 1: Registered Archaeological Sites within 1 km of the Subject Property

Borden Number	Site Name	Time Period	Affinity	Site Type	Status
AaHs-4	King's Shipyard	Post-Contact	Euro-Canadian	Wharf/pier/dock	
AaHs-12	Fort Malden	Post-Contact	Euro-Canadian	Fort	
AaHs-30	Gordon House	Post-Contact, Woodland, Late	Euro-Canadian; Iroquoian	House	
AaHs-31	St. Jean Baptiste Cemetery	Post-Contact	Euro-Canadian	Cemetery	
AaHs-34	Eastern Shore	Woodland, Late	Indigenous	Camp / campsite	Further CHVI
AaHs-41	G. Rumble	Pre-Contact	Indigenous	Scatter	
AaHs-57	Boblo Watermain	Pre-Contact	Indigenous	Tool making site, processing	Further CHVI
AaHs-59	Salmoni	Post-Contact, Pre-Contact	Indigenous; Euro-Canadian	Store, scatter, hotel	
AaHs-106	St. Joseph's Academy	Post-Contact	Euro-Canadian	Cemetery, school	
AaHs-107					
AaHs-117		Other, post-contact	Other, Indigenous	Isolated finds, residential	No further CHVI
AaHs-118		Post-contact		Residential	No further CHVI
AaHs-119		Post-contact		Residential	No further CHVI
AaHs-120		Archaic, Middle	Indigenous	Scatter	No further CHVI
AaHs-121		Archaic, Early	Indigenous	Findspot	No further CHVI
AaHs-122		Archaic, Early	Indigenous	Findspot	No further CHVI
AaHs-123		Archaic, Middle	Indigenous	Findspot	No further CHVI
AaHs-124		Archaic, Early	Indigenous	Findspot	No further CHVI
BdGv-29	Boblo Watermain Site	Archaic	Indigenous	Scatter	



2.2.3 Summary of Past Archaeological Investigations within 50 m

During the course of this study, records were found for three archaeological investigations roughly 75 m north of the subject property. However, it should be noted that the MHSTCI currently does not provide an inventory of archaeological assessments to assist in this determination.

2.2.3.1 219 Brock Street – St. Jean Baptiste Church and Cemetery Site (Map 7)

In 2011, TMHC conducted a Stage 2 and 3 archaeological assessment of 219 Brock Street, Amherstburg to define the limits of the historic cemetery and investigate future development potential for the property adjoining the cemetery. A preliminary investigation of the St. Jean Baptiste Cemetery was conducted by the Museum of Indian Archaeology in 1988 and a Stage 1 archaeological assessment of the property was conducted by Historic Horizon Inc. in 2006. Background research indicated that the cemetery was established in the 1830s and used until the 1860s. Mechanical excavation was necessary to define the cemetery boundary since most of the areas to be investigated were covered by asphalt. A series of trenches were excavated around the existing building to explore the perimeter of the cemetery. The investigations successfully defined the limits of the cemetery to the north, south, east and west, based on the locations of graves and post moulds from a former boundary fence to the west and south, the locations of graves and posts from a former fence to the east, and the Murray Street ROW to the north. The St. Joseph's Academy site (AaHs-106) was also discovered during the cemetery investigation. The site was deemed to be of archaeological significance and as such, was recommended for Stage 4 mitigation if it is threatened by future development. The results of this assessment are presented in a report entitled *Cemetery Investigation and Stage 2 & 3 Archaeological Assessment, St. Jean Baptiste Cemetery (AaHs-31) 219 Brock Street, Amherstburg, Geographic Township of Malden, Ontario* (TMHC 2011; Licensee, Arthur Figura, PIF P083-136-2011).

2.2.4 Dates of Archaeological Fieldwork

The Stage 2 and 3 fieldwork was conducted over the course of several days in May, June, and July 2021. Table 2 provides a listing of individual fieldwork dates and weather conditions for the Stage 2 and 3 fieldwork.

Table 2: Dates of Fieldwork, Weather Conditions and Field Director

Dates of Fieldwork	Weather Conditions	Field Director	Activity
May 27, 2021	Sunny and cool	P. Weglorz, M.Sc. (R1170)	Stage 2 Assessment
June 23, 2021	Sunny and warm	P. Weglorz, M.Sc. (R1170)	Stage 3 Assessment
June 24, 2021	Sunny and warm	P. Weglorz, M.Sc. (R1170)	Stage 3 Assessment
July 5, 2021	Sunny, clear, and hot	P. Weglorz, M.Sc. (R1170)	Stage 3 Assessment
July 20, 2021	Sunny and hot	P. Weglorz, M.Sc. (R1170)	Stage 3 Assessment



2.3 Project Context: Historical Context

2.3.1 Indigenous Settlement in Essex County

While numerous archaeological surveys have been undertaken for portions of Essex County in advance of wind and other energy projects, little systematic archaeological assessment has taken place within the immediate environs of the subject property. As such, our knowledge of the Indigenous occupation in the general area is incomplete. Nevertheless, using province-wide and region-specific data, a generalized cultural chronology for Indigenous settlement in Essex County can be proposed (Table 3). A summary of the themes and temporal periods of Indigenous occupation is provided below.

Table 3: Chronology of Indigenous Settlement in Essex County

Period	Time Range (circa)	Diagnostic Features	Archaeological Complexes
Early Paleo	9000-8400 BCE	fluted projectile points	Gainey, Barnes, Crowfield
Late Paleo	8400-8000 BCE	non-fluted and lanceolate points	Holcombe, Hi-Lo, Lanceolate
Early Archaic	8000-6000 BCE	serrated, notched, bifurcate base points	Nettling, Bifurcate Base Horizon
Middle Archaic	6000-2500 BCE	stemmed, side & corner notched points	Brewerton, Otter Creek, Stanly/Neville
Late Archaic	2000-1800 BCE	narrow points	Lamoka
Late Archaic	1800-1500 BCE	broad points	Genesee, Adder Orchard, Perkiomen
Late Archaic	1500-1100 BCE	small points	Crawford Knoll
Terminal Archaic	1100 - 950 BCE	first true cemeteries	Hind
Early Woodland	950-400 BCE	expanding stemmed points, Vinette pottery	Meadowood
Middle Woodland	400 BCE-600 CE	dentate, pseudo-scallop pottery	Couture
Late Woodland	600-900 CE	Wayne ware, vertical cord marked ceramics	Riviere au Vase-Algonquin
Late Woodland	900-1200 CE	first corn; ceramics with multiple band impressions	Young- Algonquin
Late Woodland	1200-1400 CE	longhouses; bag shaped pots, ribbed paddle	Springwells-Algonquin
Late Woodland	1400-1600 CE	villages with earthworks; Parker Festoon pots	Wolf- Algonquin
Contact: Indigenous	1600 CE-present	early historic Indigenous settlements	Three Fires Confederacy, Attawandaron, Wendat, Odawa, Wenro
Contact: Settler	1700-1760 CE	fur trade, missionization, early military establishments	French
Contact: Settler	1760 CE-present	Military establishments, pioneer settlement	British colonials, UELs, early Black settlement



2.3.1.1 Paleo Period

The first human populations to inhabit the Essex County area arrived between 12,000 and 10,000 years ago, coincident with the end of the last period of glaciation. Climate and environmental conditions were significantly different then they are today; local environs would not have been welcoming to anything but short-term settlement. Termed Paleo by archaeologists, Indigenous peoples would have crossed the landscape in small groups (i.e., bands or family units) searching for food, particularly migratory game species. In this area, caribou may have provided the staple of the Paleo period diet, supplemented by wild plants, small game, birds and fish.

Given the low density of populations on the landscape at this time and their mobile nature, Paleo period sites are small and ephemeral. They are sometimes identified by the presence of fluted projectile points manufactured on a highly distinctive whitish-grey chert named "Fossil Hill" (after the formation) or "Collingwood." This material was acquired from sources near the edge of the escarpment on Blue Mountain. It was exploited by populations from as far south as the London area, who would have traveled to the source as part of their seasonal round.

2.3.1.2 Archaic Period

Settlement and subsistence patterns changed significantly during the Archaic period as both the landscape and ecosystem adjusted to the retreat of the glaciers. Building on earlier patterns, early Archaic period populations continued the mobile lifestyle of their predecessors. Through time and with the development of more resource rich local environments, these groups gradually reduced the size of the territories they exploited on a regular basis. A seasonal pattern of warm season riverine or lakeshore settlements and interior cold weather occupations has been documented in the archaeological record.

Since the large cold weather mammal species that formed the basis of the Paleo period subsistence pattern became extinct or moved northward with the onset of warmer climate conditions, Archaic period populations had a more varied diet, exploiting a range of plant, bird, mammal and fish species. Reliance on specific food resources like fish, deer and nuts becomes more pronounced through time and the presence of more hospitable environments and resource abundance led to the expansion of band and family sizes. In the archaeological record, this is evident in the presence of larger sites and aggregation camps, where several families or bands would come together in times of plenty. The change to more preferable environmental circumstances led to a rise in population density. As a result, Archaic sites are more plentiful than those from the earlier period. Artifacts typical of these occupations include a variety of stemmed and notched projectile points, chipped stone scrapers, ground stone tools (e.g., celts, adzes) and ornaments (e.g., bannerstones, gorgets), bifaces or tool blanks, animal bone (where and when preserved) and waste flakes, a by-product of the tool making process.

2.3.1.3 Early, Middle and Transitional Woodland Periods

Significant changes in cultural and environmental patterns are witnessed in the Woodland period (c. 950 BCE-1700 CE). By this time, the coniferous forests of earlier times were replaced by stands of mixed and deciduous species. Occupations became increasingly more substantial in this period, culminating in major semi-permanent villages by 1,000 years ago. Archaeologically, the most significant changes by Woodland times are the appearance of artifacts manufactured from modeled clay and the construction of house structures. The Woodland period is often defined by the occurrence of pottery, storage facilities and residential areas similar to those that define the incipient agricultural or Neolithic period in Europe.



Early and Middle Woodland period peoples are also known for a well-developed burial complex and ground stone tool industry. Unique Early Woodland period ground stone items include pop-eyed birdstones and gorgets. In addition, there is evidence of the development of widespread trading with groups throughout the northeast. The recovery of marine shells from the Lake Superior area indicates that exchanges of exotic materials and finished items from distant places were commonplace.

2.3.1.4 Late Woodland Period

During the Late Woodland period, much of Southwestern Ontario was occupied by two groups: Iroquoians and what are thought by archaeologists to be Algonquin speaking populations (the term “Western Basin Tradition” has been used to describe this cultural complex). In the east, the Iroquoian occupants were the Attawandaron, a tribal group described by European missionaries and whose historic homeland was significantly further east. Like other known Iroquoian groups including the Huron (Wendat) and Petun (Tionontati), the Attawandaron practiced a system of intensive horticulture based on three primary subsistence crops (corn, beans and squash). Their villages incorporated a number of longhouses, multi-family dwellings that contained several families related through the female line. The Jesuit Relations describe several Attawandaron centres in existence in the 17th century, including a number of sites where missions were later established. While precontact Attawandaron sites may be identified by a predominance of well-made pottery decorated with various simple and geometric motifs, triangular stone projectile points, clay pipes and ground stone implements, sites post-dating European contact are recognized through the appearance of various items of European manufacture. The latter include materials acquired by trade (e.g., glass beads, copper/brass kettles, iron axes, knives, and other metal implements) in addition to the personal items of European visitors and Jesuit priests (e.g., finger rings, stoneware, rosaries, glassware). The Attawandaron were dispersed, and their population decimated by the arrival of epidemic European diseases and inter-tribal warfare. Many were adopted into other Iroquoian communities.

Archaeologists have also documented the *in-situ* development of Late Woodland archaeological traditions from Middle Woodland precedents that are believed to have an Algonquin cultural origin, quite distinct from Iroquoian populations who lived to the east. The archaeological record of these groups has been labeled the “Western Basin Tradition.” The Western Basin Tradition is divided up into four phases based on differences in settlement and subsistence strategies and pottery attributes. The four phases are: Riviere au Vase, Younge, Springwells, and Wolf. Table 2 below is extracted from the Windsor Archaeological Master Plan (CRM Group Ltd. et al. 2005:2-13). During the Late Woodland period complex settlements are characteristic of these people and, at their peak, are characterized by fortified villages containing large, likely extended family, structures. Some of the villages are surrounded by earthworks. There is evidence for the cultivation of corn and beans by roughly 900 CE. The pottery traditions of these people varied significantly from those of their Iroquoian neighbors. Early vessels, called Wayne ware, are small, thin-walled pots covered with vertical cord marking and tool impressions. Vessels become more elaborate through time, incorporating multiple bands of tool impressions, castellated rims and incised decoration. Late pottery is characteristically bag-shaped and often incorporates dentate stamping as well as appliqué strips and strap handles, similar to some Mississippian tradition pottery. As was not the case with much Iroquoian pottery, clay fabrics were mixed with shell temper.



Table 4: The Four Phases of the Western Basin Tradition

Phase	Date	Settlement and Subsistence	Pottery
Riviere au Vase	600-900 CE	<ul style="list-style-type: none"> developed directly from the Middle Woodland Couture complex seasonal mobility geared toward resource availability summer base camps by lakeshores, fall/winter in interior no corn or beans present 	<ul style="list-style-type: none"> Wayne ware: small, thin walled, vertical cord-marking later wares are tool impressed
Younge	900-1200 CE	<ul style="list-style-type: none"> corn and beans present settlement & subsistence continues as before with focus on warm season gathering of groups and winter dispersals 	<ul style="list-style-type: none"> pottery is larger, more elaborately decorated body of vessels are corded, coarsely & irregularly multiple bands of tool impression
Springwells	1200-1400 CE	<ul style="list-style-type: none"> larger more permanent warm season settlements longhouses & palisades present more intensive horticulture locations near arable lands, and along the shorelines of marshes, river and lakes possible use wattle & daub 	<ul style="list-style-type: none"> ceramics large & bag-shaped collars & castellated rims decorated with horizontal bands of incised or impressed decoration roughened, self slip & ribbed paddle surfaces first appear
Wolf	1400-1600 CE	<ul style="list-style-type: none"> few examples of sites known distribution limited to around Lake St. Clair, St. Clair River large warm weather villages, often fortified by earthworks nature of these sites is attributed to the westward expansion of Ontario Iroquoians that resulted in abandonment by the Western Basin peoples in the early 1600 	<ul style="list-style-type: none"> diagnostic characteristic of Wolf phase is Parker Festooned pottery undulating bands of dentate stamped impressions or stamped applique strips on vessel necks after 1500 CE most vessels with strap handles & notched lips or notched horizontal rim strips, plus shell temper



2.3.2 Contact Period Indigenous Settlement in Essex County

Although records are poor, it is thought that both the Lake Erie, Lake St. Clair and Thames River shorelines in Essex and Kent Counties were travelled during early exploratory and missionization ventures by Europeans. Jesuit missionary Brebeuf is reported to have traveled along the Lower Thames in 1640-1641 in hopes of establishing the “Mission of the Angels.” Seventeenth and early-18th century historic accounts describe the presence of several historic-era Indigenous villages in Kent County, with at least two known in the Chatham area. One such village, named St. Joseph’s in the Jesuit records, is reported to have stood near the forks on McGregor Creek, with another near what is now Maple Leaf Cemetery (Hamil 1951; McKeough 1919). Local Indigenous groups had long hunted and farmed the land along the banks of the Thames River, or the Aus Kunsabee or Antlered River, as it was called (Coutts 1915).

There are also numerous early historical references to Indigenous villages in Essex County, most notably the Windsor area, drawn from the accounts of mid-17th century French explorers. According to early travelers, there was an Attawandaron (Neutral) village (Skenchioe) in the Windsor area, and a mixed Attawandaron and Wenro Village. This same village “Khioetoea” is also historically described as being occupied by the Awenrehronon (Wenro) (Lajeunesse 1960:4) but may have also included Attawandaron families. Generally, in 1640, Jesuit missionaries reported Indigenous village sites and corn fields along the Detroit River. Early historic accounts also describe the village as the Mission of St. Michael. In 1651 there was a temporary dispersal of Wendat and Attawandaron populations from their historic homelands by Five Nations Iroquois. Following this, many Wendat families eventually travelled to the Windsor area where they established villages as early as 1679, with the traditional territory of the Three Fires Confederacy (namely the Ojibwa, Odawa and Potawatomi nations). In fleeing from their historic homeland near Lake Simcoe, the Huron-Wendat sought refuge in the territory of their Anishnaabe allies and trading partners, the Odawa, at Michilimackinac. Shortly after 1700, Sieur de Cadillac moved French forces from Michilimackinac to a new fort on the right bank of the Detroit River. Odawa and Huron-Wendat from Michilimackinac followed and settled in an existing Potawatomi village nearby. While the Huron-Wendat settled temporarily in the Detroit River, many moved on to Ohio and elsewhere in the mid-18th century.

Land surveyors’ records also mention extensive settlements by the Ojibway and Pottawatomi along the Lake Erie shoreline in Harwich and Raleigh Townships and near Jeannette’s Creek. A prominent Indigenous trail connected Rondeau Bay and a settlement near Shrewsbury to Chatham and the Thames River; it laid the footprint for what would later become Communication Road (Hamil 1951:7). Another trail ran along the south bank of the Thames River, with yet another extending north-south through what is now Essex County along the west bank of the Ruscom River.

2.3.3 Treaty History

The subject area is encompassed by the McKee Purchase (Treaty No. 2). The treaty was signed May 19, 1790 between the Deputy Agent of Indian Affairs—Alexander McKee, and 27 chiefs of local Ojibwa, Odawa, Pottawatomie, and Wendat nations (Canada 1891; Surtees 1984). The treaty covered a significant area including what became Elgin, Kent, and Essex counties along the north shore of Lake Erie including the entirety of West Tilbury and Rochester Townships in Essex County, and East Tilbury, Raleigh, and Harwich Townships in Kent County. At the time of signing, only two reserves were created. What became known as the Huron and the Huron Church Reserves near Windsor were the domain of all signatories (Surtees 1984). During the 19th-century, the reserves ostensibly became Wendat territory and were gradually sold off until the Anderton Wendat nation dissolved its Canadian status (Canada 1891).



The traditional territories of several contemporary Anishinaabe First Nations encompass the subject area including Aamjiwnaang First Nation, Chippewas of the Thames First Nation and Walpole Island First Nation (Bkejwanong). The traditional territory of Caldwell First Nation, a Chippewa nation who did not sign Treaty No. 2, also encompasses the subject property. Caldwell First Nation settled their outstanding land claim with the federal government in 2010-2011 (Canada 2020).

2.3.4 Contact Period and Municipal Settlement

2.3.4.1 Early French Settlement

French explorers and missionaries had explored the Detroit River in the late 1670s and their reports were well received in France. In 1701, Sieur de La Mothe Cadillac, former commandant at Fort Michilimackinac, came to the Detroit River and established a fur trading post (Morgan 1991:17). Cadillac proceeded to erect a fort to protect his country's interests and named it Pontchartrain (Morgan 1991:18). Once Cadillac had established a presence, he invited the Ottawa, Pottawatomie, Huron and Chippewa to come to his fort on the north side of the river (in what is now Detroit) and he offered them protection (Lajeunesse 1960:21).

With the encouragement of the governor at Quebec, French settlement extended to the south shore of the river soon after. The long narrow lots along the river are a remnant of the early French system of landholding. Early French settlement focused on the community of Sandwich and along Turkey Creek (CRM Group et al. 2005:2-16). Settlement along the south side of the river was assisted in 1742 when Reverend Armand de la Richardie relocated the Jesuit mission to Bois Blanc (Bob-Lo) Island (Morgan 1991:18). Many of the earliest European settlers and founders of the Windsor area were men, like Bâby, Dumouchelle, Goyeau, Jannesse, Langlois, Marentette, Meloche and Ouellette, who received land grants from the French Crown (H. Belden & Co. 1881:7). Early on, much of the local economy was centred on the fur trade.

2.3.4.2 Early British Settlement

The year 1760 marked the end of French rule. At the end of the 18th century, the area saw the influx of British settlers, many of whom were United Empire Loyalists who fled the American colonies after the American Revolutionary War. To further assist settlement, legal surveys were conducted in an effort to open up lots to new settlers. As the interior lands were poorly drained and not well suited for agriculture most of the settlement was restricted to the lakeshore and along the major rivers. Because of its strategic position, the Sandwich, Amherstburg, and Windsor areas were of primary military concern throughout their early years.

2.3.4.3 Fort Malden | Fort Amherstburg | Town of Amherstburg

Amherstburg developed as the principal population centre on the Canadian side of the Detroit River following the 1796 American occupation of Detroit (Morrison 1954:5). Named after Lord Jeffrey Amherst, who had commanded the British forces in America during the war (Botsford 1985:14). By 1796, the Township of Malden was patented out to different families, with buildings visible on Lot 2 (Bird), Lot 3 (Caldwell), Lot 4 (McKee), Lot 5 (Callum/Elliott), and Lot 8 (Cowan) (James 1902:11) (Map 8). Due to its strategic location, Fort Malden (often referred to as Fort Amherstburg) was constructed immediately to the north of the settlement on Lots 1 and 2 in 1796 (James 1902:5, 12). Amherstburg was chosen because it had the only deep water channel leading up from Lake Erie. The original Fort was occupied between 1797 and 1813 and included an "Indian Council House" along the border of the reserve (A), Captain Bird's family home (B), an Engineer's house (C), a commissary store and house (D) and a Dock Yard (P) (James 1902:12-16) (Map 9). During the War of 1812 Fort Malden was abandoned by British General Proctor and destroyed by the American forces (H. Belden & Co. 1881:11). The fort was re-built in 1815 near the original location after hostilities had ceased



(James 1902:20). The second fort fell into decay by 1826 and a blacksmith was appointed by the Treasury sanctioning the repairs (Lactot 1938:A12). The third fort was erected by 1839 in the area northwest of the original fort, occupying part of Lot 1 and the previous Indigenous reserve (James 1902:21) (Map 10). Amherstburg continued to be one of the major population centres of Essex County throughout the 19th-century, reaching a population of 2,500 by 1886 (UPC 1886:A79). Its importance began to wane after the decision to cross the Great Western Railway through Windsor in the late-19th century (James 1902:22; Morrison 1954:7). The population was recorded at approximately 2,200 people by 1903 (UPC 1903:305).

2.3.4.4 Early Black Settlement in Amherstburg

Between 1812 and 1863, Essex County became an important terminal passage for Black refugees fleeing slavery in the southern United States (Jansen 1966:16). As part of the Underground Railroad System, Amherstburg, Sandwich and Windsor became prominent communities for the new settlers to take up residence. At least 300 Black settlers were in the area around Amherstburg by 1832, which grew to over 500 by 1854 (Jansen 1966:9,16). Among these settlers were prominent lawyers, doctors, entertainers, ministers, schoolteachers, storekeepers, barbers, businessmen and skilled labourers, who predominantly owned or rented land in the area around George, Gore, Brock, King, and Kempt Streets (Jansen 1966:11, 73). As part of this community, the First Baptist Church was founded between 1838 and 1841 at 232 George Street and a house on King Street was rented in 1858 to serve as a schoolhouse for Black children (Jansen 1966:23-24, 36).

2.3.5 Settlement History for the Subject Property

Historically the subject property falls within part of Lot 2, Concession 1 in the Geographic Township of Malden, Essex County. It falls within the historic town of Amherstburg as depicted in Registered Plan 1. With reference to Registered Plan 1, the 247 Brock Street property comprises Lot 3 East of Brock Street, Lots 18 and 19 West of Kempt Street, Lot 1 East of Kempt Street and parts of the Perry Street and Kempt Street road allowances (Maps 11 and 12). Occupation of the subject property first appears in the Land Registry records during the 1840s (ELRO 1986). Original patentees are visible as later annotations on Thomas Smith's 1820 survey plan of the Town of Amherstburg (Map 11). A brief discussion of the 19th and early 20th-century settlement and land use for the four building lots is provided below in an effort to identify features signaling archaeological potential.

2.3.5.1 Eastern Section of Subject Property (Lot 1 East of Kempt Street, Registered Plan 1)

Lot 1 East of Kempt Street comprises the eastern section of the subject property. The lot was first patented by Therese Caldwell in December 1845 (Table 5; ELRO 1986:117) (Maps 11 and 12). In the years that followed the land would change ownership from Therese Caldwell to Archange Cannon (March 1846), then to Edward Sweeney (August 1848) and then to James McIntosh (November 1850). James McIntosh maintained the deed until his death in 1859 (age 42), when his son Frances McIntosh, through power of attorney, presumably transferred the land to the Town of Amherstburg in July 1862 (ELRO 1986:117; Canadian Census Data, 1861). The property remained in the hands of the Town of Amherstburg for the following 30 years.

H.F. Walling's 1877 *Historical County Map of Essex County, Ontario* (Map 13) and H. Belden & Co.'s 1881 *Illustrated Historical Atlas of Essex County, Ontario* (Map 14) provide high level depictions of the area during the later 19th-century. Both depict Gore and Kempt Street as open. None of the parcels in Amherstburg have associated persons or structures on these maps.

In 1894, the Town of Amherstburg granted the deed to customs officer William Caldwell (age 61), a widow, and his daughters. In March 1899 the lot is deeded to Alice Primeau (age 28), who, according to the 1901



Census, is the wife of a blacksmith (Louis Primeau; age 32) and mother of four children (aged 1-7). The 1901/1906 Charles Goad and Sons' *Fire Insurance Plan of Amherstburg* (Map 15) details Lot 1. A small frame structure adjacent to Gore Street. Based on the Land Registry records for this period, the structure is likely affiliated with Alice Primeau (1899-1907) (ELRO 1986:117; Canadian Census Data, 1901).

In March 1907 the property is granted to Patrick Conway, a 56-year-old Irish servant, although his wife Mary (43) is listed as the grantor in subsequent years. In the five years that follow, Mary Conway rents the property to Joseph (illegible last name) between 1907 and 1908, son Frank Conway between 1908 and 1909, and daughter Elizabeth Conway in 1910. The property is eventually sold to Manley Cahoon in October 1912. Manley Cahoon maintains the property until selling it to the Roman Catholic Episcopal Centre of London in April 1915 (ELRO 1986:117).

While under ownership of the Roman Catholic Diocese, Lot 1 was affiliated with St. Anthony's Roman Catholic School to the west (Lot 3, Plan 2) and St. John the Baptist Parish to the north (Map 16). According to Parish records (SJB 1992:58), construction of a 50-horse drive shed started in 1919 on this portion of the property and was intended to be used by members of the church. Reports of the impressive red barns (driving sheds) were included in testimonials as part of the parish records (SJB 1992). The sheds were later damaged by a deadly windstorm in 1930, and soon thereafter moved to the opposite (northern) side of Gore Street (SJB 1992:59).

By 1954, Kempt Street appears as a gravel driveway rather than a thoroughfare (Map 17), and no structures are depicted on Lot 1. This section of the property was included in the sale to the House of Shalom Youth Centre in 1971, and it is unclear at what time the gravel driveway became the manicured lawn seen today.

Table 5: Land Registry and Census Data for Lot 1 East of Kempt Street, Registered Plan 1

Type	Date Range	Affiliation	Census Information
Patent	1845-1846	Therese Caldwell	No Census Data
Deed	1846-1848	Archange Cannon	No Census Data
Deed	1848-1850	Edward Sweeney	No Census Data
Deed	1850-1862	James McIntosh	Died 1862, Age 42
Deed	1862-1894	Town of Amherstburg	Received from power of attorney (F. McIntosh) and left vacant.
Deed	1894-1899	William Caldwell (68)	Irish(?), Customs Officer Children: Mary (37), Frances (36), Linda (26)
Deed	1899-1907	Alice Primeau (28)	French; Husband: Louis (32), Blacksmith Children: Leo (7), Clara (5), May (3), Gertrude (1)
Grant	1907	Patrick Conway (56)	Irish, Servant; Wife: Mary (43) Son: John (23; Electrician); Other Children: Esther (21), Elizabeth (19), Maggie (17), Frank (14), Eva (11), Joseph (7)
Renter	1907-1909	Joseph -	Rented from Conway Family; Surname illegible
Grant	1912-1915	Manley Cahoon	No Census Data
Grant	1915-1972	The Roman Catholic Diocese	St. Anthony Roman Catholic School
Grant	1972-2021	Father John Ware	House of Shalom

2.3.5.2 Central Section of Subject Property (Lots 18 and 19 West of Kempt Street, Registered Plan 1)

Lots 18 and 19 West of Kempt Street comprises the central portion of the subject property. These lots were first patented to Pierre Gerard in July 1841 (ELRO 1986:145, 147) (Maps 11 and 12). Upon his death in 1861, his son William Gerard was willed the southern Lot 19, and his wife Mary Gerard maintained the northern Lot 18. Both lots were sold to Joseph Richard Sr. in March 1902, who sold both lots to Mary E. Gilbert in June of the same year. Mary E. Gilbert maintained ownership of Lot 18 while renting Lot 19 to an Alexander Amill in 1903. She would go on to sell both lots to the Roman Catholic Diocese in August 1910 (ELRO 1986:145, 147).

The 1901/1906 Charles Goad and Sons' *Fire Insurance Plan of Amherstburg* (Map 15) details the subject property as a vacant. There are no structures visible on the sections owned by any of the names listed above. The 1917 Charles Goad and Sons' *Fire Insurance Plan of Amherstburg* (Map 16) depicts a small unnamed building in the southwest corner of what would be Lot 19. During this time the land is owned by the Roman Catholic Diocese and it may be an outbuilding from St. Anthony's school grounds. By 1954, the small unnamed building may still be present (Map 17), and the remainder of Lots 18 and 19 are mostly gravel driveway. It is unclear when the modern outbuilding and parking lot in Lot 18 were built, but it was likely after the sale to the House of Shalom Youth Centre in 1971.

2.3.5.3 Western Section of Subject Property (Lot 3 East of Brock Street, Registered Plan 1)

Lot 3 East of Brock Street comprises western portion of the subject property. The lot was first patented to Alexander Cameron in November 1852 (ELRO 1996:260). Between 1857 and 1870 the lot was mortgaged to John Taylor, and then in 1873 to a Marden Hall(?), before being sold to Joseph S. Richard Sr. in January 1902. Similar to Lots 18 and 19 discussed above, Joseph Richard Sr. quickly sold Lot 3 to Mary E. Gilbert in May of the same year. Mary E. Gilbert then rented the lot to Mary E. Bernard (1904-1905), Alexander M. Kempt (1906-1910), before selling the lot to the Roman Catholic Diocese in August 1910 (ELRO 1986:260-261).

St. Anthony's Roman Catholic School was built in 1910 (Image 1) and contained four classrooms for students of the lower grades (Giofu 2021; Rota 2008) (Map 16). The 1917 Charles Goad and Sons' *Fire Insurance Plan of Amherstburg* depicts the Separate School (St. Anthony's Roman Catholic School) on the northwest section of the subject property. Initially, the school was constructed to help with overflow at St. Rose Elementary School, however when another four classrooms were added in 1929, the remaining students were transferred from St. Rose permanently (Giofu 2021). The building contained eight classrooms, a bell tower, and a front and side entrance (MHC 2016). St. Anthony's served as a primary/junior school in the beginning and later became an intermediate/senior school until it closed in 1972 (Rota 2008).

After St. Anthony's closed in 1972, it became the House of Shalom (Image 2). This youth centre was founded in 1971 by Father John Ware, a priest and a clinical psychologist, who saw a need for a youth centre in the community (Giofu 2021). The House of Shalom, or 'The House' moved into the building at 247 Brock Street shortly after 1972 and remained open until 2021 when its services were moved to the Amherstburg Community Hub (Giofu 2021). It is unclear when the structure lost the bell tower, and it now includes a front, side, and back entrance in addition to an outbuilding (Image 3).

2.3.5.4 Areas Adjacent to the Subject Property

North of the subject property (north of Gore Street) is a block of land formally issued to the Roman Catholic Diocese for the purposes of an updated St. Jean Baptist Church and cemetery (ca. 1838). Map 12 shows the lots issued to the Diocese in yellow on an 1838 map of the town, where the southern portion of church



property is labeled as “Catholic Graveyard” (Gaspar, 1997). Although the map is from 1838, the names associated with the lots on the subject property are from roughly 1848, as discussed above (ELRO 1996). The outline of the Church and associated outbuildings are visible on the 1901 (Map 15) and 1917 (Map 16) Fire Insurance Plans.

East and south of the subject property were largely characterized of farmland through 1954 (Map 17). According to H. Belden & Co.’s 1881 *Illustrated Historical Atlas of Essex County, Ontario* (Map 13), there is a structure depicted roughly 50-100 m east of the subject property. Although the name is cut off on Map 13, other records indicate that the structure is associated with the Bell Farm (OHCM 2021).

West of the subject property is Brock Street, a thoroughfare depicted on the survey of Amherstburg as early as 1820 (Map 11). By 1901 and 1917 the area west of Brock Street includes multiple wooden structures listed as dwellings, sheds, and outhouses (Maps 15 and 16).

2.3.6 Review of Heritage Properties and Plaques

Numerous commemorative plaques and monuments are located around the St. John the Baptist Church, roughly 75 m north of the subject property. A plaque in memory of Father Boue (the founding pastor) is located inside the main entrance of the church (Rota 2008:14). A monument was erected in 1996 north of the church property to commemorate the historic burial ground that was in use until 1864 (Rota 2008:12).

The ‘Ralph Jimmerfield Residence’ is a heritage property at 217 Gore Street, roughly 100 m southwest of the subject property on Gore Street (OHT 1977). The home is an example of the ‘salt box’ design and has the original casement window at the upper level. George Crawford, a Kentuckian of Cherokee and African descent and a carpenter by trade, bought this property in 1851 and his descendants remained for over 90 years. Although this property is outside of the 50 m radius of the subject property, it is an example of residences built in the 1840s and early inhabitants of the area. George Crawford was also instrumental in constructing many of the homes and structures in Amherstburg, including the First Baptist Church (232 George Street) (TOA 2020).

A Blacksmith Shop is listed as a heritage property at 197 Gore Street, roughly 200 m southwest of the subject property on Gore Street (OHT 1977). Although this building is outside of the 50 m radius of the subject property, Louis Primeau was listed on the 1901 census as a Blacksmith, and the Primeau affiliation with the subject property may relate to the proximity of the Blacksmith Shop.

At this time, the House of Shalom is not designated as a historic property (Giofu 2021).

2.4 Analysis and Conclusions

As noted in Section 2.1, the Province of Ontario has identified numerous factors that signal the potential of a property to contain archaeological resources. Based on the archaeological and historical context reviewed above, the subject property is in proximity (i.e., within 300 m) to features that signal archaeological potential, namely:

- mapped 19th-century thoroughfares (Brock Street, Kempt Street, Gore Street and Victoria Street South);
- mapped 19th-century structure (Bell Farm)
- proximity to known heritage sites (St. Jean Baptiste Church and Cemetery Site, Ralph Jimmerfield Residence, and First Baptist Church);



- proximity to known archaeological sites (St. Joseph' Academy site: AaHs-106);
- other areas of early 19th-century settlement (Fort Malden, Town of Amherstburg); and,
- a mapped early 20th-century structure that may predate the turn of the century.

2.5 Recommendations

Given that the subject property demonstrated potential for the discovery of archaeological resources, a Stage 2 archaeological assessment was recommended. In keeping with provincial standards, the areas within the subject property that consist of grassed or treed areas are recommended for assessment by a test pit survey at a 5 m transect interval to achieve the provincial standard. As the subject property is considered to have archaeological potential pending Stage 2 field inspection, a separate map detailing zones of archaeological potential is not provided herein (MTC 2011; Section 7.7.4, Standard 1 and Section 7.7.6, Standards 1 and 2).

3 STAGE 2 ARCHAEOLOGICAL ASSESSMENT

3.1 Stage 2 Field Methods

All fieldwork was undertaken in good weather and lighting conditions. No conditions were encountered that would hinder the identification or recovery of artifacts. The property boundaries were determined in the field based on proponent mapping, landscape features and property fencing.

The subject property is comprised of non-ploughable lands (manicured lawn) and former House of Shalom building, the outbuilding to its rear and the associated paved parking lot and walkways. As such, the subject property was subject to a standard test pit assessment, employing a 5 m transect interval (84%; 0.63 ha; Images 4 and 5). Test pits measuring at least 30 cm (shovel-width) were excavated through the first 5 cm of subsoil with all fill screened through 6 mm hardware cloth. Once screening was finished, the stratigraphy in the test pits was examined and then the pits were backfilled as best as possible, tamped down by foot and shovel and re-capped with sod. Test pitting extended up to 1 m from all standing features, including trees and buildings, when present. Typical test pits contained roughly 35 cm of dark brown loam clay soil over tan-yellow clay subsoil (Images 6).

Cultural material was found in four positive test pits (SD Map 1). At this time test pit survey was intensified (reduced to 2.5 m) to determine the size of the site, which resulted in an additional eight positive test pits (Image 7). In addition, a 1 m² test unit was excavated atop of one of the positive test pits to gather additional information (Images 8 and 9).

The southern portion of the subject property was found to have disturbed soils but was subject to test pit survey at 5 m intervals to confirm the extent of disturbance. Deep test pit survey yielded evidence of a fill layer over gravel (Image 10) or a redeposited subsoil layer over concrete and fill (Image 11). As per Section 2.1, Standard 2 of the *Standards and Guidelines* (MTC 2011:28-29), certain physical features and deep land alterations are considered as having low archaeological potential and are thus exempt from the standard test pit survey. Approximately 16% (0.12 ha) of the subject property was disturbed, consisting of the existing structure (Images 12-14), outbuilding (Image 4), paved parking lot (Images 12).

Map 17 illustrates the Stage 2 field conditions and assessment methods; the location and orientation of all photographs taken by TMHC appearing in this report are also shown on this map. An unaltered proponent map is provided as Map 3. Subsequent to the production of the proponent map, the area to be assessed was reduced through the exclusion of the closed Perry Street road allowance. Map 18 presents the Stage 2 results on the proponent mapping.



3.2 Stage 2 Record of Finds

The Stage 2 archaeological assessment resulted in identification of one site, designated Location 1 (AaHs-138). A general description of Location 1 and the findings at this site is provided below. More precise information regarding the geographic location of the site is provided in the “Supplementary Documentation” portion of this report. SD Map 1 illustrates the Stage 2 field conditions and assessment methods in relation to the site (Location 1; AaHs-138); the location and orientation of all photographs appearing in this report are also shown on this map.

3.2.1 Location 1 (AaHs-138)

A total of 323 artifacts were collected from 12 test pits and a test unit. Artifacts were collected from levels 1 (topsoil) and 2 in the test unit. Artifacts from both levels were contemporaneous and there were mends between sherds recovered from both levels. Thus, the artifacts are discussed together as a group (Image 15),

Artifacts were classed by function (Table 6). Rather unusually, nearly a third of artifacts were classified as unknown (n=100 or 31%), whereby the original function of the object could not be determined. Most of these artifacts were sherds of glass from bottles, jars, and unidentified containers whose contents were not known. A datable attribute for most of these sherds, however, was identified. Attributes included mould blown, turn moulded, manganese decoloured, and machine made. These terms, and other definitions, are found in the Artifact Glossary (Appendix B). Other artifacts classed as unknown were sherds of melted glass, an unidentified brass object, a possible ferrous wire latch or closure, and three other ferrous objects that could not be identified.

Table 6: AaHs-138, Stage 2 Artifacts by Function

Function	Test Pits	Test Unit L1 (ts)	Test Unit L2	Total	%
Unknown	14	77	9	100	30.96
Architectural	28	45	22	95	29.41
Food & Beverage	29	34	6	69	21.36
Faunal & Floral	3	12	5	20	6.19
Unassigned material	1	8	7	16	4.95
Health & Hygiene		4	1	5	1.55
Smoking	4	1		5	1.55
Lighting	1	2	1	4	1.24
Activities		3		3	0.93
Clothing		2	1	3	0.93
Modified	1	1		2	0.62
Personal			1	1	0.31
Total	81	189	53	323	100.00

Architectural artifacts (n=95) included window glass sherds, red brick fragments, and nails. Identified nail types were machine-cut with handmade head (n=2), fully machine cut (n=47), and wire (n=7). Artifacts classed as food and beverage totaled 69, most of which were ceramic sherds. Identified ceramic types were refined white earthenware (RWE; n=17), ironstone (n=12), semiporcelain (n=3), porcelain (n=4), yellowware (n=4), and

coarse stoneware (n=4). Additionally, there were nine sherds identified as RWE or semiporcelain, two sherds identified as ironstone or semiporcelain, one sherd identified as RWE or ironstone, three sherds of unidentified white earthenware, and one sherd of unidentified white vitrified ware. The only decoration styles observed on RWE were transfer printed and flown. Seven of eight RWE sherds with transfer print décor represented one vessel with the Willow print in brown. Willow was a popular print for much of the 19th-century and was more commonly printed in blue. Flown colours were blue and black. Two sherds of ironstone had moulded décor, and two sherds of semiporcelain had transfer printed décor in turquoise. A sherd of semiporcelain had a partial brown-printed maker's mark that identified Smith, Ford & Jones as the manufacturer. The partnership lasted from 1889 to 1895 and the pottery was subsequently Smith & Ford, and later Samuel Ford & Co. (Godden 1964:581). Other food and beverage artifacts were sherds of glass tableware and a sherd of a glass alcohol bottle. Three sherds of glass tableware were manganese-decoloured glass, including a tumbler sherd that was likely a Packer's tumbler. Packer's tumblers were commercial containers housing consumables such as jam and mustard. Once emptied, the containers could be used as tumblers (MACL 2010). A second Packer's tumbler was also present, represented by two colourless sherds.

All faunal and floral artifacts were animal bones. Artifacts classed as unassigned material comprised objects such as strapping, wire, and miscellaneous metal. All health and hygiene artifacts were sherds of mould-blown glass pharmaceutical bottles, and all smoking artifacts were white clay smoking pipes sherds. Two smoking pipe stems had partial maker's marks, but in both cases only the city of manufacture was identifiable. One of these was Montreal and the other was Liverpool. Smoking pipes manufactured in Montreal are common finds on Ontario archaeological sites, but pipes from Liverpool are not. Unfortunately, only the last part of the maker's name was extant and read simply "& Co Ltd." Other artifacts were fence staples, shell and Prosser buttons, sherds of glass oil lamp chimneys, sherds of utilized glass, and an American one cent coin dating to the 1890s (the last digit was obscured) (Image 16). Prosser buttons were formed from powdered clay and were named after the inventor, Richard Prosser. The first patent was issued in 1840 (Sprague 2002:113). They were inexpensive and quickly became ubiquitous. One of the glass oil lamp chimney sherds was a beaded rim. Decorated lamp chimney upper rims were not common in Canada before c.1885 (Woodhead et al. 1984:62).

The artifact assemblage dates c.1880-1920. The date is derived from the many artifacts that date to this period including manganese-decoloured glass (c.1870-1915), the beaded oil lamp chimney rim (c.1885), wire nails (c.1885), the American one cent coin (1890s) (Image 16), semiporcelain ceramic (c.1880s-1920), the Packer's tumblers, and machine-made glass. The assemblage comprised a variety of artifacts, but was atypical in that the number of food and beverage ceramics was low resulting in a low total overall. A typical household assemblage comprises at least 50% food and beverage artifacts, sometimes much more. Here, the food and beverage class accounts for less than 30%. Location 1 (AaHs-138) could be a domestic site or something else.

3.2.2 Documentary Records

Table 7 provides an inventory of documentary records accumulated during the Stage 2 assessment of the site. The Stage 2 artifact catalogue is provided in Appendix C.



Table 7: Stage 2 Documentary Records

Field Notes and Field Maps	May 27, 2021 (digital and hard copies)
Photo Catalogue	41 Images
Artifact Collection	<p>Artifacts are bagged individually with paper labels, sorted into larger bags according to context, and organized by catalogue number. These bags are stored within three larger project bags with project label:</p> <ul style="list-style-type: none"> • Bag 1: Rosati Group – 247 Brock St., Amherstburg, 2021-087, Stage 1-2, Location 1, AaHs-138, All Artifacts, Bag 1 of 3: Cat, 1-61 • Bag 2: Rosati Group – 247 Brock St., Amherstburg, 2021-087, Stage 1-2, Location 1, AaHs-138, All Artifacts, Bag 2 of 3: Cat, 62-105 • Bag 3: Rosati Group – 247 Brock St., Amherstburg, 2021-087, Stage 1-2, Location 1, AaHs-138, All Artifacts, Bag 3 of 3: Cat, 106-141 <p>These bags are located within Box 1 of the “247 Brock St., Amherstburg, Stage 1-3, Location 1, AaHs-138 Artifacts” banker’s boxes, along with a portion of the Stage 3 materials</p>
Location of Records	Unit 105, 1108 Dundas Street East, London, ON, N5W 3A7

3.3 Stage 2 Analysis and Conclusions

A Stage 2 field assessment was carried out in keeping with the Province of Ontario’s *Standards and Guidelines* (MTC 2011). Subsequent to the production of the proponent map, the area to be assessed was reduced through the exclusion of the closed Perry Street road allowance. The test pit survey resulted in the discovery of one archaeological location (Location 1; AaHs-138). Section 2.2 of the *Standards and Guidelines* (MTC 2011) establishes criteria whereby the cultural heritage value or interest (CHVI) of archaeological finds can be evaluated and the need for follow up Stage 3 testing and/or Stage 4 mitigation of construction impacts established.

Location 1 (AaHs-138) is a site identified by 323 artifacts from 12 test pits and one test unit. The artifacts suggest that the site is a possible domestic site dating to the period between c.1880 and 1920. It is located south of Gore Street within Lot 1 East of Kempt Street, Registered Plan 1, near to where a structure is depicted on the 1906 *Fire Insurance Plan of Amherstburg*. This structure is not depicted on the 1917 *Fire Insurance Plan of Amherstburg*. If the site is associated with the occupation of this structure, it should date to no later than 1917. With this in mind, a date range of c.1880 to before 1917 is proposed for Location 1 (AaHs-138). Based on the presence of at least 20 artifacts whose period of use dates to before 1900 (MTC 2011:40; Section 2.2, Standard 1.c), Location 1 (AaHs-138) has CHVI and qualifies for Stage 3 assessment.



3.4 Stage 2 Recommendations

All work met provincial standards and one archaeological location was identified during the Stage 2 assessment. Recommendations with respect to this location and the overall property are presented below.

1. Location 1 (AaHs-138) is a small late 19th to early 20th-century site. As the site contains at least 20 artifacts that date the period of use to before 1900 (MTC 2011:41; Section 2.2, Standard 1.c), Location 1 (AaHs-138) has further CHVI and qualifies for Stage 3 assessment. Given the age and small size of the site, the Stage 3 strategy should follow that established for sites where it is not yet evident that the level of cultural heritage value or interest will result in a recommendation to proceed to Stage 4 (MTC 2011:51, Table 3.1). This would involve the excavation of 1 m² test units across the site area at a 5 m interval, with an additional 20% infill units placed in areas of interest. Additional background research will be required to properly contextualize the site and assess its CHVI.
2. The Stage 2 survey of the remainder of the subject property did not result in the recovery of any archaeological resources and as such, these portions should be considered free of archaeological concern and no further assessment is required.

Our recommendations are subject to the conditions laid out in Section 6.0 of this report and to the MHSTCI' review and acceptance of this report into the provincial registry.

4 STAGE 3 ARCHAEOLOGICAL ASSESSMENT

4.1 Stage 3 Field Methods

The Stage 2 site location of Location 1 (AaHs-138) was re-identified through GPS coordinates, landscape features and details provided in Stage 2 field notes and mapping. All fieldwork was undertaken in good weather and lighting conditions. No conditions were encountered that would hinder the identification or recovery of artifacts.

A grid was established across the site using a high precision Topcon GPS unit and measuring tapes. Grid stakes were used to mark 5 m intervals along the east-west and north-south transect lines. Each 5 m by 5 m grid unit was assigned a unique alphanumeric identifier based on north and east grid references of the southwest corner. Each 5 m grid unit was then subdivided into 25 individual 1 m² that were given sub-unit designations of 1 to 25 working sequentially from west to east along each row, then moving northward (Appendix A). Two datums were established: 500N 300E:1 (Datum 1), and 505N 300E:1 (Datum 2). The locations of significant landscape markers, grid markers and buried utilities were recorded using a Topcon GRS-1 RTK GPS/Glonass Network Rover, a high precision survey unit that advertises subcentimetre accuracy (SD Table 1).

The Stage 3 strategy initially employed for Location 1 (AaHs-138) was that which is appropriate for sites found to meet the MHSTCI classification of “small pre-contact and post contact sites where it is not yet evident that the level of cultural heritage value or interest will result in a recommendation to proceed to Stage 4,” as per Standard 3.2.3 Table 3.1 Test Unit Strategy Standards 1 and 2 (MTC 2011:51). The excavation strategy was altered when it was determined that the site would not meet the MHSTCI requirement for a recommendation to proceed to Stage 4. Extensive disturbance was noted across the site area. Once it became apparent the site had been significantly impacted and lacked integrity, excavations ceased in accordance with Section 6.11 of *The Archaeology of Rural Historical Farmsteads* (MTCS 2014:19, 22). A total of 16 1 m² units were excavated on a 5 m grid across a 15 m (north-south) by 25 m (east-west) site area encompassing the Stage 2 finds.

The topsoil from each 1 m² unit was excavated by hand and passed through 6 mm hardware cloth (Images 17 and 18); the same process was carried out for the first 5 cm of subsoil, although it was anticipated that subsoil excavations would cease if subsurface features were identified. Any features identified would be mapped and photographed, covered with geotextile and not excavated, with the unit containing the feature subsequently backfilled. Artifacts were bagged by 1 m² provenience units and observed soil layer (when appropriate) and taken to the laboratory for processing. For each 1 m² unit, artifacts belonging to the same class were grouped and given a single catalogue number. Photographs of representative Stage 3 units were also taken (Images 19-24). When unit excavation was completed, the squares were backfilled (Image 25).

All 16 1 m² units contained a brown clay loam topsoil (average depth 35-45 cm), and tan grey-mottled clay subsoil (Image 19), however many units contained additional lenses or intrusions creating a unique soil stratigraphy:

- Ten units in the north and eastern portion of the site contained a burnt refuse lens roughly 20 cm from the surface, 10-15 cm thick, and including 19th-century artifacts. Below the burnt layer the brown clay loam topsoil often contained modern 20th-century remains (e.g., plastic) above tan grey-mottled clay subsoil (Image 20).



- Three units in the western portion of the site contained a gravel layer below the topsoil, which was roughly 15 cm from the surface, and 5-10 cm thick. Below the gravel layer was a layer of brown clay loam soil with no artifacts, followed by tan grey-mottled subsoil (Image 21).
- At least three units included evidence of drainage pipes (Image 22) or utility trenches (Image 23) running through the lower portion of the topsoil or resting on the subsoil layer.
- One unit contained evidence of a modern foundation wall (Image 24). As the builder's trench around the wall was filled with recent 20th-century materials (e.g., modern beer bottle caps) and it was clear that the structure dated to the 20th-century.

4.2 Stage 3 Record of Finds

The Stage 3 field assessment was carried out in keeping with the Province of Ontario's *Standards and Guidelines* (MTC 2011). A general description of Location 1 (AaHs-138) and the findings at this site are provided below. More precise information regarding the geographic location of the site is provided in the "Supplementary Documentation" portion of this report. SD Map 1 illustrates the Stage 3 field conditions and assessment methods in relation to the site (Location 1; AaHs-138); the location and orientation of all photographs appearing in this report are also shown on this map.

4.2.1 Location 1 (AaHs-138)

A total of 115 modern items and 2,121 19th and 20th-century artifacts were collected from 16 1 m² units. A modern item refers to an object that was produced and used exclusively after the year 1900. Examples of modern items collected were plastic objects (including buttons, a hair comb, a BIC pen, and a coffee cup lid), cat's eye glass marbles, machine-made container glass, Packer's tumblers, crown caps with plastic liners, and coins. One coin was an American nickel dated 1941 and another was a Canadian penny dated 1962. There was also a small pocket tool labelled MARTYR'S SHRINE MIDLAND. The Martyr's Shrine was a Catholic Church established in 1926 in Midland, Ontario. This object may have belonged to a student of the Catholic school on the subject property and suggests that some items collected from AaHs-138 were school related.

A majority of artifacts were collected from the topsoil (Layer 1), while a smaller quantity of artifacts were collected from Layer 2 which was detected in some units. Nevertheless, artifacts from both layers were contemporaneous and there were mends between sherds recovered from both layers. Thus, the artifacts are discussed together as a group.

Artifacts were classed by function (Table 8) and most were classed as food and beverage (n=734) and architectural (n=716). Most food and beverage artifacts were ceramic sherds. Identified ceramic types included pearlware (n=1), RWWE (n=105), ironstone (n=235), semiporcelain (n=62), porcelain (n=7), fine earthenware (n=3), yellowware (n=19), fine stoneware (n=1), coarse stoneware (n=75), and glazed coarse earthenware (n=66). It was not always possible to identify white ceramic sherds. Thus, there were also 29 sherds identified as RWWE or semiporcelain, 14 sherds identified as ironstone or semiporcelain, 43 sherds of unidentified white earthenware, and three sherds of unidentified white vitrified ware.

Table 8: Location 1 AaHs-138 Artifacts by Function

Function	L1 (ts)	L1 & L2	L2	Total	%
Food & Beverage	651	25	58	734	34.61
Architectural	633	30	53	716	33.76
Faunal & Floral	178	21	25	224	10.56
Unassigned material	59	7	6	72	3.39
Health & Hygiene	51		5	56	2.64
Smoking	16	1	1	18	0.85
Activities	16		1	17	0.80
Clothing	12			12	0.57
Lighting	10		1	11	0.52
Modified	9		1	10	0.47
Furniture	7	1		8	0.38
Personal	1			1	0.05
Unknown	218	13	11	242	11.41
Total Artifacts	1861	98	162	2121	100.01
Modern	100	8	7	115	
Grand Total	1961	106	169	2236	

Decoration on RWE included edged, late palette painted, tight and open sponged, transfer printed, flown, Victorian majolica, and moulded. All sherds with edged décor were the unscalloped, impressed variety. Five sherds were edged in blue and two sherds were not coloured. Only three sherds exhibited transfer-printed décor, each in a different colour: blue, brown, and black. Both the blue and brown prints were the Willow pattern. Flown colours were blue and black.

Decoration on ironstone was moulded and transfer printed. At least four moulded patterns were present: Wheat, Basketweave with Band, Centennial, and an unidentified pattern of a leaf and fern in a cartouche (Image 26). Wheat was a popular pattern and was observed on at least three vessels: a dinner plate, a saucer, and a tea cup. The saucer had a partial maker's mark but unfortunately it did not identify the manufacturer. Basketweave with Band adorned a dinner plate, and other sherds exhibited the basket part of the pattern. There are, however, three similar patterns produced by different potteries. Anthony Shaw & Son registered the Basketweave pattern in 1887, and a few years later Alfred Meakin introduced Basketweave with Band, and A. J. Wilkinson produced Basketweave with Band and Ribs (the latter two were named by collectors; WICAI 2008:5, 9,10). The patterns are similar, each one a variation of the previous pattern. Centennial adorned a platter. This pattern was registered in 1874 by W. & E. Corn to commemorate America's centennial in 1876 (WICAI 1998:1). The W. & E. Corn maker's mark was observed on another plate, and 'England' was included with the mark. The country of origin was added to exports in 1891 in compliance with the American McKinley Tariff Act (Godden 1964:11). At least two more maker's marks on ironstone included the country of origin. One of these was by the pottery Mellor Taylor & Co., which operated from 1880 to 1904 (Godden 1964:432). Thus, the vessel marked with 'England' was produced between 1891 and 1904.

Decoration on semiporcelain comprised transfer printed, flown, and moulded (Image 27). Transfer-printed colours were green and turquoise. At least three tea vessels were adorned with the same pattern in green

transfer and some of these still had gold gilding along the rim. Flown colours were blue and black. Wheat and a wheat variant adorned four of 17 sherds with moulded décor. Three maker's marks were present, though none of them were legible. Three sherds of porcelain had identifiable décor including moulded, painted, and sprigged.

The three sherds of fine earthenware represented one vessel with yellow-slipped décor (Image 27). Most sherds of yellowware were Rockingham-glazed, as were most sherds of glazed coarse earthenware. Coarse stoneware types were Albany slipped, Bristol, and salt glazed. The assemblage boasted one sherd of grey, feldspathic fine stoneware with moulded décor. This was likely a jug.

All other food and beverage artifacts were glass. These included alcohol and other beverage bottles, canning jars and jar liners, tumblers and other tableware vessels. Identified manufacturing techniques were mould blown, Rickett's-type mould, turn paste mould, and manganese decoloured (solarised) (Image 28).

Architectural artifacts included red brick fragments, mortar fragments, sherds of window glass, butt hinges, wrought spikes, and nails. Identified nail types were machine cut with handmade head (n=6), fully machine cut (n=268), and wire (n=87). Faunal and floral artifacts were mammal bones, bird bones, and shell fragments. Artifacts classed as unassigned material included screws, ferrous wire, rods, bars, strapping, a spring, a large staple, miscellaneous metal and a pair of copper links.

Health and hygiene artifacts were a bone toothbrush head, a ceramic lid for a toothpaste pot, ceramic sherds from two chamber pots, and sherds from various glass pharmaceutical bottles (Image 29). The toothpaste pot lid had a bilingual label which read, in part, ATKINSON'S CELEBRATED PARISIAN TOOTHPASTE. The domed lid with black printed label dates this artifact post-1860 when "the manufacturing of pot lids became more mechanized (Coleman 2016:8)." The toothpaste tube made the ceramic pots obsolete by 1914 (Coleman 2016:6). An aqua glass bottle sherd had enough of an embossed label to identify it as Dr. Thomas' Eelectric Oil. This product was produced by the Toronto company Northrop and Lyman beginning about 1871 (Sullivan 1983:18). This bottle was mould blown, as was another 16 sherds of glass pharmaceutical bottles. Another 10 sherds were manganese decoloured.

All smoking artifacts were sherds of white clay smoking pipes. Among them were three decorated bowl and junction sherds, including a bowl with a well-crafted embossed TD initials (Image 29). These initials may have at one time indicated a particular pipe maker, but they were widely imitated and eventually so many manufacturers applied them to their pipes that TD simply became another décor. Significantly, one stem was marked MCDUGALL / SCOTLAND, indicating Duncan McDougall & Co. as the manufacturer and a date of manufacture no earlier than 1891 due to the McKinley Tariff Act.

Activities artifacts comprised horseshoe nails, fence staples, ceramic flower pot sherds, slate pencils, and a slate writing board fragment (Image 29). Eight of 12 clothing artifacts were buttons made from shell, bone, rubber, and ceramic. Other clothing artifacts were a pair of shoe grommets, a collar stud, and a copper suspender brace. Lighting artifacts were an arc lamp electrode, a copper oil lamp burner fragment, and glass oil lamp sherds. Arc lamps were the first electric lights used in North America. They emitted bright light and were commonly used for street lights by 1877, as well as spot lights and film projectors. They sparked and were a terrible fire hazard. They began to be replaced in the 1910s but endured into the 1950s (Woodhead et al. 1984:75). Spent graphite electrodes were often simply tossed on the ground when replaced. One sherd of a glass oil lamp chimney was a beaded upper rim, a style that did not become popular in Canada until c.1885 (Woodhead et al. 1984:62). All artifacts classed as modified were sherds of utilized glass. Broken glass was sometimes used as expedient tools to cut, scrape, smooth, saw, and chisel. The reuse of glass sherds as tools



has been observed around the world. In Canada and the United States the use of glass tools was a folk tradition used for woodworking, though there may have been other uses (Clark 1981; Brandon 2014). Furniture artifacts were sherds of a porcelain figurine, a picture nail, a furniture tack, and a decorative white glass plate identified as Westmoreland's Three Owl pattern. The Westmoreland Glass Co. was established in 1889 in Pennsylvania. The only artifact classed as personal was a ferrous stretcher fragment from an umbrella or parasol.

Artifacts where the function was unclear were classed as unknown. Most of these artifacts were glass sherds (n=204) because the original or intended contents of a glass container are often not discernable from sherds. Identified manufacturing techniques were empontilled, mould blown, vented mould, and manganese decoloured. There were a few sherds of opaque white glass including four sherds of a jar liner. The jar liner could have been from a food canning jar, but could also have been from an ointment jar. Other sherds of opaque white glass could represent a vase, a lighting device, or tableware. There were also nine sherds of melted glass. Other artifacts classed as unknown were ceramic sherds and unidentified metal objects.

The Stage 3 assessment yielded a larger sample of artifacts with a greater variety of objects. Artifacts classed as food and beverage increased in the Stage 3 assemblage with 734 artifacts accounting for 35% of the total. This higher total, along with other household artifacts such as those used for personal hygiene (the toothbrush and toothpaste pot lid), health (pharmaceutical bottles), and house décor (the Westmoreland plate), suggest the assemblage is domestic. The many diagnostic artifacts reinforce the conclusion from the Stage 2 assessment that the site was occupied no earlier than 1880 and no later than 1920. Artifacts that support this date include manganese-decoloured glass (c.1870-1915), the beaded oil lamp chimney rim (c.1885), ironstone and a smoking pipe marked with the country of origin (1891), semiporcelain ceramic (c.1880s-1920), the Westmoreland glass plate, and the Packer's tumblers.

4.2.2 Documentary Records

Table 9 provides an inventory of documentary records accumulated during the Stage 3 assessment of the site. The Stage 3 artifact catalogue is provided in Appendix D.

Table 9: Stage 3 Documentary Records

Field Notes and Field Maps	June 23, 24, 2021 (digital and hard copies) July 5, 20, 2021 (digital and hard copies)
Photo Catalogue	June 23 (9 images), 24 (18 images), 2021 July 5 (15 images), and 20 (7 images), 2021
Artifact Collection	Artifacts are bagged individually with paper labels, sorted into larger bags according to context, and organized by catalogue number. All bags are stored within three green archival boxes: <ul style="list-style-type: none"> • Box 1: Rosati Group – 247 Brock St., Amherstburg; 2021-087, Stage 2; 2021-154, Stage 3; Location 1, AaHs-138, All Artifacts, Box 1 of 3: Cat. 1-313 • Box 2: Rosati Group – 247 Brock St., Amherstburg, 2021-154, Stage 3, Location 1, AaHs-138, All Artifacts, Box 2 of 3: Cat. 314-524 • Box 3: Rosati Group – 247 Brock St., Amherstburg, 2021-154, Stage 3, Location 1, AaHs-138, All Artifacts, Box 3 of 3: Cat. 525-765
Location of Records	Unit 105, 1108 Dundas Street East, London, ON, N5W 3A7

4.3 Stage 3 Analysis and Conclusions

A Stage 3 archaeological assessment was carried out in keeping with the Province of Ontario's *Standards and Guidelines* (MTC 2011). The test unit excavation of Location 1 (AaHs-138) resulted in additional artifact recovery. Section 3.4 of the *Standards and Guidelines* (MTC 2011) establishes criteria whereby the cultural heritage value or interest (CHVI) of archaeological finds can be evaluated and the need for follow up Stage 4 mitigation of construction impacts established.

The Stage 3 assessment yielded a larger sample of artifacts with a greater variety of objects. Artifacts classed as food and beverage increased in the Stage 3 assemblage with 734 artifacts accounting for 35% of the total. This higher total, along with other household artifacts such as those used for personal hygiene (the toothbrush and toothpaste pot lid), health (pharmaceutical bottles), and house décor (the Westmoreland plate), suggest the assemblage is domestic. The many diagnostic artifacts reinforce the conclusion from the Stage 2 assessment that the site was occupied no earlier than 1880 and no later than 1920. Artifacts that support this date include manganese-decoloured glass (c.1870-1915), the beaded oil lamp chimney rim (c.1885), ironstone and a smoking pipe marked with the country of origin (1891), semiporcelain ceramic (c.1880s-1920), the Westmoreland glass plate, and the Packer's tumblers.

Location 1 (AaHs-138) is located south of Gore Street within Lot 1 East of Kempt Street, Registered Plan 1 near to where a structure is depicted on the 1906 *Fire Insurance Plan of Amherstburg*. This structure is not depicted on the 1917 *Fire Insurance Plan of Amherstburg*. If the site is associated with the occupation of this structure, it should date to no later than 1917. With this in mind, a date range of c.1880 to before 1917 is proposed for Location 1 (AaHs-138).

Extensive historic research for the period between c.1880 and 1920 was conducted to further contextualize the artifact assemblage. During the late 19th to early 20th-century Lot 1 East of Kempt Street was successively occupied by a number of persons or families for short periods of time. The wide date range of the assemblage and the limited tenure of the residents during this period makes it impossible to tie the artifact assemblage to



a single occupation. The site assemblage is likely the product of an accumulation of material variably deposited during the occupations of William Caldwell (1894-1899), Alice Primeau (1899-1907), the Conway family and their tenants (1907-1912) and/or Manley Cahoon (1912-1915).

Excavations revealed that the site had been extensively disturbed. Mixed or otherwise impacted soils were noted throughout the site area. Displaced soils included refuse layers containing older artifacts found stratigraphically above layers containing more recent or modern artifacts. The site appears to be a palimpsest of cultural material deposited between c.1880 and 1917 which was impacted during the 20th-century resulting in admixing of later 20th-century and modern materials.

The artifacts and historic documentation do not suggest that the majority of the site occupation (80%) pre-dates 1870. No intact artifact bearing layers dating to the period prior to 1870 were identified. A post-1870 occupation of the subject property is confirmed via the 1906 and 1917 *Fire Insurance Plan of Amherstburg*, land registry research and additional archaeological research. There are no further factors that were identified that would add additional CHVI to the site. Amherstburg was settled much earlier than this site (beginning in the late-1700s) and no person, place or event of historical significance can be directly associated with the archaeological material. Given the age of the site and the lack of integrity, Location 1 (AaHs-138) is considered sufficiently documented. Based on Section 3.4.2 and Table 3.2 of the *Standards and Guidelines* (MTC 2011:59 and 61), and Section 6 of *The Archaeology of Rural Historical Farmsteads* (MTCS 2014) Location 1 (AaHs-138) has no further cultural heritage value or interest (CHVI) within the provincial framework and does not meet standards for Stage 4 assessment.

4.4 Stage 3 Recommendations

A Stage 3 assessment was undertaken for Location 1 (AaHs-138), a domestic site dating to the period between c.1880 and 1917. Given the age of the site and the lack of integrity, Location 1 (AaHs-138) is considered sufficiently documented. The site does not meet provincial criteria for Stage 4 assessment and no further work is recommended. As such, the subject property should be considered free of archaeological concern.

Our recommendations are subject to the conditions laid out in Section 6.0 of this report and to the MHSTCI' review and acceptance of this report into the provincial registry.



5 SUMMARY

A Stage 1 and 2 archaeological assessment was conducted for the roughly 0.75 ha (1.85 ac) property at 247 Brock Street in the Town of Amherstburg, Essex County, Ontario. The Stage 1 assessment revealed that the property had potential for the discovery of archaeological resources and a Stage 2 survey was recommended and carried out. The Stage 2 assessment (test pit assessment at a 5 m interval) resulted in the documentation of archaeological resources at Location 1 (AaHs-138). The site was found to have further cultural heritage value or interest (CHVI) and Stage 3 testing was recommended.

A Stage 3 archaeological assessment was conducted for Location 1 (AaHs-138). The Stage 3 work consisted of the excavation of 16 1 m² units across the site area, resulting in the collection of 2,236 19th and 20th-century artifacts. Based on the artifacts recovered and their distribution, Location 1 (AaHs-138) is a domestic site dating to the period between c.1880 and 1917. The site assemblage is likely the product of an accumulation of material variably deposited during the occupations of William Caldwell (1894-1899), Alice Primeau (1899-1907), the Conway family and their tenants (1907-1912) and/or Manley Cahoon (1912-1915). Given the age of the site and the lack of integrity, Location 1 (AaHs-138) is considered sufficiently documented. The site does not meet provincial criteria for Stage 4 assessment and no further work is recommended. As such, the subject property should be considered free of archaeological concern.

6 ADVICE ON COMPLIANCE WITH LEGISLATION

This report is submitted to the MHSTCI as a condition of licensing in accordance with Part VI of the *Ontario Heritage Act*, R.S.O. 1990, c. 0.18. The report is reviewed to ensure that it complies with the standards and guidelines that are issued by the minister, and that the archaeological fieldwork and report recommendations ensure the conservation, protection and preservation of the cultural heritage of Ontario. When all matters relating to archaeological sites within the project area of a development proposal have been addressed to the satisfaction of the MHSTCI, a letter will be issued by the ministry stating that there are no further concerns with regard to alterations to archaeological sites by the proposed development.

It is an offence under Sections 48 and 69 of the *Ontario Heritage Act* for any party other than a licensed archaeologist to make any alteration to a known archaeological site or to remove any artifact or other physical evidence of past human use or activity from the site, until such time as a licensed archaeologist has completed archaeological fieldwork on the site, submitted a report to the minister stating that the site has no further cultural heritage value or interest, and the report has been filed in the Ontario Public Register of Archaeology Reports referred to in Section 65.1 of the *Ontario Heritage Act*.

Should previously undocumented (i.e., unknown or deeply buried) archaeological resources be discovered, they may be a new archaeological site and therefore subject to Section 48(1) of the *Ontario Heritage Act*. The proponent or person discovering the archaeological resources must cease alteration of the site immediately and engage a licensed consultant archaeologist to carry out archaeological fieldwork, in compliance with Section 48(1) of the *Ontario Heritage Act*.

The *Funeral, Burial and Cremation Services Act*, 2002, S.O. 2002, c.33 requires that any person discovering human remains must notify the police or coroner and Crystal Forrest, A/Registrar of Burial Sites, Ontario Ministry of Government and Consumer Services. Her telephone number is 416-212-7499 and e-mail address is Crystal.Forrest@ontario.ca.

Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48(1) of the *Ontario Heritage Act* and may Archaeological sites recommended for further archaeological fieldwork or protection remain subject to Section 48(1) of the *Ontario Heritage Act* and not be altered, or have artifacts removed from them, except by a person holding an archaeological licence.

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8 IMAGES

Image 1: St. Anthony's Roman Catholic School (ca. 1910)

Looking Northeast (MHC 2016)



Image 2: House of Shalom (ca. 2016)

Looking Northeast (MHC 2016)



Image 3: House of Shalom (ca. 2021)

Looking Southeast (Giofu 2021)



Image 4: Test Pit Survey at 5 m Intervals

Looking North



Image 5: Test Pit Survey at 5 m Intervals

Looking Southeast



Image 6: Typical Test Pit



Image 7: Intensified Test Pit Survey at 2.5 m Intervals at AaHs-138

Looking Northeast



Image 8: Test Unit Excavation at AaHs-138

Looking: Southeast



Image 9: AaHs-138 Test Unit



Image 10: Typical Disturbed Test Pit



Image 11: Typical Disturbed Test Pit



Image 12: Built Structure, Parking Lot and Sidewalk

Looking South



Image 13: Eastern Boundary of Built Structure and Walkway

Looking Southeast



Image 14: Walkways and Side of Built Structure

Looking East



Image 15: Location 1 (AaHs-138), Stage 2 Sample of Artifacts

A) RWE, Willow transfer print, cat.72; B) RWE, flown, cat.121; C) ironstone, cat.75; D) ironstone, moulded, cat.76; E) semiporcelain, transfer printed, cat.6; F) semiporcelain, Smith, Ford & Jones maker's mark, cat.73; G) yellowware, cat.33; H) Albany-slipped stoneware, cat.79; I) smoking pipe mouthpiece, cat.16; J) smoking pipe stem, Liverpool mark, cat.54; K) machine-cut nail, cat.135; L) wire nail, cat.134; M) mould-blown glass pharmaceutical bottle, cat.91; N) manganese-decoloured glass container, cat.104; O) machine-made glass jar, cat.102; P) Packer's tumbler, cat.89; Q) tableware glass, cat.15; R) beaded glass oil lamp chimney rim, cat.31



Image 16: Location 1 (AaHs-138), Stage 2 USA One Cent Coin 189_

Cat. 118



Image 17: Location 1 (AaHs-138) Stage 3 Unit Excavation

Looking Northeast



Image 18: Location 1 (AaHs-138) Stage 3 Unit Excavation

Looking East



Image 19: Typical Unit (495N 305E:1) Showing Normal Topsoil and Subsoil



Image 20: Typical Unit with Black/Burned Layer (505N 305E:1)



Image 21: Typical Unit with Gravel Layer (500N 305E:1)



Image 22: Unit with Drainage Pipe and Burnt Lens (505N 315E:1)



Image 23: Unit With Utility Trench Through Burnt Lens (505N 300E:I)



Image 24: Modern Foundation Wall (505N 290E:I)



Image 25: Backfilled Units at the End of Assessment

Looking Southeast



Image 26: Location I (AaHs-I38), Sample of Stage 3 Tableware Ceramics

A) pearlware, cat.387; B & C) RWE, unscalped impressed edged, cat.465 & 384; D & E) RWE, late palette painted, cat.380 & 464; F) RWE, tight sponged, cat.728; G) RWE, open sponged, cat.370; H) RWE, Willow transfer printed, cat.293; I) RWE, flown, cat.371; J) RWE, Victorian majolica, cat.210; K) ironstone, unidentified moulded, cat.522; L) ironstone, Wheat moulded, cat.333; M) ironstone, Centennial moulded, cat.524; N) ironstone, Basketweave with Band, cat.336; O) ironstone maker's mark, Mellor Taylor & Co. England, cat.732; P) ironstone maker's mark, W. & E. Corn, England, cat.426

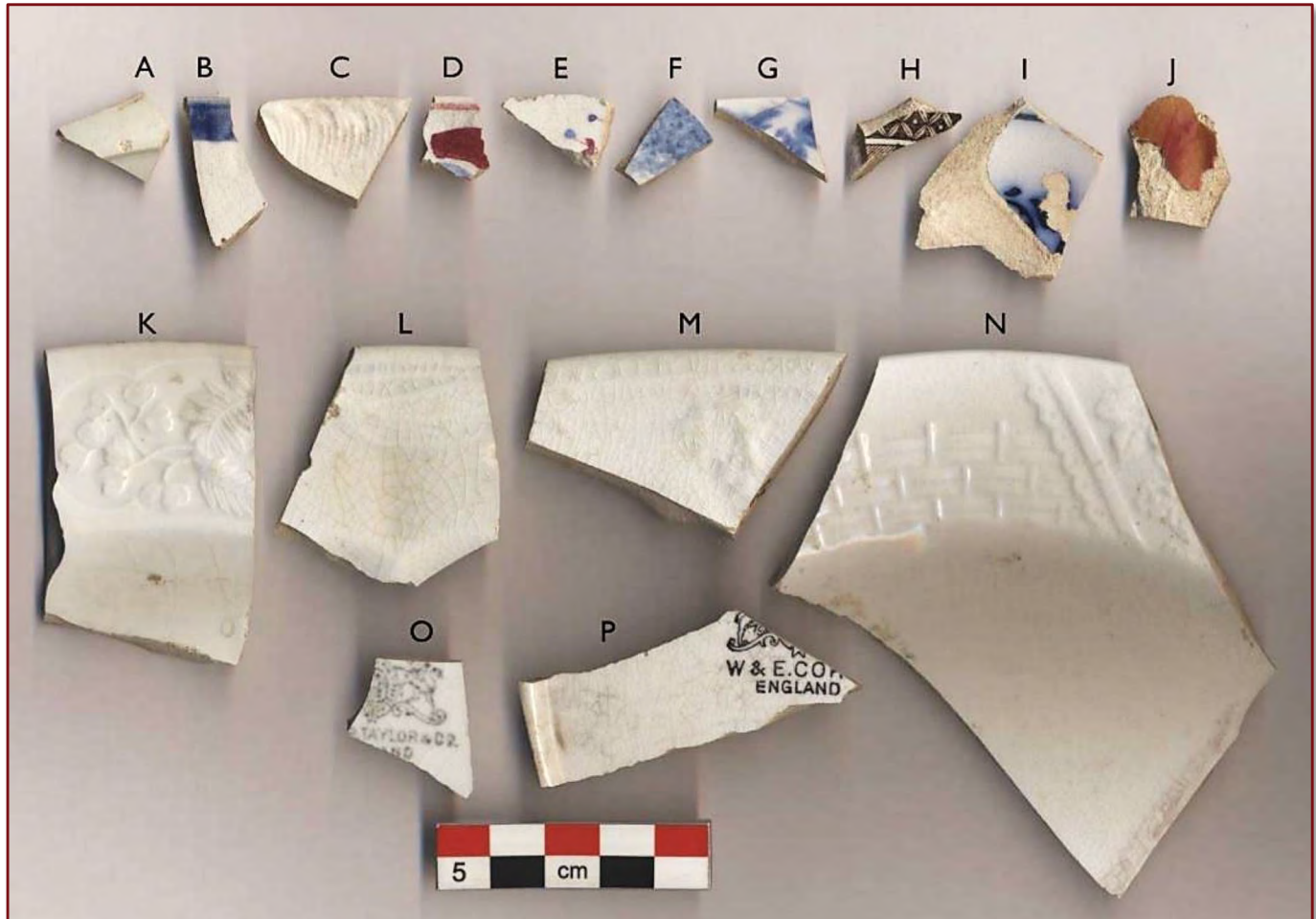


Image 27: Location 1 (AaHs-138), Sample of Stage 3 Tableware and Utilitarian Ceramics

A) semiporcelain, moulded & gilded, cat.229; B) semiporcelain, green transfer printed & gilded, cat.516; C) semiporcelain, turquoise transfer printed, cat.226; D) semiporcelain, flown, cat.467; E) RWE or semiporcelain, clobbered transfer printed, cat.374; F) porcelain, sprigged, cat.369; G) yellowware, moulded, cat.587; H) yellowware, Rockingham, cat.223; I) fine earthenware, slipped, cat.705; J) feldspathic stoneware, cat.594; K) Bristol stoneware, cat.162; L) Albany-slipped stoneware, cat.161

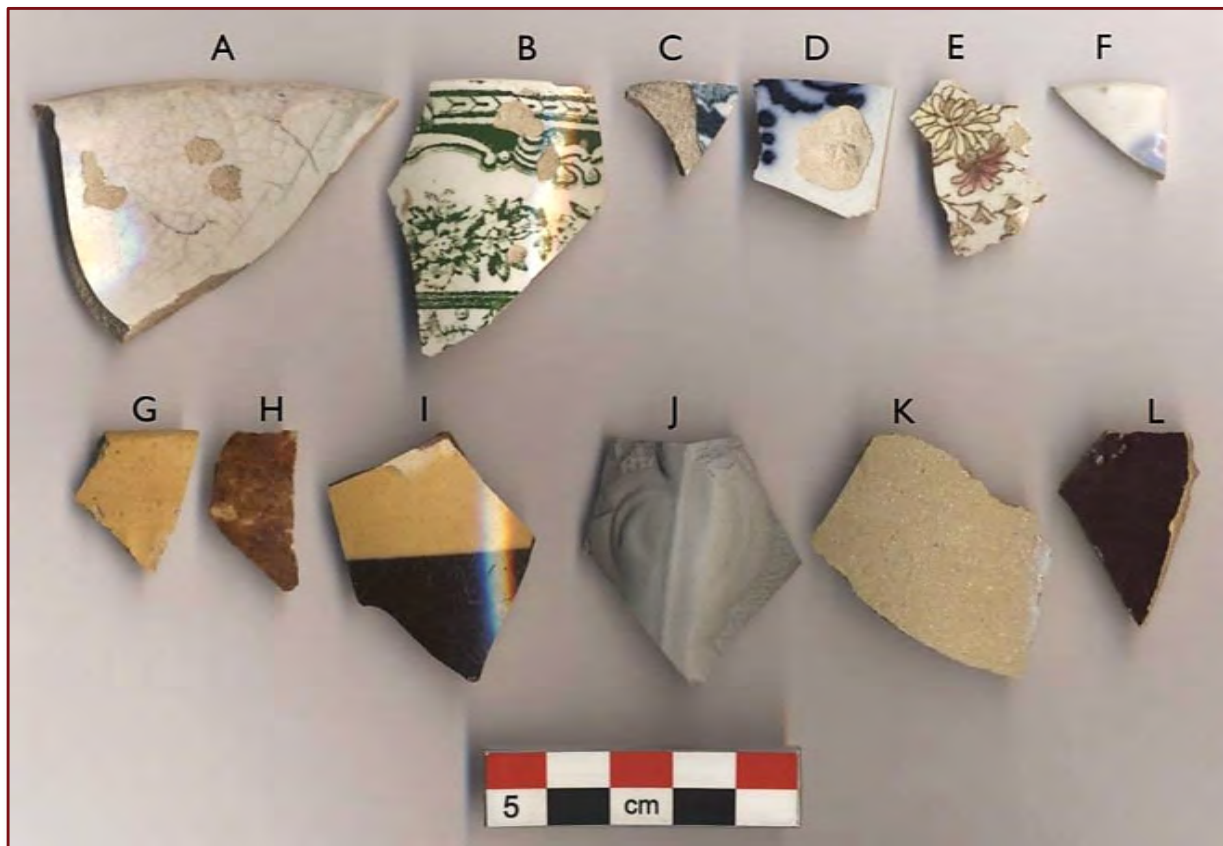


Image 28: Location 1 (AaHs-138), Sample of Stage 3 Glass Artifacts and Items

A) mould-blown pharmaceutical bottle, Dr. Thomas Eclectric Oil, cat.240; B) mould-blown pharmaceutical bottle, cat.630; C) manganese-decoloured container, cat.641; D) manganese-decoloured tumbler, cat.237; E) tableware, cat.150; F) Packer's tumbler, cat.236; G) beaded oil lamp chimney rim, cat.173; H) jar liner, cat.393; I) opaque-white jar liner, cat.448; J) Westmoreland's Three Owl opaque-white decorative plate, cat.449



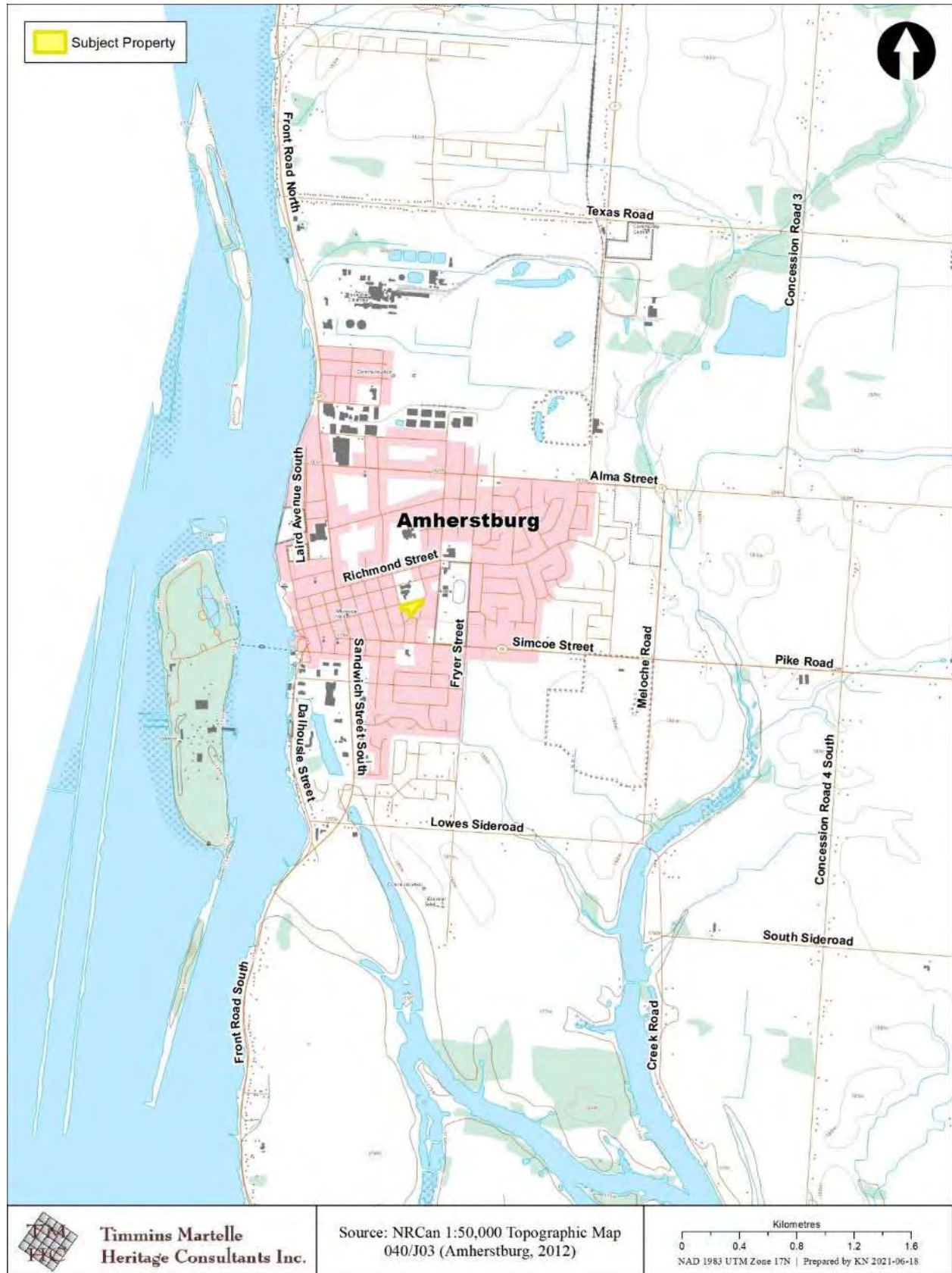
Image 29: Location I (AaHs-138), Sample of Stage 3 Other Artifacts and Items

A) ceramic toothpaste pot lid, cat.234; B) bone toothbrush head, cat.319; C) shell button, cat.685; D) rubber button, cat.143; E) plastic button, cat.622; F) copper suspender brace, cat.732; G) slate pencils, cat.688; H) umbrella/parasol stretcher, cat.310; I) porcelain figurine, cat.586; J) white clay smoking pipe, SCOTLAND, cat.222; K) white clay smoking pipe, decorated, cat.693; L) white clay smoking pipe, TD, cat.368; M) copper chain, cat.690; N) pocket tool, MARTYR'S SHRINE MIDLAND, cat.320

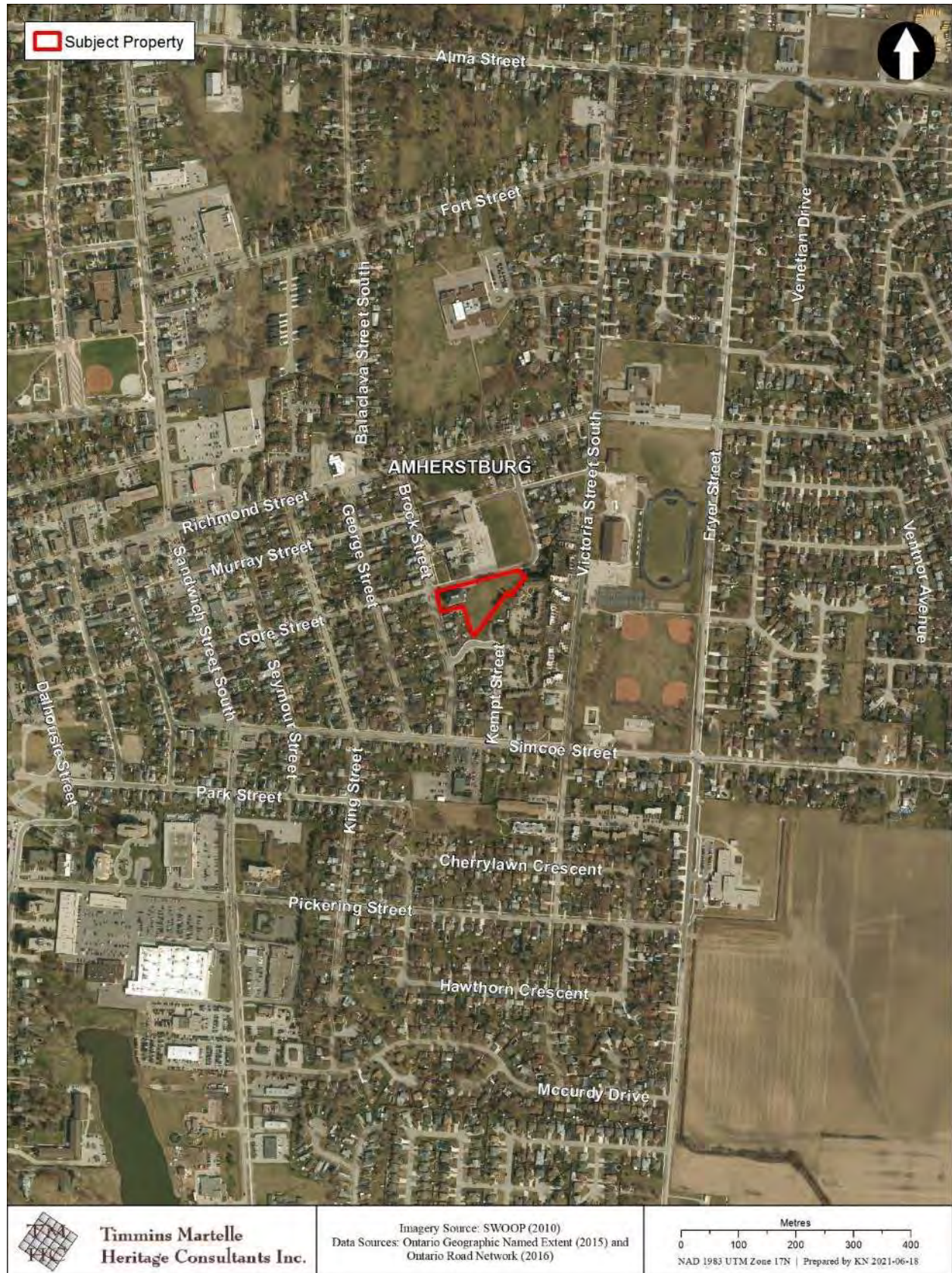




9 MAPS



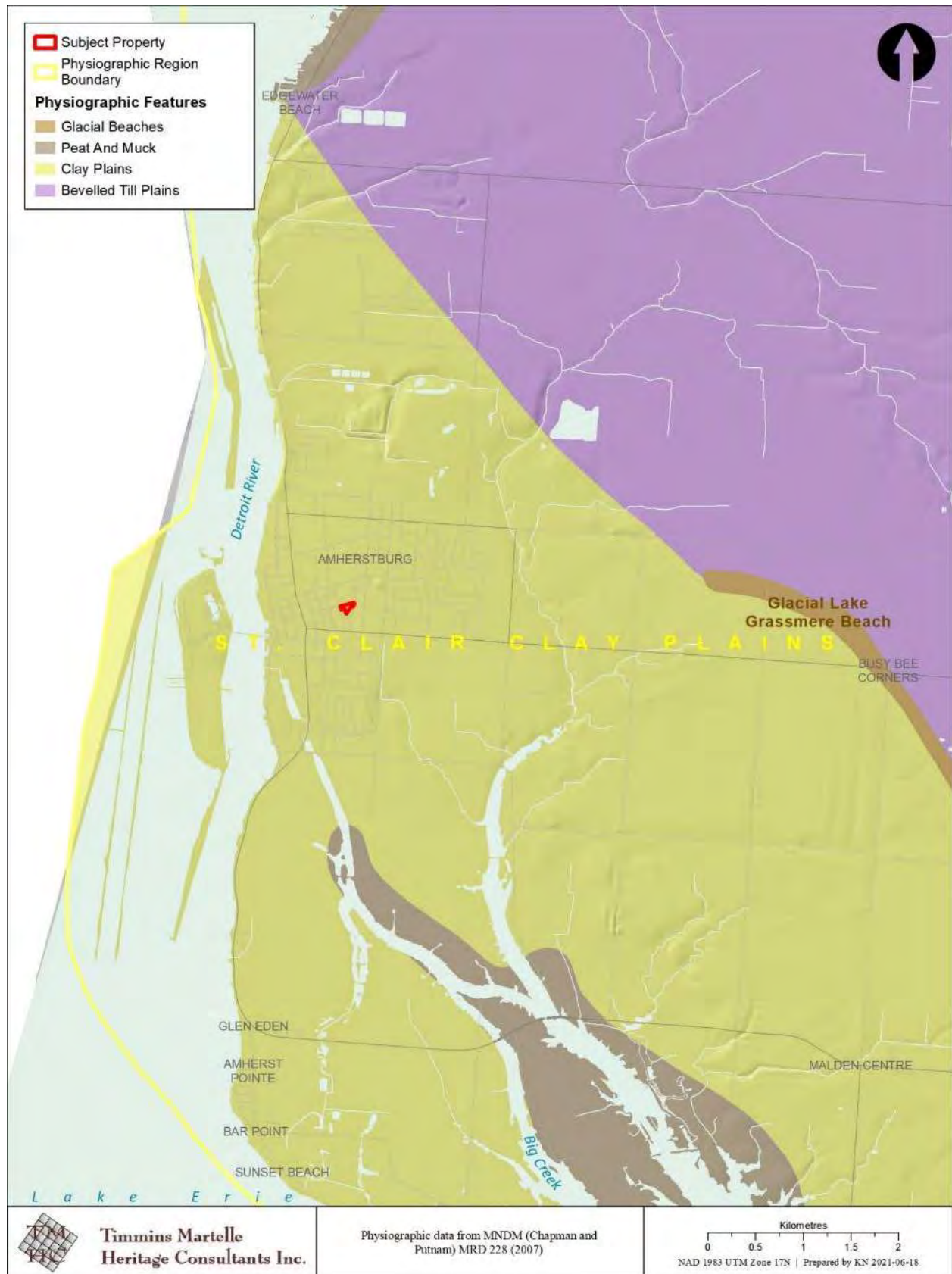
Map I: Location of the Subject Property in the Town of Amherstburg, ON



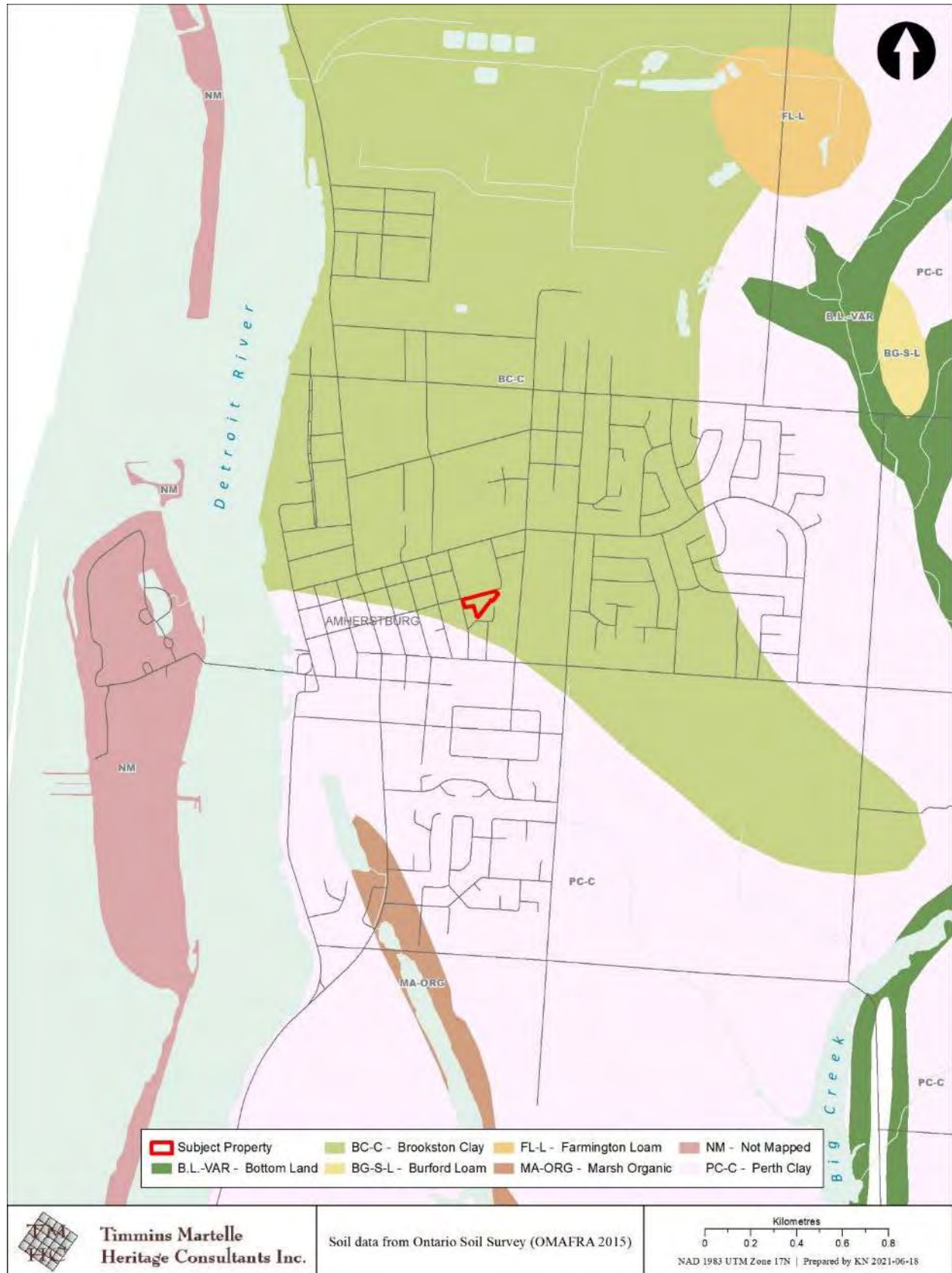
Map 2: Aerial Photograph Showing the Location of the Subject Property



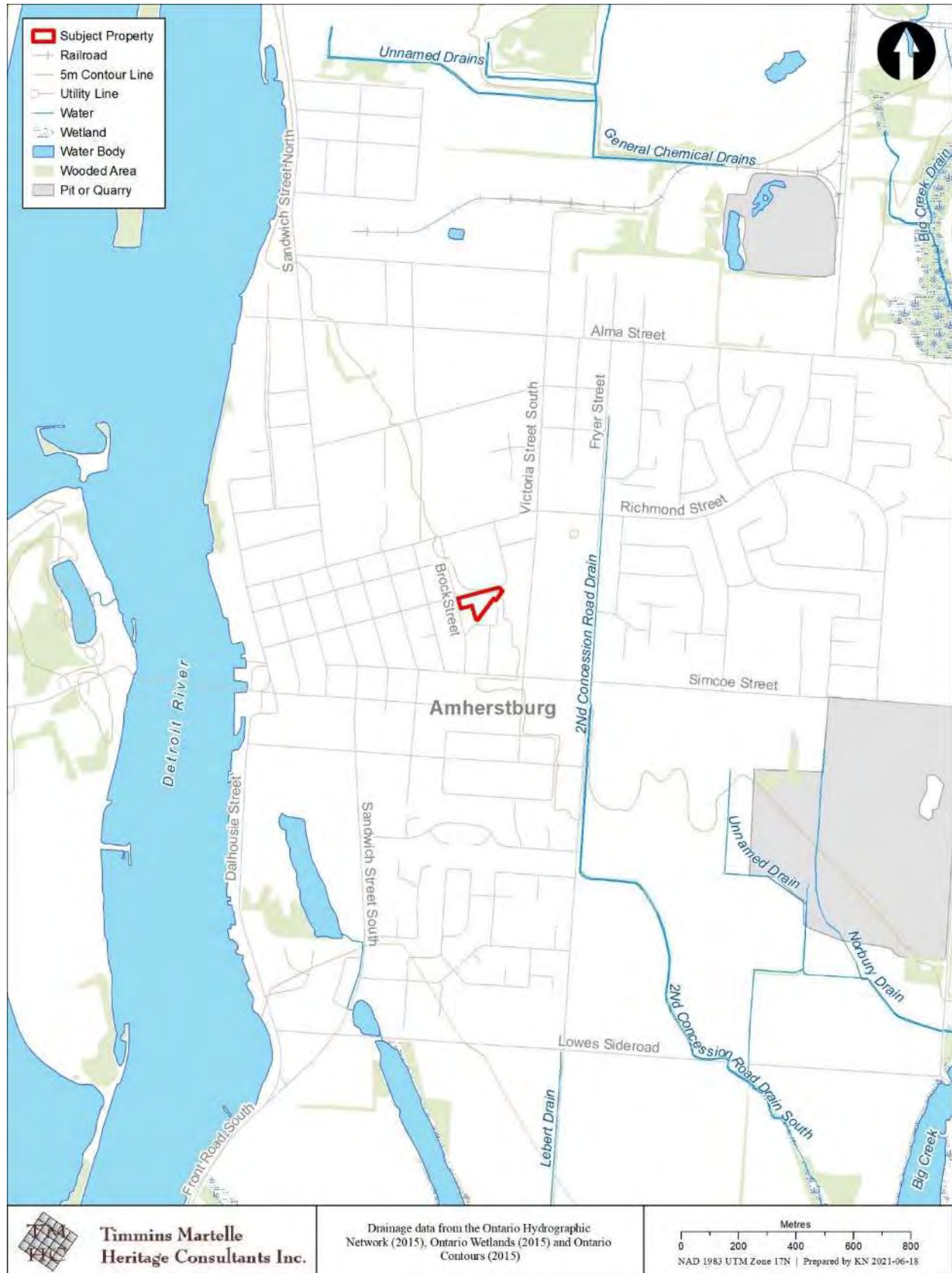
Map 3: Proponent Mapping



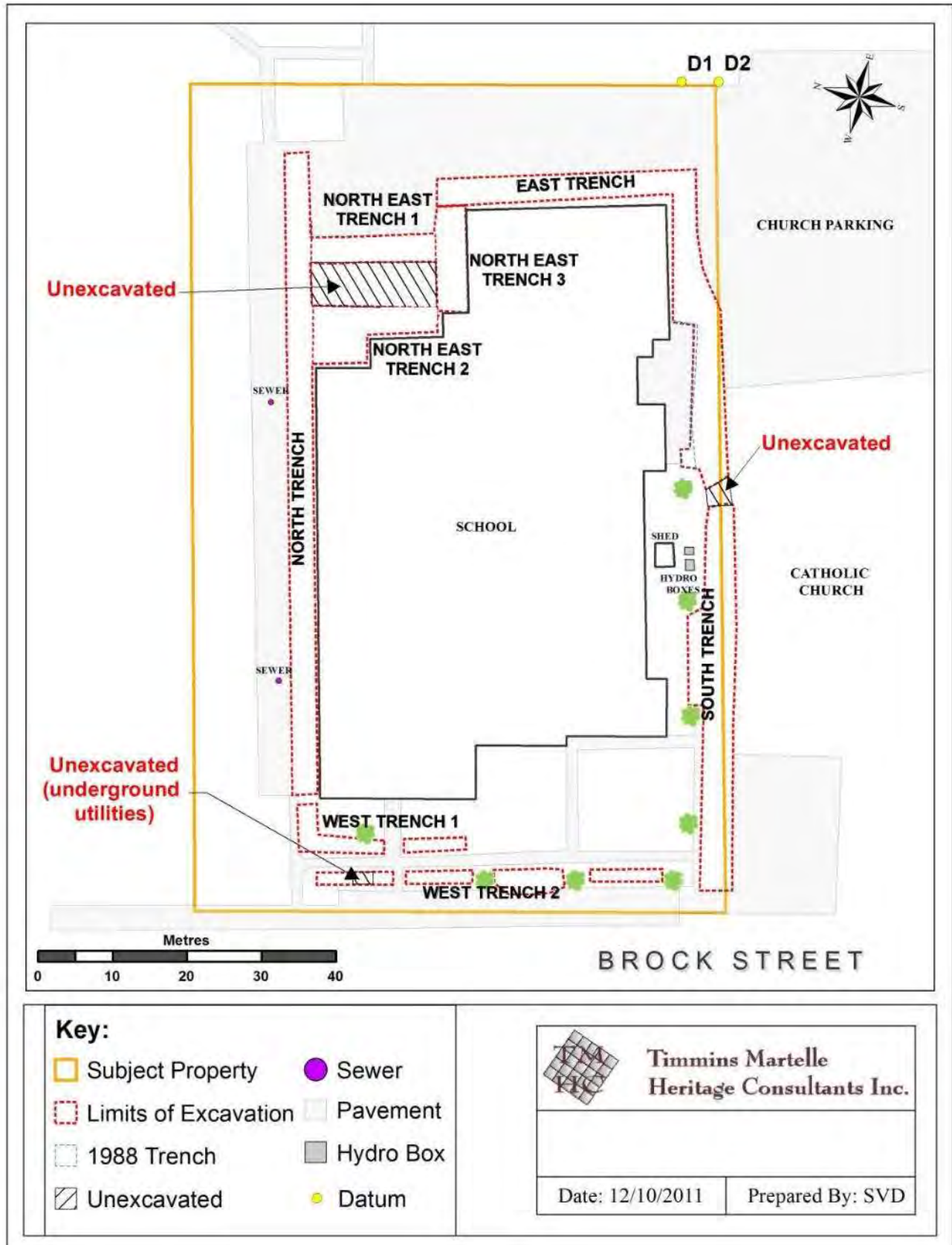
Map 4: Physiography Within the Vicinity of the Subject Property



Map 5: Soils Within the Vicinity of the Subject Property



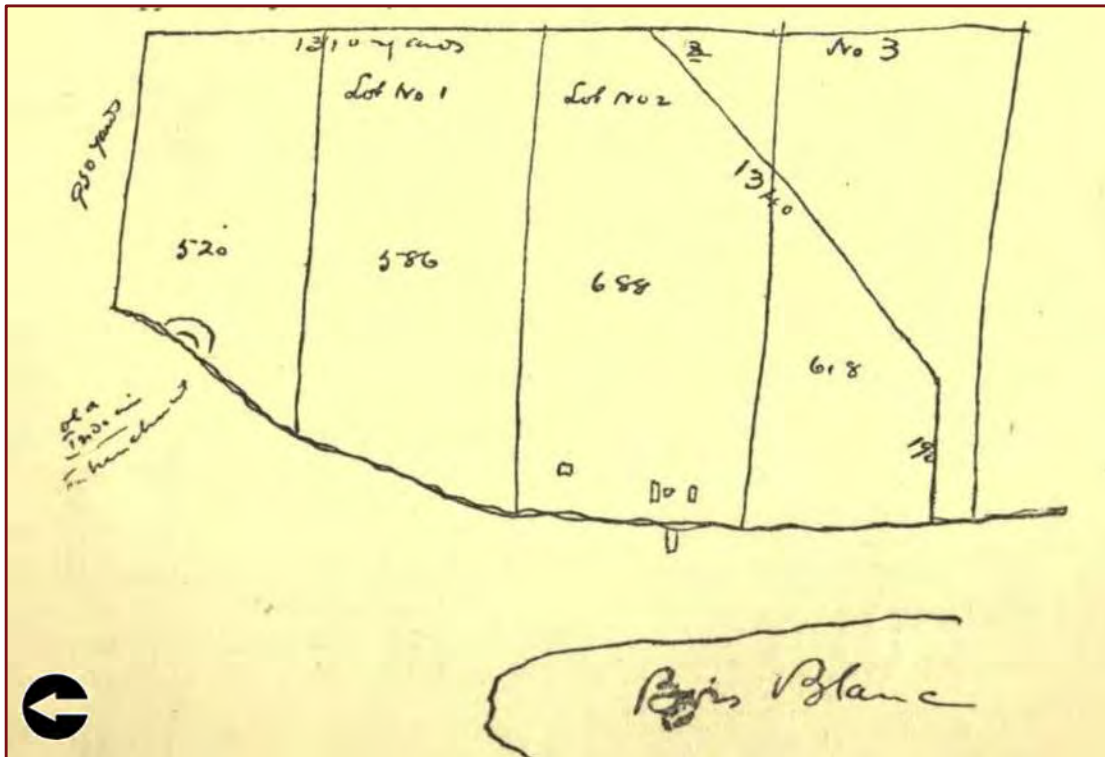
Map 6: Drainage Within the Vicinity of the Subject Property



Map 7: TMHC (2011), 219 Brock Street (AaHs-31) Stage 2/3 Results

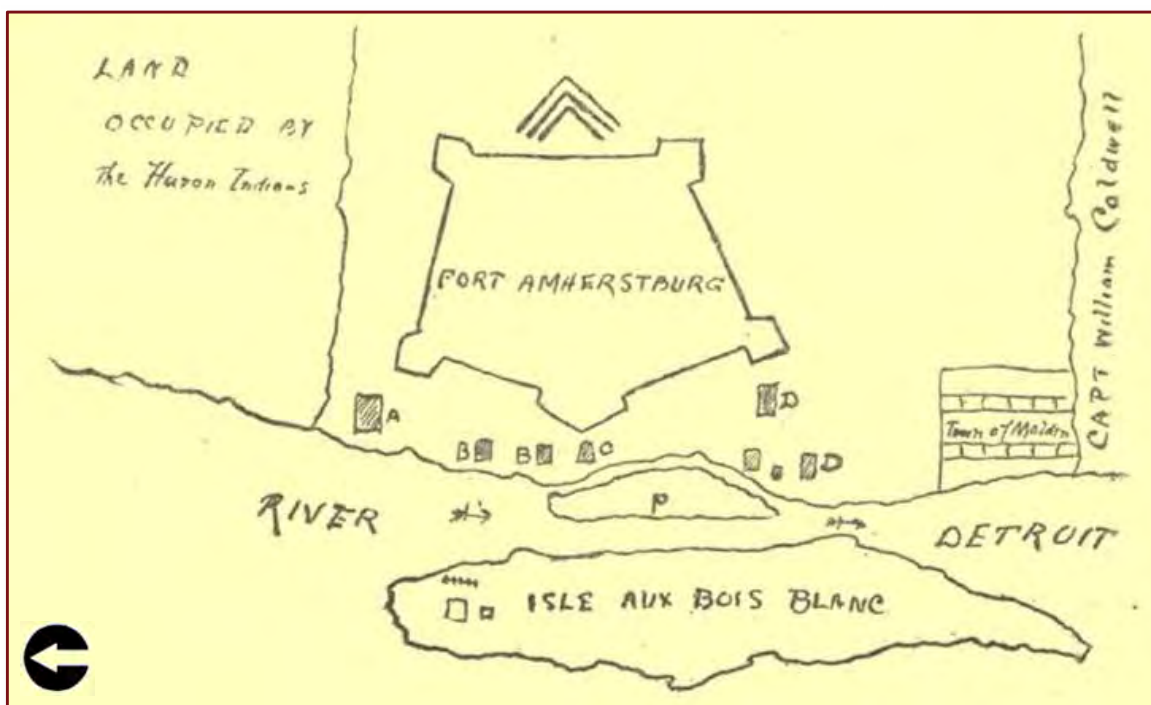
Map 8: Sketch of Malden Township (ca. 1796)

Not to scale; From James (1902:13)



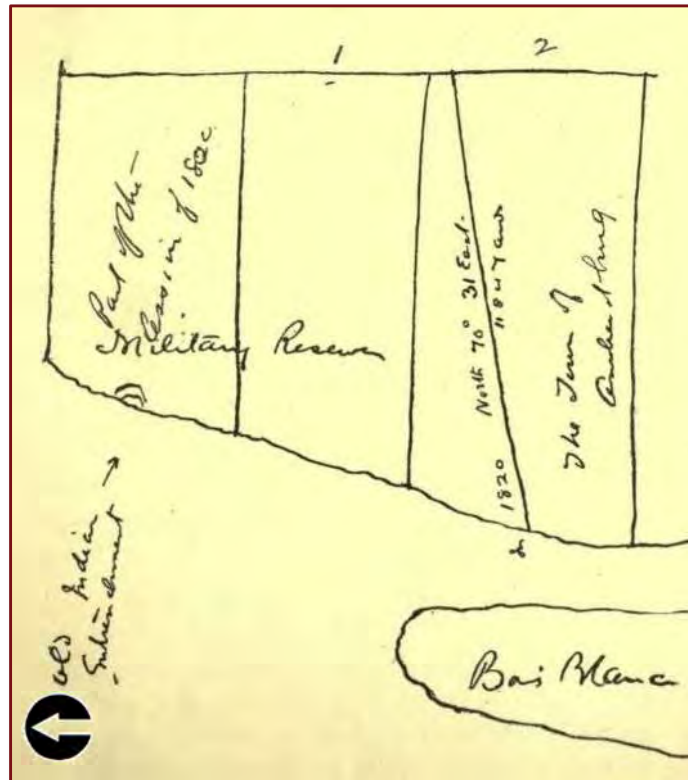
Map 9: Sketch of Fort Malden/Fort Amherstburg (1797-1813)

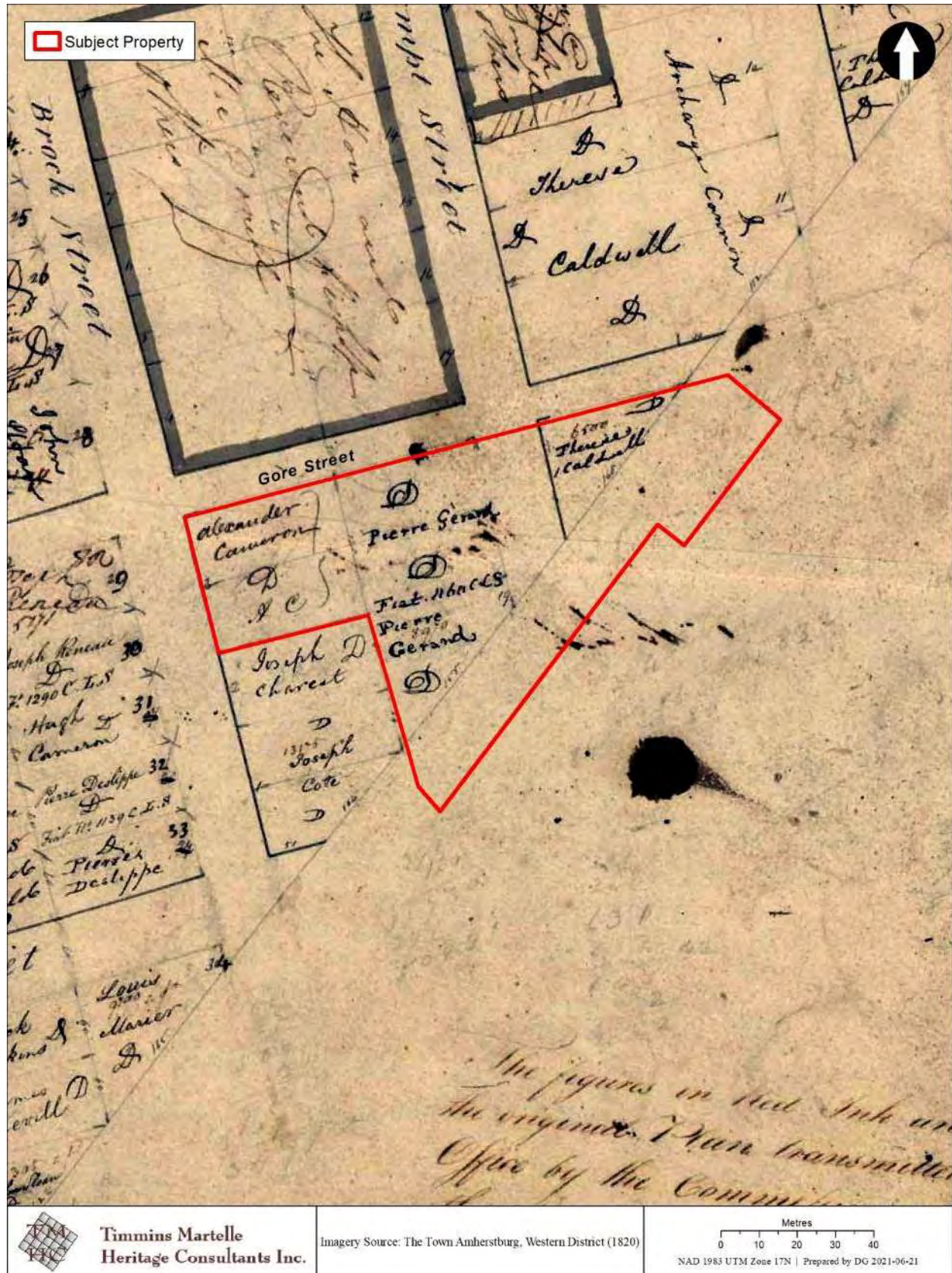
Not to scale; From James (1902:14)



Map 10: Sketch of Malden Township and the new Military Reserve (ca. 1838)

Not to scale; From James (1902:21)

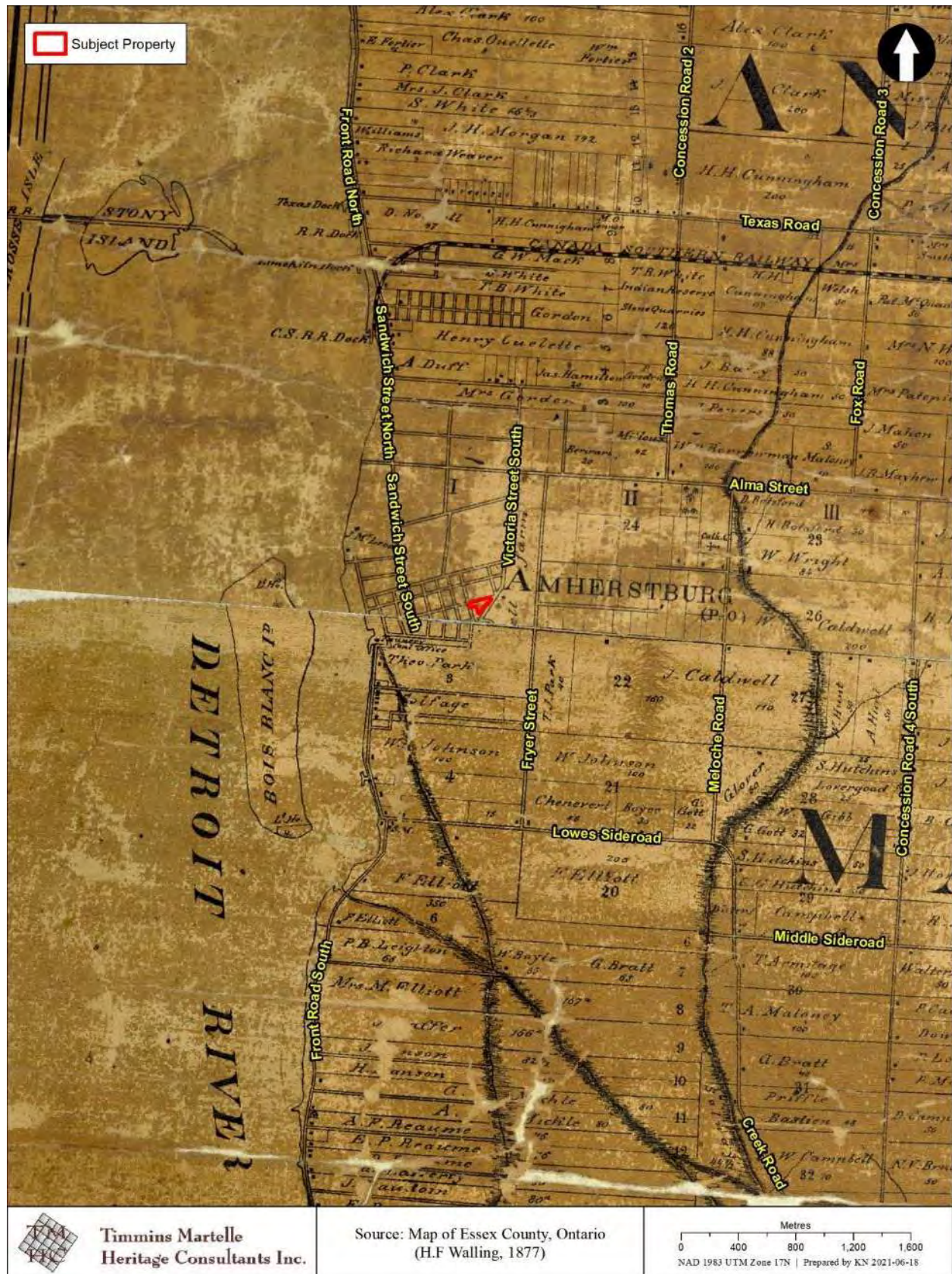




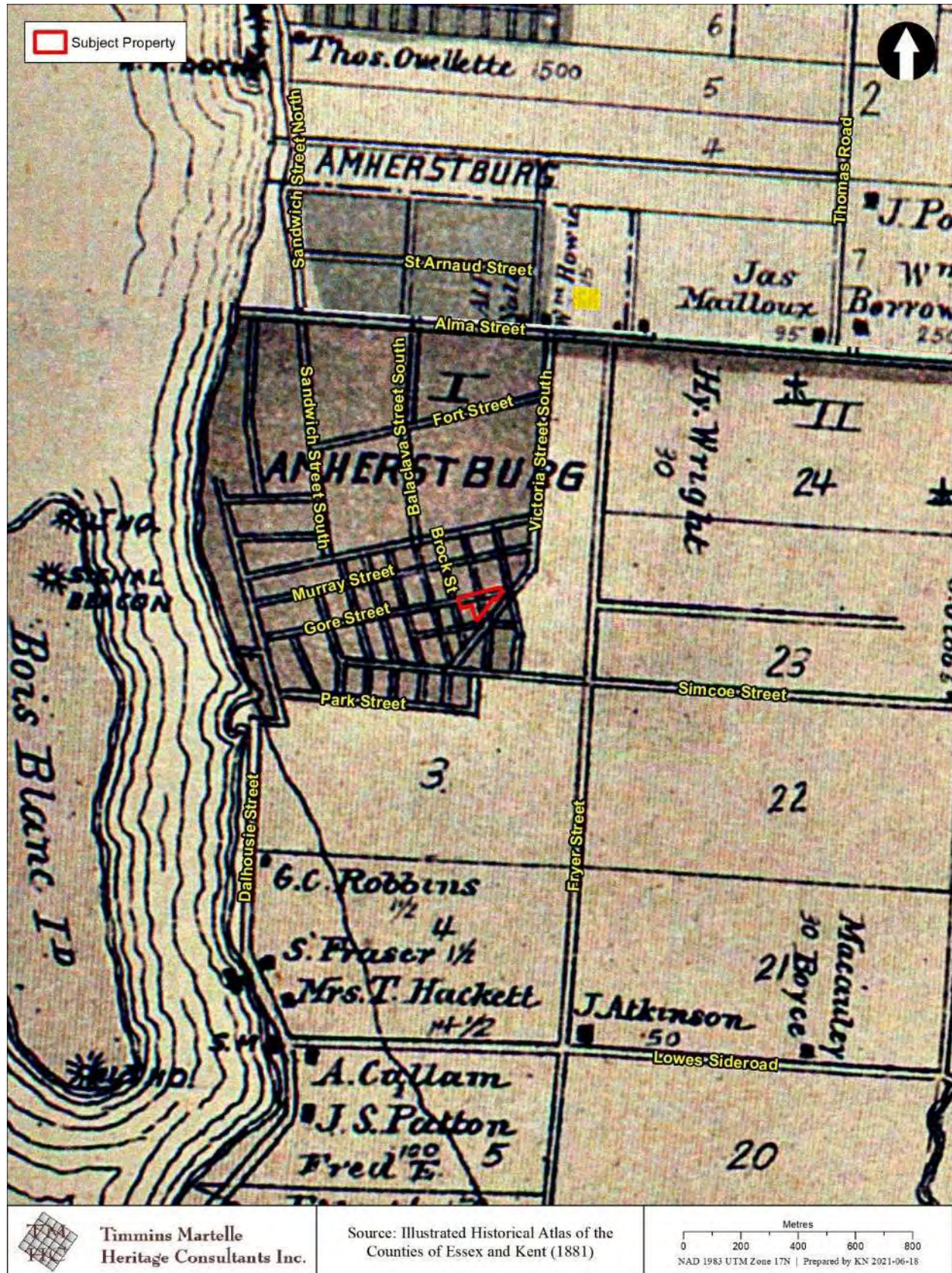
Map 11: Location of the Subject Property on 1820 Survey Plan of The Town of Amherstburg



Map 12: Location of the Subject Property on an 1838 Plan of Amherstburg



Map I3: Location of the Subject Property on the 1877 Map of Essex County



Map 14: Location of the Subject Property on the 1881 Map of Essex County



Map 15: Subject Property Shown on the 1901/1906 Fire Insurance Plan of Amherstburg



Map 16: Subject Property Shown on the 1917 Fire Insurance Plan of Amherstburg



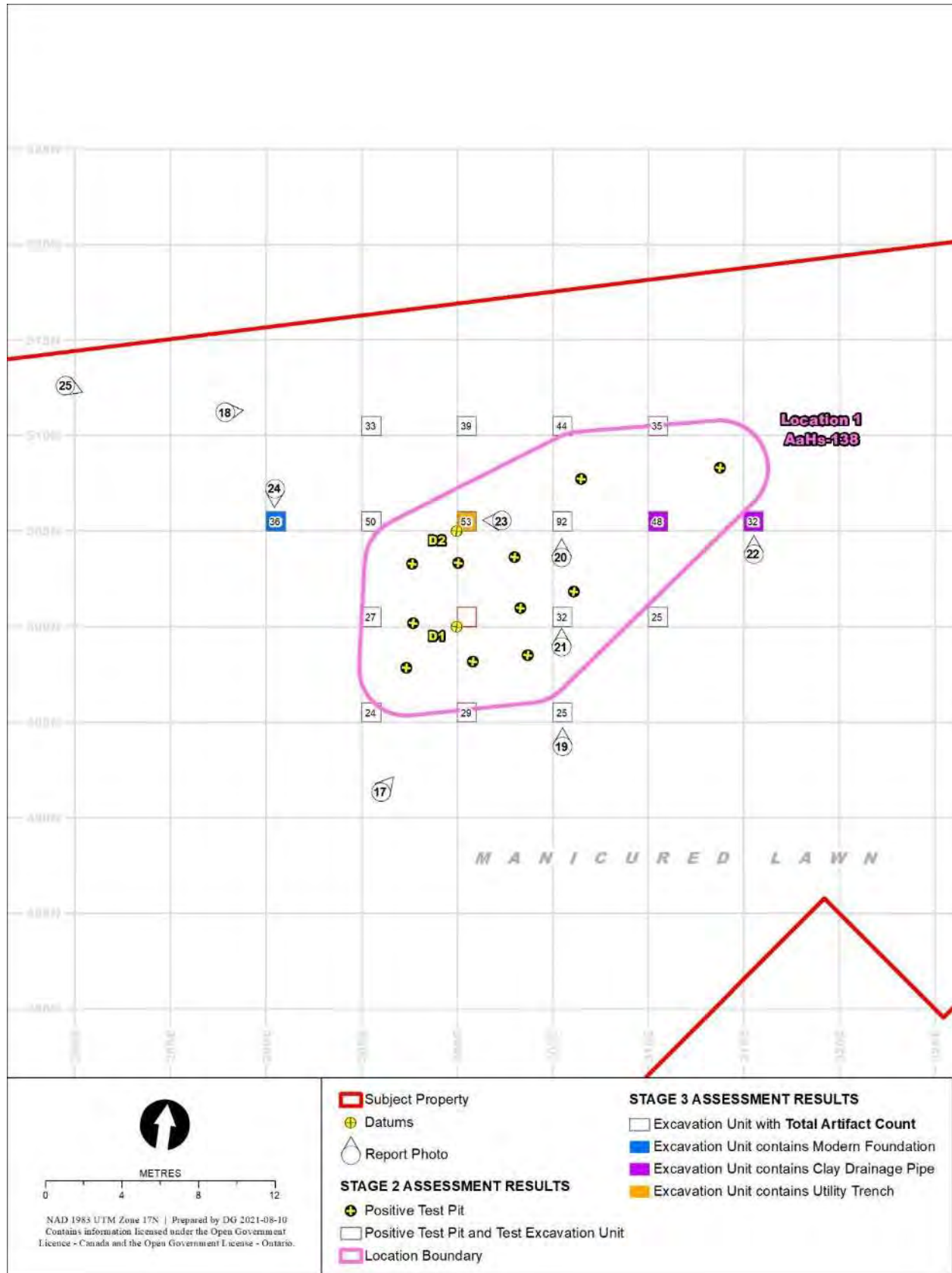
Map 17: Subject Property Shown on the 1954 Aerial Photos of Amherstburg



Map 18: Stage 2 Field Conditions and Assessment Methods



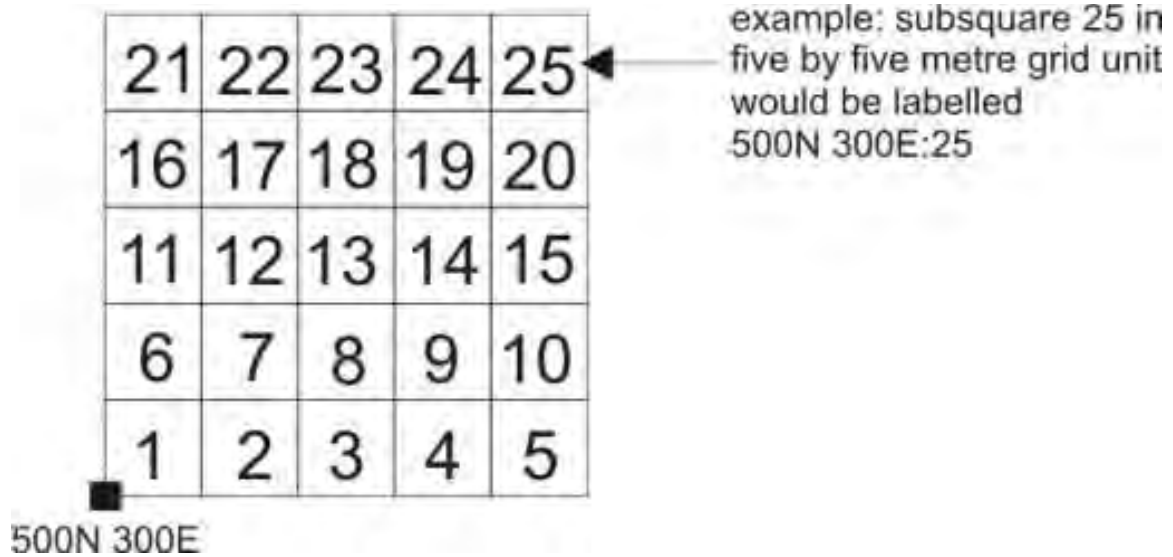
Map 19: Stage 2 Field Conditions and Assessment Methods Shown on Proponent Mapping



Map 20: Location I (AaHs-138) Stage 3 Results



APPENDIX A: ILLUSTRATION OF GRID COORDINATE SYSTEM





APPENDIX B: ARTIFACT GLOSSARY

Ceramic Types

Fine Earthenware

Fine earthenware encompassed refined ceramics with dark clay bodies, usually brown or red, and generally had dark glazes. Fine earthenwares peaked in the late 18th century but potters continued to produce them in small quantities for much of the 19th century. Jackfield-type was one example of a fine earthenware. Tea and coffee pots and creamers were common vessels (MACL 2015a).

Ironstone

Also known as white granite, ironstone was characterised by its robust body and moulded decoration. Developed in 1842, ironstone rose to popularity after the Wheat pattern was introduced in 1859 (Sussman 1985:7). Ironstone dominated in tableware, tea ware and toiletry ceramics during the fourth quarter of the 19th century. Production of ironstone continued into the 20th century, although by this time its manufacture was largely restricted to toiletries and hotel ware (Wetherbee 1996:10).

Pearlware

Pearlware evolved from creamware. It was characterised by a white fabric with a blue-tinted lead glaze. Unlike creamware, pearlware vessels were most often colourfully decorated. Pearlware was introduced in 1779 and was produced into the 1840s (Miller & Hunter 2001:135).

Porcelain

Porcelain was a vitrified ceramic first produced in China. Chinese porcelain was introduced to Europeans in the late 16th century and its popularity with the elite encouraged English potters to emulate it. English potters achieved true porcelain by the mid-18th century (MACL 2016). Porcelain was an expensive commodity in the first half of the 19th century, though most families had at least a porcelain tea set. Porcelain's affordability greatly increased once it became more widely produced and available in the late 19th century.

Refined White Earthenware

Refined white earthenware (RWE) evolved from earlier white-bodied refined ceramics (creamware and pearlware) and began to replace them starting in the 1820s because the glaze was closer to white. RWE was the dominant ceramic type on dining tables for much of the 19th century until it, too, was slowly replaced by the more robust ironstone. RWE did not disappear entirely, however.

Semiporcelain

Semiporcelain was a shift back to a delicate ware after the heaviness of ironstone. It was popular c.1890 to the 1920s (Majewski and O'Brien 1987:123, 155).



Stoneware

Stoneware was made from plastic clay and was fired at temperatures between 1200°C and 1400°C. The result was a fully-fused fabric, making stoneware impervious to water. Stoneware was therefore ideal for holding liquids and was typically used for hollowware forms such as bottles, jugs, and crocks. Stoneware did not require glazing; however, salt glaze was commonly applied during firing (Brandon 2006:19).

Stoneware, Albany-Slipped

Albany slip was a black to reddish brown slip that originated in the Albany area of New York state. Potters in Albany began applying the slip to stoneware vessels in the first quarter of the 19th century (MACL 2015b). By the mid-19th century its use expanded to Ontario stoneware potters, who, at that time, were just establishing themselves (Webster 1971:126). Initially, the interior of vessels were coated with Albany slip, while the exterior was salt glazed. At some point, however, potters began applying the slip to whole vessels. This shift occurred at least by 1860 and all-over Albany slip was particularly popular by the late 19th century.

Yellowware

Yellowware was characterised by a yellow fabric with clear glaze. Although it was refined or vitrified, yellowware was utilitarian. Common vessels included bowls, milk pans, pitchers, baking dishes, and chamber pots. Yellowware was introduced into the Canadian market in the early 1840s (Kenyon 1985:15).

Ceramic Decorations

Edged Décor

Edged décor refers to decoration on the rim of a vessel that generally consisted of impressed or moulded motifs with blue, green or red colouring. Edged décor was introduced c.1775 and spanned over a hundred years; however, the style of edged décor changed over time into five distinct styles: rococo (1775-1810), embossed (1820-1830s), scalloped (c.1800-1840), unscalloped impressed (c.1840-1860), and unscalloped non-impressed (1860-1890s) (MACL 2015c).

Flown Décor

Flown décor was achieved by adding a volatilizing agent to the ceramic during their firing. The effect was a soft and somewhat blurred image (Samford 2000:78). Flown décor was instantly popular with the Canadian market when it was introduced in the mid-1840s, then suffered a decline in popularity before a resurgence at the turn of the century. Transfer prints were most commonly flown, and stamped décor was flown occasionally also.

Painted Décor

Painted motifs were most commonly floral. Painted décor on refined earthenware began in the 1770s and was divided into two periods: early and late palette. Early palette painted included earthy tones in blue, brown, green, yellow, and orange. The period of late palette painted began c.1830 when the addition of borax to the glaze allowed brighter, chrome colours to set on refined ceramics (MACL 2015d). Red and black were added to the palette at this time while yellow, orange and brown disappeared. Late palette painted was popular from c.1830-1875. Painted décor most often occurred on tea ware.

Slipped Décor

Slip, a watery clay, had been used as a decoration on coarse earthenwares since the mid-17th century. It transferred to refined ceramics starting in the 1770s on creamware (MACL 2015e). With refined ceramics, slipped décor was applied primarily to hollow vessels, such as mugs and bowls, and less commonly to tea wares (tea cups and saucers). Various styles of slipped décor were used, though banded and mocha were common in the 19th century. Slipped refined earthenware is typically dip-glazed before a second firing. In addition to white refined ceramics, slipped décor was also commonly applied to yellowware.

Sponged Décor

Sponged décor was colour applied with a sponge. Tight sponged décor on refined ceramics was initially applied in combination with painted décor. By the 1820s, however, tight sponged was also used on its own until the 1860s (MACL 2015f). Sponged as a decoration style was first listed in Ontario store inventories in the early 1840s (Kenyon 1985:15). Open sponged décor dates c.1855-1935 and was usually applied on its own.

Sprigged

Sprigged decoration was a moulded motif created independently from a vessel and then applied with a slip. The technique was used for centuries and adapted to various ceramic types and vessels (MACL 2015g). During the 19th century sprigged motifs were most often blue and were applied to white-bodied ceramics, a reversal from the previous century.

Rockingham-glazed

Rockingham glaze is an iron-based glaze varying in tone from light-golden to deep brown. It is applied to yellowware and other light-coloured earthenware to create spatter, streaked, and mottled effects, or to achieve a more uniform coverage (Brewer 1996). First made ca. 1785, Rockingham-glazed wares were produced throughout the nineteenth century, enjoying a peak in popularity between the 1830s and 1870s (MACL 2015h).

Transfer Print Décor

Transfer-printed décor is applied with a freshly-printed tissue paper. English potters first applied the technique to refined earthenwares in c.1783, as a way of easily applying complex and intricate designs to mass-made ceramics. Hundreds of patterns were produced and pattern styles generally enjoyed popularity periods of ten to thirty years. Blue was the most common colour, though a variety of colours were popular in the 1830s and 1840s (Samford 2000). Transfer print was probably the most enduring decoration style and was available throughout the 19th century.

Transfer Print: Willow Pattern

Willow was “the most heavily advertised pattern in 19th-century Canada” (Collard 1974:262). Furthermore, the price of the Willow pattern was fixed at less than the cost of other transfer prints (Miller 1980:28). These factors made Willow available and accessible and consequently it was ubiquitous throughout the 19th century.

Victorian Majolica

Victorian majolica was characterised by brilliant colours and extravagant moulded décor, often depicting naturalistic motifs such as animals, plants and seashells. It was introduced to America in 1876 and was most popular in the 1880s (MACL 2015i).



Glass Dateable Attributes

Decorated Oil Lamp Chimney Rims

Decorated lamp chimney upper rims were not common in Canada before c.1885 (Woodhead et al. 1984:62). These included beaded and crimped rims.

Empontilled

Empontilled glass was mould blown where a pontil, a long rod that attached to the base of the container, was used to hold the glass object while the lip, rim or finish was being shaped. The pontil was a key tool for glassmakers ever since glass was blown, but was eventually replaced by the snap case by c.1870 (Jones & Sullivan 1989:45).

Machine Made

Production of wide-mouthed containers (example: canning jars) by semi-automatic machines began in the 1890s (Lindsey 2021a). The first fully automatic machine for narrow and wide-mouthed containers was the Owen's machine, introduced in 1904 (Jones and Sullivan 1989:38-39). Machines did not immediately replace the mould-blown method due to cost and worker resistance, but by 1915 glass machines were common (Lindsey 2021b).

Manganese Decoloured (Solarised)

Glassmakers added manganese to the glass mixture to counteract iron oxides to make the glass colourless. The method worked, but resulted in a purplish tint after sustained exposure to sunlight (Jones and Sullivan 1989:13). In the U.S., this method was initially used in tableware glass by 1865 and adopted by a dominant maker of pharmaceutical bottles – Whittall Tatum & Co. – in 1870, with others following suit (Lockhart 2006). Generally, use of manganese to decolour glass was discontinued with the advent of bottle-making machines.

Mould Blown

Mould-blown glass refers to all glass blown by mouth into a mould. Glassmakers utilised numerous types of moulds throughout the nineteenth century. Moulds leave distinctive marks on the glass, or seams, which can help identify the kind of mould used (Jones and Sullivan 1989). Commercial mould-blown glassmaking was replaced by machine-made manufacture in the early twentieth century.

Opaque White

Opaque white glass became a popular choice for tableware, containers and lighting devices in the late 19th century (Jones & Sullivan 1989:14).

Turn Mould

The turn mould technique involved making a container by the mould-blown method, but water and steam were used while the vessel was turned to eliminate the mould seams. Bottles made this way were advertised as seamless bottles. The technique was used in Europe and transferred to North America in the 1870s. The date range for this method is c.1870 to the 1920s (Jones and Sullivan 1989:30-31).



Vented Mould

A vented mould had small holes drilled into it to allow pressure to escape. The holes left small embossed dots on the glass surface, though often they were disguised in an embossed label. Vented moulds were used c.1875 into the 1920s (Jones & Sullivan 1989:47).

Nail Types

Machine Cut

The first machines to make nails made only the nail shanks as they were cut from sheets of metal. The heads then had to be formed by hammering by hand. Machine-cut nails with handmade heads were produced 1790-1825 (Franklin 1989:20). These nails were rectangular in cross-section and had rosette heads. Fully machine-cut nails were produced thereafter; these nails were rectangular in cross-section with rectangular or square heads.

Wire

Small wire nails were invented in France and were produced by 1855. Larger wire nails were produced not long after, but did not become common in North America until c.1885 (Wells 2000:326-327). Wire nails were round in cross-section with round heads.

Wrought

Wrought nails were hammered by hand. Wrought nails were square in cross-section and had rosette heads. They were eventually replaced by machine-cut nails.

Other

Button: Prosser

Prosser buttons were formed from powdered clay and were named after the inventor, Richard Prosser. The first patent was issued in 1840 (Sprague 2002:113). They were inexpensive and quickly became ubiquitous.

Utilized Glass

Broken glass was sometimes used as expedient tools to cut, scrape, smooth, saw, and chisel. The reuse of glass sherds as tools has been observed around the world. In Canada and the United States the use of glass tools was a folk tradition used for woodworking, though there may have been other uses (Clark 1981; Brandon 2014).



APPENDIX C: LOCATION I (AAHS-I38), STAGE 2 ARTIFACT CATALOGUE

Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Comment
1	TP I	ts	0-40	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown		
2	TP I	ts	0-40	4	Ferrous	Architectural	Nails	Nail	Cut		
3	TP I	ts	0-40	1	Glass	Unknown	Unknown	Bottle	Mould blown		aqua finish sherd
4	TP I	ts	0-40	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		colourless, mending base, body sherds, cylindrical
5	TP I	ts	0-40	1	Glass	Modified	Utilized	Utilized container	Mould blown		colourless body sherd, mends to cat.4, max L 47.23mm, W 24.63mm, T 4.38mm, utilized on one long edge, discontinuous: a) near corner, 20.46mm long, straight; b) at other corner, 8.83mm long, straight
6	TP 2	ts	0-40	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown		
7	TP 2	ts	0-40	1	Glass	Architectural	Window glass	Pane glass	Not applicable		small sherd
8	TP 2	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured		small sherd
9	TP 2	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone		small base sherd, partial black transfer maker's mark ... & G... / H...
10	TP 2	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone		small sherd
11	TP 2	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	IRO or semiporcelain		small sherds
12	TP 2	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Vitrified White		pale cream colour, small sherd
13	TP 2	ts	0-40	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany ext.		rim sherd
14	TP 3	ts	0-40	1	Glass	Architectural	Window glass	Pane glass	Not applicable		
15	TP 3	ts	0-40	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown		colourless, hobnail décor
16	TP 3	ts	0-40	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown		mouthpiece
17	TP 3	ts	0-40	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	Yellowware		small sherd
18	TP 3	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Ironstone		small rim sherd
19	TP 3	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE or semiporcelain		body sherd
20	TP 4	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, flown	blue	small sherds
21	TP 5	ts	0-40	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze		small body sherd
22	TP 5	ts	0-40	1	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's		manganese, two rows of tight ribs
23	TP 5	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua body sherd
24	TP 5	ts	0-40	1	Glass	Architectural	Window glass	Pane glass	Not applicable		
25	TP 5	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Wire		
26	TP 5	ts	0-40	2	Ferrous	Architectural	Nails	Nail	Cut		
27	TP 5	ts	0-40	1	Ferrous	Unknown	Unknown	Unknown	Ferrous		incomplete, C-shape, too thick for a chain link
28	TP 6	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Cut		incomplete
29	TP 6	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain		small sherds
30	TP 6	ts	0-40	4	Glass	Architectural	Window glass	Pane glass	Not applicable		
31	TP 7	ts	0-40	1	Glass	Lighting	Lighting devices	Lamp chimney	Beaded/crimped		colourless



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Comment
32	TP 7	ts	0-40	1	Glass	Unknown	Unknown	Melted glass	Unidentifiable		colourless
33	TP 7	ts	0-40	3	Ceramic	Food & Bev.	Cer. utility wares	Vessel, unid.	Yellowware		
34	TP 7	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, transfer	turquoise	small sherd
35	TP 7	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone, moulded		small sherd
36	TP 7	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or ironstone		small sherd
37	TP 7	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Unidentifiable		
38	TP 7	ts	0-40	2	Ferrous	Architectural	Nails	Nail	Cut		
39	TP 8	ts	0-40	3	Glass	Architectural	Window glass	Pane glass	Not applicable		
40	TP 8	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE		
41	TP 8	ts	0-40	1	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		butchered
42	TP 8	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Unidentifiable		incomplete
43	TP 8	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Cut		
44	TP 9	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua, small sherd
45	TP 9	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Ironstone		base/body sherd
46	TP 10	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Wire		
47	TP 10	ts	0-40	1	Glass	Architectural	Window glass	Pane glass	Not applicable		
48	TP 10	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured		small sherd
49	TP 10	ts	0-40	1	Glass	Unknown	Unknown	Bottle	Machine made		manganese, neck/finish sherd
50	TP 11	ts	0-40	1	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		
51	TP 11	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone		small sherd
52	TP 11	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made		green
53	TP 11	ts	0-40	1	Ferrous	Unassigned material	Misc. material	Rod	Ferrous		
54	TP 12	ts	0-40	1	Ceramic	Smoking	Smoking pipes	White pipe, marked stem	Unknown		... & CO LTD / LIVERP(ool)
55	TP 12	ts	0-40	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown		
56	TP 12	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, transfer	black	small sherd
57	TP 12	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE		
58	TP 12	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		rim sherd
59	TP 12	ts	0-40	3	Glass	Architectural	Window glass	Pane glass	Not applicable		
60	TP 12	ts	0-40	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua
61	TP 12	ts	0-40	1	Glass	Food & Bev.	Glass tableware	Glassware	Manganese decoloured		
62	Test unit 1	ts	0-20	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown		
63	Test unit 1	ts	0-20	11	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		2 calcined, 3 butchered
64	Test unit 1	ts	0-20	1	Shell	Clothing	Fasteners	Button	Shell		4 holes, small
65	Test unit 1	ts	0-20	1	Ceramic	Clothing	Fasteners	Button	Prosser		4 holes, small



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Comment
66	Test unit I	ts	0-20	1	Ceramic	Smoking	Smoking pipes	White pipe, marked bowl	Montreal		small sherd, maker side missing, MON...
67	Test unit I	ts	0-20	1	Unidentified	Unknown	Unknown	Unknown	Unknown		incomplete, flat rectangle, one end with deliberate notch on each width side, lightweight, plastic?
68	Test unit I	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain		small sherds
69	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, transfer	turquoise	small sherd
70	Test unit I	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, flown	black	small sherds
71	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or semiporcelain	black	small sherd, transfer print
72	Test unit I	ts	0-20	6	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, transfer	brown	Willow, rim, body sherds
73	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain		base sherd, partial brown maker's mark of a crown with EST(ablished) / 18 / (89) / SEMI PO(rcelain) / S. F. (& j.) / ENGL(and)
74	Test unit I	ts	0-20	7	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or semiporcelain		misc. sherds
75	Test unit I	ts	0-20	4	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone		misc. sherds
76	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone, moulded		small sherd
77	Test unit I	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		burnt sherds
78	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze		small sherd
79	Test unit I	ts	0-20	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.		body sherd
80	Test unit I	ts	0-20	5	Brick	Architectural	Construction materials	Construction block	Unknown		red fragments, 2 burnt
81	Test unit I	ts	0-20	2	Glass	Lighting	Lighting devices	Lamp chimney	Unknown		colourless
82	Test unit I	ts	0-20	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Unknown		green, small sherd
83	Test unit I	ts	0-20	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown		pale bright green, small sherds
84	Test unit I	ts	0-20	1	Glass	Modified	Utilized	Utilized window	Unknown		rectangular, max L 58.77mm, W 26.44mm, T 2.01mm, utilized on one long edge at corner, continuously but in 2 sections, 12.59mm + 11.06mm long
85	Test unit I	ts	0-20	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown		amber
86	Test unit I	ts	0-20	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		amber
87	Test unit I	ts	0-20	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown		amber
88	Test unit I	ts	0-20	14	Glass	Architectural	Window glass	Pane glass	Not applicable		1 melted
89	Test unit I	ts	0-20	1	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's		colourless, tight ribs
90	Test unit I	ts	0-20	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown		colourless
91	Test unit I	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown		colourless, shoulder/neck/finish, 1 knop
92	Test unit I	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown		colourless, shoulder/neck/finish, 1 knop
93	Test unit I	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown		aqua shoulder/neck/finish, Davis type



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Comment
94	Test unit I	ts	0-20	1	Glass	Unknown	Unknown	Bottle	Mould blown		aqua neck/finish sherd, finish rolled over
95	Test unit I	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown		aqua recessed panel sherd, hint of embossed label
96	Test unit I	ts	0-20	1	Glass	Unknown	Unknown	Bottle	Mould blown		aqua neck sherd
97	Test unit I	ts	0-20	6	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua body sherds
98	Test unit I	ts	0-20	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua body sherds
99	Test unit I	ts	0-20	8	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua, misc. sherds
100	Test unit I	ts	0-20	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Unidentifiable		aqua, melted, crizzled
101	Test unit I	ts	0-20	1	Glass	Food & Bev.	Glass tableware	Glassware	Manganese decoloured		body sherd
102	Test unit I	ts	0-20	1	Glass	Unknown	Unknown	Jar	Machine made		manganese, threaded finish sherd
103	Test unit I	ts	0-20	1	Glass	Unknown	Unknown	Jar	Manganese decoloured		threaded finish sherd
104	Test unit I	ts	0-20	13	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured		misc. sherds
105	Test unit I	ts	0-20	15	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown		maybe manganese, misc. sherds
106	Test unit I	ts	0-20	14	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown		colourless, misc. sherds
107	Test unit I	ts	0-20	3	Ferrous	Activities	Stable & barn	Fence staple	Ferrous		
108	Test unit I	ts	0-20	2	Ferrous	Architectural	Nails	Nail	Wire		
109	Test unit I	ts	0-20	24	Ferrous	Architectural	Nails	Nail	Cut		
110	Test unit I	ts	0-20	2	Ferrous	Unassigned material	Misc. material	Wire	Ferrous		
111	Test unit I	ts	0-20	1	Ferrous	Unknown	Unknown	Latch/closure	Ferrous		wire closure of some sort
112	Test unit I	ts	0-20	4	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous		flat fragments
113	Test unit I	ts	0-20	1	Ferrous	Unknown	Unknown	Unknown	Ferrous		small circular, squat, heavy for size
114	Test unit I	ts	0-20	1	Ferrous	Unknown	Unknown	Unknown	Ferrous		long rounded rectangular shape, resembling a handle
115	Test unit I	ts	0-20	2	Ferrous	Unassigned material	Misc. material	Misc. metal	Unknown		corroded
116	Test unit I	ts	0-20	1	Brass	Unknown	Unknown	Unknown	Brass		incomplete, 2-piece, underside is flat, front is decorated with scrolls, leaves, bunch of grapes
117	Test unit I	2	20-30	5	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		1 calcined
118	Test unit I	2	20-30	1	Copper Alloy	Personal	Currency	Coin	1890-1899		USA Indian Head one cent, corroded, 189_
119	Test unit I	2	20-30	1	Ceramic	Clothing	Fasteners	Button	Prosser		4 holes, incomplete
120	Test unit I	2	20-30	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, transfer	brown	Willow, small sherd, goes with cat.72 ts
121	Test unit I	2	20-30	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, flown	black	small sherd, goes with cat.70 ts
122	Test unit I	2	20-30	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE		small sherds



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Comment
123	Test unit I	2	20-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone		small sherd
124	Test unit I	2	20-30	1	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's		colourless, tight ribs, goes with cat.89 ts
125	Test unit I	2	20-30	3	Glass	Architectural	Window glass	Pane glass	Not applicable		small sherds
126	Test unit I	2	20-30	1	Glass	Lighting	Lighting devices	Lamp chimney	Unknown		colourless
127	Test unit I	2	20-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown		colourless
128	Test unit I	2	20-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured		
129	Test unit I	2	20-30	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua
130	Test unit I	2	20-30	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown		aqua
131	Test unit I	2	20-30	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown		aqua
132	Test unit I	2	20-30	2	Glass	Unknown	Unknown	Melted glass	Unidentifiable		
133	Test unit I	2	20-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Turn paste mould		amber
134	Test unit I	2	20-30	3	Ferrous	Architectural	Nails	Nail	Wire		
135	Test unit I	2	20-30	13	Ferrous	Architectural	Nails	Nail	Cut		
136	Test unit I	2	20-30	2	Ferrous	Architectural	Nails	Nail	Cut, handmade head		
137	Test unit I	2	20-30	1	Ferrous	Unassigned material	Misc. material	Strapping	Ferrous		
138	Test unit I	2	20-30	1	Ferrous	Unassigned material	Misc. hardware	Hardware	Ferrous		J-shape, tapered
139	Test unit I	2	20-30	4	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous		small fragments
140	Test unit I	2	20-30	1	Copper Alloy	Unassigned material	Misc. material	Misc. metal	Copper-alloy		small fragment
141	Test unit I	2	20-30	1	Brick	Architectural	Construction materials	Construction block	Unknown		red fragment
			Total	323							



APPENDIX D: LOCATION I (AAHS-138), STAGE 3 ARTIFACT CATALOGUE

Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
142	495N 295E:01	ts	0-43	2	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
143	495N 295E:01	ts	0-43	1	Rubber	Clothing	Fasteners	Button	Rubber			black, 2 holes, hobnail face décor, coat button
144	495N 295E:01	ts	0-43	2	Glass	Personal	Toys & leisure	Marble	Machine made			1 complete cat's eye, 1 incomplete
145	495N 295E:01	ts	0-43	1	Glass	Architectural	Window glass	Pane glass	Not applicable			
146	495N 295E:01	ts	0-43	4	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Manganese decoloured			neck/finish sherds
147	495N 295E:01	ts	0-43	2	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Manganese decoloured			neck/shoulder, body sherds
148	495N 295E:01	ts	0-43	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless finish sherd
149	495N 295E:01	ts	0-43	5	Glass	Food & Bev.	Glass tableware	Tumbler	Manganese decoloured			mending rim, body sherds
150	495N 295E:01	ts	0-43	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless, hobnail décor
151	495N 295E:01	ts	0-43	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			body sherds, cylindrical
152	495N 295E:01	ts	0-43	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, small sherd
153	495N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, sponged	blue		tight, small sherd
154	495N 295E:01	ts	0-43	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, sponged	blue		tight
155	495N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, transfer	black		small rim sherd
156	495N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tea cup	Ironstone, moulded			Wheat, rim sherd
157	495N 295E:01	ts	0-43	10	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW			cream-coloured glaze
158	495N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			small sherd
159	495N 295E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	IRO or semiporcelain			
160	495N 295E:01	ts	0-43	7	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW			possible semiporcelain
161	495N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			small body sherd
162	495N 295E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Bristol			body sherds
163	495N 295E:01	ts	0-43	1	Ferrous	Activities	Stable & barn	Horseshoe nail	Ferrous			point clipped, corroded
164	495N 295E:01	ts	0-43	1	Ferrous	Architectural	Nails	Nail	Wire			
165	495N 295E:01	ts	0-43	7	Ferrous	Architectural	Nails	Nail	Cut			
166	495N 300E:01	ts	0-35	1	Plastic	Clothing	Fasteners	Button	Plastic			complete, black, 4 holes
167	495N 300E:01	ts	0-35	1	Shell	Clothing	Fasteners	Button	Shell			mostly complete, 2 holes
168	495N 300E:01	ts	0-35	1	Shell	Faunal & Floral	Shell	Shell	Unknown			
169	495N 300E:01	ts	0-35	10	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			3 butchered
170	495N 300E:01	ts	0-35	1	Glass	Personal	Toys & leisure	Marble	Machine made			cat's eye, blue, red, white
171	495N 300E:01	ts	0-35	4	Glass	Architectural	Window glass	Pane glass	Not applicable			
172	495N 300E:01	ts	0-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			
173	495N 300E:01	ts	0-35	1	Glass	Lighting	Lighting devices	Lamp chimney	Beaded/crimped			colourless
174	495N 300E:01	ts	0-35	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua recessed panel sherd



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
175	495N 300E:01	ts	0-35	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua shoulder/neck sherd
176	495N 300E:01	ts	0-35	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, misc. sherds
177	495N 300E:01	ts	0-35	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless panel sherd
178	495N 300E:01	ts	0-35	1	Glass	Modified	Utilized	Utilized container	Unknown			colourless body sherd, triangular, max L 26.23mm, W 18.26mm, T 2.59mm, utilized on the entire short edge, straight
179	495N 300E:01	ts	0-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made Owen's			bright green base sherd
180	495N 300E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE or semiporcelain	black		flown
181	495N 300E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE or semiporcelain	blue		transfer printed, small sherd
182	495N 300E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW	black		small sherd, hint of black décor
183	495N 300E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW			
184	495N 300E:01	ts	0-35	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			
185	495N 300E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			base sherd, partial black transfer maker's mark of two text boxes with flowers, ... (im)PROVED / ... (gra)NITE CHINA // (ri)DGWAY
186	495N 300E:01	ts	0-35	5	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
187	495N 300E:01	ts	0-35	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherds
188	495N 300E:01	ts	0-35	1	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			small fragment
189	495N 300E:01	ts	0-35	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			rim' fragment, possibly enamelled
190	495N 300E:01	ts	0-35	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			rod, one end with a groove, other end flat
191	495N 300E:01	ts	0-35	1	Ferrous	Furniture	Decorative furnishings	Picture nail	Wire			
192	495N 300E:01	ts	0-35	1	Ferrous	Architectural	Nails	Nail	Wire			textured head
193	495N 300E:01	ts	0-35	3	Ferrous	Architectural	Nails	Nail	Wire			
194	495N 300E:01	ts	0-35	13	Ferrous	Architectural	Nails	Nail	Cut			
195	495N 305E:01	ts	0-45	9	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
196	495N 305E:01	ts	0-45	1	Glass	Architectural	Window glass	Pane glass	Not applicable			
197	495N 305E:01	ts	0-45	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua, recessed panel sherd
198	495N 305E:01	ts	0-45	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, misc. sherds
199	495N 305E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			pale blue
200	495N 305E:01	ts	0-45	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			misc. sherds
201	495N 305E:01	ts	0-45	1	Glass	Unknown	Unknown	Jar	Unknown			colourless, small sherd with threads
202	495N 305E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, small sherd
203	495N 305E:01	ts	0-45	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
204	495N 305E:01	ts	0-45	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green
205	495N 305E:01	ts	0-45	1	Metal	Unknown	Unknown	Unknown	Unknown			like a small knob, incomplete, damaged
206	495N 305E:01	ts	0-45	2	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
207	495N 305E:01	ts	0-45	2	Ferrous	Architectural	Nails	Nail	Wire			
208	495N 305E:01	ts	0-45	10	Ferrous	Architectural	Nails	Nail	Cut			
209	495N 305E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE or semiporcelain	blue		transfer printed, small sherd
210	495N 305E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Serving hollowware	RWE, majolica	pink, yellow		
211	495N 305E:01	ts	0-45	3	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			
212	495N 305E:01	ts	0-45	3	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
213	495N 305E:01	ts	0-45	7	Ceramic	Food & Bev.	Cer. tableware	Saucer	Semiporcelain, moulded		5	mending rim, body, base sherds, partial green transfer maker's mark (illegible)
214	495N 305E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, moulded			
215	495N 305E:01	ts	0-45	1	Ceramic	Activities	Agriculture & horticulture	Flower pot	C red EW, unglazed			decorated rim sherd
216	495N 305E:01	ts	0-45	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherds
217	495N 305E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			
218	495N 305E:01	ts	0-45	5	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			base, body sherds
219	495N 305E:01	ts	0-45	35	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherds
220	510N 310E:01	ts	0-35	1	Shell	Clothing	Fasteners	Button	Shell			incomplete, 4 holes, large for coat
221	510N 310E:01	ts	0-35	11	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		2	4 butchered
222	510N 310E:01	ts	0-35	1	Ceramic	Smoking	Smoking pipes	White pipe, marked stem	McDougall, Scotland			full mark
223	510N 310E:01	ts	0-35	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	Yellowware, Rockingham			small body sherds
224	510N 310E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain			fugitive décor, small sherd
225	510N 310E:01	ts	0-35	3	Ceramic	Food & Bev.	Cer. tableware	Saucer	Semiporcelain, transfer	green		base, body sherds, floral
226	510N 310E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	turquoise		small rim sherd
227	510N 310E:01	ts	0-35	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, flown	blue		small sherds
228	510N 310E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CEW, Rockingham	brown		goes with cat.658
229	510N 310E:01	ts	0-35	4	Ceramic	Food & Bev.	Cer. tableware	Saucer	Semiporcelain, moulded			rim, body sherds, hint of gilding
230	510N 310E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain			small sherds
231	510N 310E:01	ts	0-35	6	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
232	510N 310E:01	ts	0-35	5	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		2	misc. sherds, 2 burnt
233	510N 310E:01	ts	0-35	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			shoulder sherd



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
234	510N 310E:01	ts	0-35	1	Ceramic	Health & Hygiene	Pharmaceutical containers	Lid	VEW, transfer printed	black		complete toothpaste pot lid ATKINSON'S CELEBRATED PARISIAN TOOTHPASTE
235	510N 310E:01	ts	0-35	3	Glass	Architectural	Window glass	Pane glass	Not applicable			
236	510N 310E:01	ts	0-35	1	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's			colourless rim sherd, bands of tight ribs
237	510N 310E:01	ts	0-35	1	Glass	Food & Bev.	Glass tableware	Tumbler	Manganese decoloured			body sherd, panelled
238	510N 310E:01	ts	0-35	1	Glass	Food & Bev.	Glass tableware	Tumbler	Unknown			colourless rim sherd
239	510N 310E:01	ts	0-35	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless, small sherd
240	510N 310E:01	ts	0-35	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua panel body/base sherd, partial embossed label (dr. s. n. t)HOMAS / (eclectri)C OIL
241	510N 310E:01	ts	0-35	1	Glass	Unknown	Unknown	Bottle	Mould blown			pale green shoulder sherd
242	510N 310E:01	ts	0-35	1	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Unknown			green body sherd
243	510N 310E:01	ts	0-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, ribbed décor
244	510N 310E:01	ts	0-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			body sherd
245	510N 310E:01	ts	0-35	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless body sherds, cylindrical
246	510N 310E:01	ts	0-35	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
247	510N 310E:01	ts	0-35	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, misc. sherds
248	510N 310E:01	ts	0-35	1	Glass	Unknown	Unknown	Unknown	Unknown			colourless, container or lighting
249	510N 310E:01	ts	0-35	1	Glass	Modified	Utilized	Utilized container	Unknown			aqua body sherd, max L 41.11mm, W 31.79mm, T 3.22mm, utilized on two edges, continuous: a) 29.11mm long, irregular; b) 7.59mm long, straight
250	510N 310E:01	ts	0-35	1	Ferrous	Unassigned material	Misc. hardware	Fastener	Ferrous			incomplete, bolt or other
251	510N 310E:01	ts	0-35	3	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
252	510N 310E:01	ts	0-35	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			flat, thick fragment, ridge on one side
253	510N 310E:01	ts	0-35	4	Ferrous	Architectural	Nails	Nail	Cut, handmade head			
254	510N 310E:01	ts	0-35	29	Ferrous	Architectural	Nails	Nail	Cut		2	
255	500N 305E:01	ts	0-43	1	Plastic	Unknown	Unknown	Unknown	Plastic			
256	500N 305E:01	ts	0-43	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown			
257	500N 305E:01	ts	0-43	12	Bone	Faunal & Floral	Bone	Mammal bone	Unknown		1	5 butchered
258	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	Yellowware, Rockingham			likely goes with cat.223
259	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. utility wares	Vessel, unid.	Yellowware	brown		possibly Rockingham
260	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		floral
261	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		rim sherd, same pattern as cat.423
262	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain			base sherd, hint of green transfer maker's mark



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
263	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, sponged	blue		open, small sherd, London shape?
264	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE	blue		blue décor
265	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Ironstone, moulded			Basketweave with Band, mending body sherds
266	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EV		2	burnt
267	500N 305E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain			small rim sherds
268	500N 305E:01	ts	0-43	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	Ironstone			
269	500N 305E:01	ts	0-43	5	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			misc. sherds
270	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	IRO or semiporcelain			
271	500N 305E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			body sherd
272	500N 305E:01	ts	0-43	9	Ceramic	Unknown	Unknown	Hollowware	Vitrified White			mending body sherds, bulbous
273	500N 305E:01	ts	0-43	1	Glass	Unknown	Unknown	Melted glass	Unidentifiable		1	
274	500N 305E:01	ts	0-43	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			colourless panel body sherd, partial embossed label 30 FO...
275	500N 305E:01	ts	0-43	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Emptilled			aqua base sherd
276	500N 305E:01	ts	0-43	1	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Unknown			green finish sherd
277	500N 305E:01	ts	0-43	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, misc. sherds
278	500N 305E:01	ts	0-43	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			green body sherd
279	500N 305E:01	ts	0-43	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
280	500N 305E:01	ts	0-43	1	Glass	Modified	Utilized	Utilized window	Not applicable			max L 16.45mm, W 15.09, T 1.82mm, utilized on one edge, 13.82mm, convex
281	500N 305E:01	ts	0-43	123	Glass	Architectural	Window glass	Pane glass	Not applicable			
282	500N 305E:01	ts	0-43	1	Ferrous	Unassigned material	Misc. hardware	Screw	Slot			
283	500N 305E:01	ts	0-43	1	Ferrous	Architectural	Nails	Nail	Cut, handmade head			
284	500N 305E:01	ts	0-43	8	Ferrous	Architectural	Nails	Nail	Cut			
285	500N 305E:01	ts	0-43	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			trough-shape
286	500N 305E:01	ts	0-43	5	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
287	500N 295E:01	ts	0-43	1	Plastic	Clothing	Fasteners	Button	Plastic			red
288	500N 295E:01	ts	0-43	14	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			4 butchered
289	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. utility wares	Vessel, unid.	Yellowware			small sherd
290	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherd
291	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain, moulded			small sherd
292	500N 295E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or semiporcelain	brown		transfer printed, small sherds
293	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, transfer	brown		Willow, small sherd
294	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE, painted	green, black		late palette, small sherd
295	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, sponged	blue		open, small sherd
296	500N 295E:01	ts	0-43	2	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, sponged	blue		tight, mending rim, body sherds
297	500N 295E:01	ts	0-43	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, edged	blue		unscaloped, impressed, mending sherds
298	500N 295E:01	ts	0-43	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, undec.			small rim sherd



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
299	500N 295E:01	ts	0-43	6	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
300	500N 295E:01	ts	0-43	12	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE		9	misc. sherds
301	500N 295E:01	ts	0-43	1	Glass	Modified	Utilized	Utilized window	Not applicable			triangular, max L 26.43mm, W 23.63mm, T 1.72mm, utilized on one long edge near corner, 11.79mm long, straight
302	500N 295E:01	ts	0-43	11	Glass	Architectural	Window glass	Pane glass	Not applicable			
303	500N 295E:01	ts	0-43	1	Glass	Food & Bev.	Glass storage containers	Jar	Unknown			colourless rim sherd, threaded
304	500N 295E:01	ts	0-43	2	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Machine made			green body sherds
305	500N 295E:01	ts	0-43	1	Glass	Personal	Toys & leisure	Marble	Machine made			clear with a purple band near surface
306	500N 295E:01	ts	0-43	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			amber, small sherd
307	500N 295E:01	ts	0-43	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless
308	500N 295E:01	ts	0-43	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			misc. sherds
309	500N 295E:01	ts	0-43	7	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			aqua, misc. sherds
310	500N 295E:01	ts	0-43	1	Ferrous	Personal	Personal items	Umbrella/ parasol part	Ferrous			stretcher fragment
311	500N 295E:01	ts	0-43	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			twisted rod
312	500N 295E:01	ts	0-43	2	Ferrous	Architectural	Nails	Nail	Wire			
313	500N 295E:01	ts	0-43	14	Ferrous	Architectural	Nails	Nail	Cut			
314	505N 295E:01	ts	0-45	1	Ceramic	Clothing	Fasteners	Button	Prosser			4 holes, small
315	505N 295E:01	ts	0-45	2	Shell	Faunal & Floral	Shell	Shell	Unknown			
316	505N 295E:01	ts	0-45	1	Bone	Faunal & Floral	Bone	Indeterminate	Unknown			
317	505N 295E:01	ts	0-45	2	Bone	Faunal & Floral	Bone	Bird bone	Unknown			
318	505N 295E:01	ts	0-45	23	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			1 butchered
319	505N 295E:01	ts	0-45	1	Bone	Health & Hygiene	Grooming & hygiene	Toothbrush	Bone			head, 17.5 rows
320	505N 295E:01	ts	0-45	1	Composite	Personal	Personal items	Pocket tool	Plastic			small knife or tool, 2 blades, brass, ferrous, plastic, maybe shell, labelled MARTYR'S SHRINE MIDLAND
321	505N 295E:01	ts	0-45	1	Ceramic	Furniture	Decorative furnishings	Figurine	Parian	pink		small sherd
322	505N 295E:01	ts	0-45	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	Yellowware			mending rim, body sherds
323	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CEW, glazed		1	dark brown glaze int., orange glaze ext., divot in footring
324	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			small body sherd
325	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			body sherd
326	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			small body sherd
327	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherd
328	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE			small rim sherd, hint of décor
329	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain			
330	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			
331	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			small base sherd, partial black transfer maker's mark of Royal Arms



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
332	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Serving hollowware	Ironstone, moulded			body sherd
333	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Plate, dinner	Ironstone, moulded			Wheat
334	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			
335	505N 295E:01	ts	0-45	1	Ceramic	Food & Bev.	Cer. tableware	Saucer	Ironstone, undec.			rim/body sherd
336	505N 295E:01	ts	0-45	10	Ceramic	Food & Bev.	Cer. tableware	Plate, dinner	Ironstone, moulded			Basketweave with Band, rim, body, base sherds
337	505N 295E:01	ts	0-45	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless shoulder/neck sherd
338	505N 295E:01	ts	0-45	5	Glass	Unknown	Unknown	Melted glass	Unidentifiable		5	
339	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua body sherd
340	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua base sherd, cylindrical, possible canning jar
341	505N 295E:01	ts	0-45	2	Glass	Food & Bev.	Glass storage containers	Canning jar	Mould blown			aqua rim, shoulder sherds, ground lip
342	505N 295E:01	ts	0-45	7	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua body sherds
343	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			pale green, small sherd
344	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			amber
345	505N 295E:01	ts	0-45	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
346	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			colourless body sherd, cylindrical
347	505N 295E:01	ts	0-45	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless body sherds, cylindrical
348	505N 295E:01	ts	0-45	1	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's			colourless, near rim sherd, bands of tight ribs
349	505N 295E:01	ts	0-45	2	Glass	Food & Bev.	Glass tableware	Tumbler	Packer's			manganese, 2 bands of tight ribs
350	505N 295E:01	ts	0-45	4	Glass	Food & Bev.	Glass tableware	Tumbler	Unknown			colourless base, body, rim sherds, fluted foot
351	505N 295E:01	ts	0-45	3	Glass	Unknown	Unknown	Vessel, unid.	Opaque white			moulded décor, delicate, possible vase, lighting, or tableware
352	505N 295E:01	ts	0-45	1	Glass	Unknown	Unknown	Vessel, unid.	Opaque white			moulded, ground lip or foot
353	505N 295E:01	ts	0-45	1	Glass	Unknown	Unknown	Vessel, unid.	Unknown			colourless, possible stemware
354	505N 295E:01	ts	0-45	1	Glass	Unknown	Unknown	Vessel, unid.	Unknown			colourless, stepped
355	505N 295E:01	ts	0-45	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, hint of embossed label
356	505N 295E:01	ts	0-45	1	Glass	Modified	Utilized	Utilized container	Mould blown			green alcohol bottle body sherd, irregular, max L 33.45mm, W 22.90mm, T 4.31mm, utilized on one edge, 17.32mm long, concave
357	505N 295E:01	ts	0-45	1	Glass	Modified	Utilized	Utilized container	Unknown			colourless body sherd, max L 42.85mm, W 32.42mm, T 3.89mm, utilized on one long edge, 25.14mm long, straight
358	505N 295E:01	ts	0-45	15	Glass	Architectural	Window glass	Pane glass	Not applicable			
359	505N 295E:01	ts	0-45	1	Ferrous	Activities	Agriculture & horticulture	Fence staple	Ferrous			
360	505N 295E:01	ts	0-45	1	Ferrous	Furniture	Hardware	Furniture tack	Ferrous			
361	505N 295E:01	ts	0-45	2	Ferrous	Architectural	Nails	Nail	Wire			
362	505N 295E:01	ts	0-45	20	Ferrous	Architectural	Nails	Nail	Cut			
363	505N 295E:01	ts	0-45	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			circular link, incomplete body



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
364	505N 300E:01	ts	0-40	1	Bone	Clothing	Fasteners	Button	Bone			4 holes
365	505N 300E:01	ts	0-40	1	Composite	Unknown	Unknown	Unknown	Copper-alloy			small oval, copper alloy with purple glass inset, possible button
366	505N 300E:01	ts	0-40	1	Ceramic	Smoking	Smoking pipes	White pipe, glazed mouth	Unknown			
367	505N 300E:01	ts	0-40	2	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			
368	505N 300E:01	ts	0-40	2	Ceramic	Smoking	Smoking pipes	White pipe, marked bowl	Unknown		2	TD embossed and well crafted, mending sherds, burnt
369	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Porcelain, sprigged	blue		small rim sherd
370	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, sponged	blue		open, rim sherd
371	505N 300E:01	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, flown	blue, black		rim, base/body sherds, black bands, blue pattern in centre
372	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, edged	blue		unscaloped, impressed
373	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE, flown	black		small sherd
374	505N 300E:01	ts	0-40	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE or semiporcelain	brown, pink, yellow		clobbered brown transfer, pink and yellow highlights
375	505N 300E:01	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, flown	black		with moulded décor
376	505N 300E:01	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Tea cup	RWE, painted	red, green		late palette, rim, body sherds, red rim band int.
377	505N 300E:01	ts	0-40	3	Ceramic	Food & Bev.	Cer. tableware	Tea cup	RWE, painted	green, blue		late palette, mending rim sherds
378	505N 300E:01	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, painted	green		late palette, mending rim sherds
379	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, painted	black		late palette, small rim sherd
380	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, painted	red, blue		late palette, small rim sherd
381	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, painted	red, green		late palette, small rim sherd
382	505N 300E:01	ts	0-40	4	Ceramic	Food & Bev.	Cer. tableware	Saucer	RWE, painted	green		late palette, misc. sherds
383	505N 300E:01	ts	0-40	14	Ceramic	Food & Bev.	Cer. tableware	Plate	RWE or semiporcelain	turquoise		rim, body, base sherds, hint of transfer maker's mark
384	505N 300E:01	ts	0-40	2	Ceramic	Food & Bev.	Cer. tableware	Plate	RWE, edged			unscaloped, impressed, no colour
385	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Plate	Semiporcelain, moulded			rim sherd, scalloped
386	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Plate	Semiporcelain			rim sherd, scalloped
387	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. tableware	Plate	Pearlware			base/body sherd
388	505N 300E:01	ts	0-40	16	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			misc. sherds
389	505N 300E:01	ts	0-40	7	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
390	505N 300E:01	ts	0-40	3	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW			misc. sherds
391	505N 300E:01	ts	0-40	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			
392	505N 300E:01	ts	0-40	1	Ceramic	Activities	Agriculture & horticulture	Flower pot	CEW, unglazed			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
393	505N 300E:01	ts	0-40	3	Glass	Food & Bev.	Glass storage containers	Jar liner	Mould blown			aqua, depressed centre
394	505N 300E:01	ts	0-40	2	Glass	Food & Bev.	Glass storage containers	Jar liner	Mould blown			aqua, depressed centre
395	505N 300E:01	ts	0-40	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Turn paste mould			green body sherd
396	505N 300E:01	ts	0-40	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Rickett's-type mould			green body sherd
397	505N 300E:01	ts	0-40	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green body sherd
398	505N 300E:01	ts	0-40	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, mending base sherds, cylindrical
399	505N 300E:01	ts	0-40	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			frosted aqua
400	505N 300E:01	ts	0-40	4	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Unknown			amber, flask body sherds, one sherd possibly utilized
401	505N 300E:01	ts	0-40	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			
402	505N 300E:01	ts	0-40	1	Glass	Food & Bev.	Glass tableware	Tumbler	Unknown			colourless, small sherd, fluted
403	505N 300E:01	ts	0-40	15	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless body sherds, cylindrical
404	505N 300E:01	ts	0-40	12	Glass	Architectural	Window glass	Pane glass	Not applicable			
405	505N 300E:01	ts	0-40	35	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			13 butchered
406	505N 300E:01	ts	0-40	1	Ferrous	Activities	Agriculture & horticulture	Fence staple	Ferrous			
407	505N 300E:01	ts	0-40	1	Ferrous	Architectural	Door & window hardware	Butt hinge	Ferrous			small, incomplete
408	505N 300E:01	ts	0-40	1	Ferrous	Unassigned material	Misc. material	Strapping	Ferrous			narrow, short fragment
409	505N 300E:01	ts	0-40	3	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
410	505N 300E:01	ts	0-40	1	Ferrous	Unassigned material	Misc. hardware	Bolt	Ferrous			
411	505N 300E:01	ts	0-40	2	Ferrous	Unassigned material	Misc. hardware	Fastener	Ferrous			
412	505N 300E:01	ts	0-40	1	Ferrous	Architectural	Nails	Nail	Unidentifiable			
413	505N 300E:01	ts	0-40	4	Ferrous	Architectural	Nails	Nail	Wire			
414	505N 300E:01	ts	0-40	15	Ferrous	Architectural	Nails	Nail	Cut			
415	505N 300E:01	ts	0-40	4	Ferrous	Architectural	Other fasteners	Spike	Wrought			
416	505N 300E:01	ts	0-40	1	Brass	Unassigned material	Misc. material	Bar	Brass			flat, bevelled edges, 60x14mm, marked 45052 on underside
417	505N 305E:01	ts	0-20	1	Slate	Activities	Writing	Slate pencil	Slate			
418	505N 305E:01	ts	0-20	13	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
419	505N 305E:01	ts	0-20	2	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown		1	1 burnt, 1 with spur
420	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Porcelain, painted	orange		body sherd
421	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RVE, flown	blue		small sherd
422	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, flown	blue		small sherd



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
423	505N 305E:01	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green	2	rim sherds
424	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green	1	small sherd, décor both surfaces, same pattern as cat.423
425	505N 305E:01	ts	0-20	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		same pattern as cat.423
426	505N 305E:01	ts	0-20	6	Ceramic	Food & Bev.	Cer. tableware	Plate	Ironstone			base, body sherds, partial black transfer maker's mark of Royal Arms with W & E. CO(rn) / ENGLAND
427	505N 305E:01	ts	0-20	3	Ceramic	Food & Bev.	Cer. tableware	Plate	RWE or semiporcelain			mending rim, body sherds, iron stained
428	505N 305E:01	ts	0-20	1	Ceramic	Unknown	Unknown	Vessel, unid.	Ironstone			rim sherd, tableware or toiletry
429	505N 305E:01	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
430	505N 305E:01	ts	0-20	5	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			misc. sherds
431	505N 305E:01	ts	0-20	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		1	1 burnt
432	505N 305E:01	ts	0-20	1	Ceramic	Activities	Agriculture & horticulture	Flower pot	C red EW, unglazed			rim sherd
433	505N 305E:01	ts	0-20	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	C red EW, glazed			red glaze ext., brown glaze int.
434	505N 305E:01	ts	0-20	2	Ceramic	Unknown	Unknown	Hollowware	CEW, glazed			unglazed int., yellow fabric, brown glaze ext.
435	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany ext.			small base sherd
436	505N 305E:01	ts	0-20	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherd
437	505N 305E:01	ts	0-20	1	Brick	Architectural	Construction materials	Construction block	Unknown			red fragment
438	505N 305E:01	ts	0-20	6	Glass	Architectural	Window glass	Pane glass	Not applicable			
439	505N 305E:01	ts	0-20	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			body sherd
440	505N 305E:01	ts	0-20	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			pale green, small sherd
441	505N 305E:01	ts	0-20	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless body sherd, ribbed
442	505N 305E:01	ts	0-20	1	Glass	Unknown	Unknown	Melted glass	Unidentifiable		1	colourless
443	505N 305E:01	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua base/body sherd, rectangular, chamfered corners
444	505N 305E:01	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua base/body sherd
445	505N 305E:01	ts	0-20	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua body sherd
446	505N 305E:01	ts	0-20	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, mending base sherds, cylindrical
447	505N 305E:01	ts	0-20	11	Glass	Food & Bev.	Glass storage containers	Canning jar	Mould blown			aqua body, shoulder sherds, embossed crown
448	505N 305E:01	ts	0-20	4	Glass	Unknown	Unknown	Jar liner	Opaque white			
449	505N 305E:01	ts	0-20	3	Glass	Furniture	Decorative furnishings	Plate	Opaque white			mending rim/body sherds, Westmoreland Three Owl Pattern



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
450	505N 305E:01	ts	0-20	1	Glass	Modified	Utilized	Utilized window	Not applicable			pentagon, max L 21.64mm, W 19.71mm, T 2.43mm, utilized on one entire short edge, 9.15mm, concave
451	505N 305E:01	ts	0-20	1	Glass	Modified	Utilized	Utilized window	Not applicable			triangular, max L 38.84mm, W 18.64mm, T 1.90mm, utilized on one long edge near corner, 11.94mm long, concave
452	505N 305E:01	ts	0-20	1	Copper Alloy	Personal	Currency	Coin	1960-1969			Canada 1 cent 1962
453	505N 305E:01	ts	0-20	1	Ferrous	Activities	Stable & barn	Horseshoe nail	Ferrous			nearly complete
454	505N 305E:01	ts	0-20	1	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
455	505N 305E:01	ts	0-20	1	Copper Alloy	Unknown	Unknown	Unknown	Copper-alloy			folded strip with a bend, possible coin purse
456	505N 305E:01	ts	0-20	1	Ferrous	Unassigned material	Misc. hardware	Fastener	Ferrous			incomplete, corroded
457	505N 305E:01	ts	0-20	1	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			corroded
458	505N 305E:01	ts	0-20	5	Ferrous	Architectural	Nails	Nail	Unidentifiable			
459	505N 305E:01	ts	0-20	6	Ferrous	Architectural	Nails	Nail	Wire			
460	505N 305E:01	ts	0-20	12	Ferrous	Architectural	Nails	Nail	Cut			
461	505N 305E:01	ts	0-20	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			near Omega sign shape, with feet and a bar across the bottom, groove on either side of circular portion
462	505N 305E:01	2	20-35	1	Copper Alloy	Lighting	Lighting devices	Oil lamp burner	Copper-alloy			fragment
463	505N 305E:01	2	20-35	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			mouthpiece
464	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE, painted	red, green, blue		late palette, small flower, small sherd
465	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Plate	RWE, edged	blue		unscaloped impressed
466	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE or semiporcelain	blue		flown, rim sherd, floral
467	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, flown	blue		base sherds, partial green transfer maker's mark _ON... / _RA?...; goes with cat.422 ts
468	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain			
469	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		small rim sherd, with moulded décor
470	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green		body sherd, with moulded décor



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
471	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			mending base sherds, partial black transfer maker's mark of Royal Arms with (ir)ONSTONE CHIN(a); might go with cat.426 ts
472	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		same pattern as cat.423; goes with cat.425 ts
473	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. tableware	Tea cup	Semiporcelain, transfer	green	2	mending body sherds, goes with cat.423 ts
474	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Unid. white EW		2	body sherds, moulded décor
475	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	C red EW, glazed			red glaze ext., brown glaze int., goes with cat.433 ts
476	505N 305E:01	2	20-35	3	Ceramic	Food & Bev.	Cer. utility wares	Vessel, unid.	Yellowware, Rockingham			mending sherds, Rockingham ext. only
477	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. utility wares	Vessel, unid.	Yellowware, Rockingham			spattered
478	505N 305E:01	2	20-35	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			rim, body sherds
479	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. utility wares	Crock	CSTNW, Albany int.			rim/body sherd
480	505N 305E:01	2	20-35	3	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany ext.			base, body sherds, goes with cat.435 ts
481	505N 305E:01	2	20-35	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			rim sherd, goes with cat.436 ts
482	505N 305E:01	2	20-35	1	Ceramic	Activities	Agriculture & horticulture	Flower pot	CEW, unglazed			body sherd
483	505N 305E:01	2	20-35	1	Ceramic	Unknown	Unknown	Unknown	Coarse Red EW			unglazed ext., int. surface missing
484	505N 305E:01	2	20-35	8	Brick	Architectural	Construction materials	Construction block	Unknown			red fragments
485	505N 305E:01	2	20-35	1	Glass	Personal	Toys & leisure	Marble	Machine made			yellow cat's eye
486	505N 305E:01	2	20-35	2	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua body sherds, goes with cat.443 ts
487	505N 305E:01	2	20-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, base sherd, cylindrical, goes with cat.446 ts
488	505N 305E:01	2	20-35	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Mould blown			green finish sherd
489	505N 305E:01	2	20-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			amber
490	505N 305E:01	2	20-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green base sherd, embossed D in a diamond logo
491	505N 305E:01	2	20-35	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			
492	505N 305E:01	2	20-35	1	Glass	Unknown	Unknown	Melted glass	Unidentifiable		1	colourless
493	505N 305E:01	2	20-35	6	Glass	Architectural	Window glass	Pane glass	Not applicable			
494	505N 305E:01	2	20-35	13	Glass	Food & Bev.	Glass storage containers	Canning jar	Mould blown			aqua body, shoulder, rim sherds, goes with cat.447 ts
495	505N 305E:01	2	20-35	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless base/body sherd
496	505N 305E:01	2	20-35	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, misc. sherds
497	505N 305E:01	2	20-35	2	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless shoulder, body sherds



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
498	505N 305E:01	2	20-35	1	Glass	Modified	Utilized	Utilized container	Unknown			colourless body sherd, likely goes with cat.497, diamond shape, max L 26.75mm, W 19.14mm, T 2.25mm, utilized on one short edge, 12.88mm long, convex
499	505N 305E:01	2	20-35	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown			
500	505N 305E:01	2	20-35	21	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			8 butchered
501	505N 305E:01	2	20-35	1	Ferrous	Unassigned material	Misc. hardware	Screw	Unidentifiable			
502	505N 305E:01	2	20-35	6	Ferrous	Architectural	Nails	Nail	Wire			
503	505N 305E:01	2	20-35	24	Ferrous	Architectural	Nails	Nail	Cut			
504	505N 305E:01	2	20-35	1	Ferrous	Architectural	Nails	Nail	Unidentifiable			corroded
505	505N 305E:01	2	20-35	1	Ferrous	Unassigned material	Misc. material	Fastener	Ferrous			fence staple or cotter pin, corroded
506	505N 305E:01	2	20-35	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			trough-shape, same as cat.285
507	505N 305E:01	2	20-35	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			possible utensil (spoon) handle fragment
508	505N 305E:01	2	20-35	2	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
509	505N 310E:01	ts	0-55	18	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			9 butchered
510	505N 310E:01	ts	0-55	2	Composite	Clothing	Apparel	Grommet	Copper-alloy			copper shoe grommets, leather
511	505N 310E:01	ts	0-55	1	Ceramic	Clothing	Fasteners	Collar stud	Prosser			incomplete
512	505N 310E:01	ts	0-55	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			
513	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE	blue		blue décor, small sherd
514	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Ironstone, transfer	red		body sherd
515	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, transfer	green		small sherd, same pattern as cat.423
516	505N 310E:01	ts	0-55	3	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green, gold		rim sherds, hint of gilding, same pattern as cat.423
517	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green	1	body sherd, décor both surfaces, goes with cat.424, same pattern as cat.423
518	505N 310E:01	ts	0-55	4	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Semiporcelain, transfer	green, gold		rim sherds, hint of gilt around rim
519	505N 310E:01	ts	0-55	2	Ceramic	Food & Bev.	Cer. tableware	Tea cup	Ironstone			body sherds, handle scar
520	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Ironstone			rim sherd
521	505N 310E:01	ts	0-55	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			mending base sherds, partial black transfer maker's mark ... & ... / E(n)GLA(nd)
522	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Plate	Ironstone, moulded			rim to footing sherd, leaf & fern in a cartouche (not identified)
523	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	Ironstone, moulded			body sherd, possibly Centennial



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
524	505N 310E:01	ts	0-55	56	Ceramic	Food & Bev.	Cer. tableware	Platter	Ironstone, moulded		9	Centennial, rim, body, base sherds, some mend, black transfer maker's mark of Royal Arms with IRONSTONE CHINA / W. & E. CORN / BURSLEM, impressed registration mark (illegible)
525	505N 310E:01	ts	0-55	11	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
526	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain			small sherd
527	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			base sherd
528	505N 310E:01	ts	0-55	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			mending rim and body sherds, goes with cat.436
529	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			base sherd
530	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			small rim sherd, goes with cat.478
531	505N 310E:01	ts	0-55	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	C red EW, glazed			yellow glaze, rim sherd
532	505N 310E:01	ts	0-55	1	Ceramic	Unknown	Unknown	Vessel, unid.	Coarse Red EW			ext. surface unglazed, int. surface missing
533	505N 310E:01	ts	0-55	5	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Unidentifiable			green, crizzled sherds
534	505N 310E:01	ts	0-55	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Mould blown			green
535	505N 310E:01	ts	0-55	1	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Machine made			green
536	505N 310E:01	ts	0-55	5	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			amber
537	505N 310E:01	ts	0-55	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Turn paste mould			amber neck/finish sherd
538	505N 310E:01	ts	0-55	1	Glass	Unknown	Unknown	Melted glass	Unidentifiable		1	colourless
539	505N 310E:01	ts	0-55	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua recessed panel sherd
540	505N 310E:01	ts	0-55	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, misc. sherds
541	505N 310E:01	ts	0-55	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless, mending base, body sherds, cylindrical/panelled, space for paper label
542	505N 310E:01	ts	0-55	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless body sherd, partial embossed label ...MA...
543	505N 310E:01	ts	0-55	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless body sherd
544	505N 310E:01	ts	0-55	2	Glass	Lighting	Lighting devices	Lamp font/base	Unknown			colourless, mending sherds
545	505N 310E:01	ts	0-55	12	Glass	Architectural	Window glass	Pane glass	Not applicable			
546	505N 310E:01	ts	0-55	1	Metal	Unknown	Unknown	Unknown	Unknown			22mm diameter pewter ring, decorated ext., copper ring inset, with small and incomplete extension
547	505N 310E:01	ts	0-55	2	Ferrous	Activities	Agriculture & horticulture	Fence staple	Ferrous			
548	505N 310E:01	ts	0-55	1	Ferrous	Unassigned material	Misc. items	Spring	Ferrous			fragment
549	505N 310E:01	ts	0-55	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			square shank, flame-shape, small
550	505N 310E:01	ts	0-55	18	Ferrous	Architectural	Nails	Nail	Cut			
551	505N 310E:01	ts	0-55	4	Ferrous	Architectural	Nails	Nail	Wire			
552	505N 310E:01	ts	0-55	6	Ferrous	Architectural	Nails	Nail	Unidentifiable			corroded
553	505N 310E:01	ts	0-55	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			square rod tapers to circular x-section



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
554	505N 310E:01	ts	0-55	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			slight curve
555	505N 310E:01	ts	0-55	1	Ferrous	Architectural	Door & window hardware	Butt hinge	Ferrous			incomplete
556	505N 310E:01	ts	0-55	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			top is rounded rectangle shape, thick body, underside is grooved, heavy
557	500N 310E:01	ts	0-27	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown			
558	500N 310E:01	ts	0-27	2	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			butchered
559	500N 310E:01	ts	0-27	3	Ferrous	Architectural	Nails	Nail	Cut			
560	500N 310E:01	ts	0-27	1	Ferrous	Unassigned material	Misc. hardware	Fastener	Ferrous			
561	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE, transfer	blue		Willow, small base sherd
562	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE, sponged	blue		tight, small sherd
563	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE	blue		rim sherd, dark blue int.
564	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Ironstone, moulded		1	small rim sherd
565	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			small sherd
566	500N 310E:01	ts	0-27	2	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or semiporcelain			small sherds
567	500N 310E:01	ts	0-27	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body sherd
568	500N 310E:01	ts	0-27	6	Ceramic	Food & Bev.	Cer. utility wares	Bowl	Yellowware, Rockingham			rim, body sherds
569	500N 310E:01	ts	0-27	2	Glass	Architectural	Window glass	Pane glass	Not applicable			
570	500N 310E:01	ts	0-27	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			colourless, recessed panel body sherd
571	500N 310E:01	ts	0-27	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua base/body sherd, rectangular
572	500N 310E:01	ts	0-27	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua body sherd
573	500N 310E:01	ts	0-27	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			amber
574	500N 310E:01	ts	0-27	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless body sherd, partial embossed label ...MR...
575	500N 310E:01	ts	0-27	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless body sherds, cylindrical
576	500N 310E:01	ts	0-27	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless
577	500N 310E:01	2	27-40	2	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			1 butchered
578	500N 310E:01	2	27-40	1	Plastic	Health & Hygiene	Grooming & hygiene	Hair comb	20th Century			
579	500N 310E:01	2	27-40	1	Glass	Architectural	Window glass	Pane glass	Not applicable			
580	500N 310E:01	2	27-40	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, misc. sherds
581	500N 310E:01	2	27-40	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless recessed panel sherd, hint of embossed label E...
582	505N 290E:01	ts&2	0-70	1	Plastic	Clothing	Fasteners	Button	Plastic			brown
583	505N 290E:01	ts&2	0-70	1	Shell	Faunal & Floral	Shell	Shell	Unknown			
584	505N 290E:01	ts&2	0-70	20	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			6 butchered
585	505N 290E:01	ts&2	0-70	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
586	505N 290E:01	ts&2	0-70	1	Ceramic	Furniture	Decorative furnishings	Figurine	Parian	pink, gold		goes with cat.321; robe?
587	505N 290E:01	ts&2	0-70	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	Yellowware, moulded			rim sherd
588	505N 290E:01	ts&2	0-70	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain, transfer	turquoise		small sherd
589	505N 290E:01	ts&2	0-70	1	Ceramic	Food & Bev.	Cer. tableware	Tea cup	Semiporcelain, transfer	green	1	body sherd, décor both surfaces, with moulded décor near the base, same pattern as cat.423
590	505N 290E:01	ts&2	0-70	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, moulded			Wheat, mending rim sherds
591	505N 290E:01	ts&2	0-70	3	Ceramic	Food & Bev.	Cer. tableware	Plate	Ironstone, moulded			Wheat, rim sherds
592	505N 290E:01	ts&2	0-70	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			small sherd
593	505N 290E:01	ts&2	0-70	11	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
594	505N 290E:01	ts&2	0-70	1	Ceramic	Food & Bev.	Cer. tableware	Serving hollowware	FSTNW, feldspathic			grey fabric, moulded and stippled, glazed int.
595	505N 290E:01	ts&2	0-70	2	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			rim, base sherds
596	505N 290E:01	ts&2	0-70	1	Brick	Architectural	Construction materials	Construction block	Unknown			red fragment, probably modern
597	505N 290E:01	ts&2	0-70	1	Glass	Unknown	Unknown	Unknown	Opaque white			lighting or container
598	505N 290E:01	ts&2	0-70	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green
599	505N 290E:01	ts&2	0-70	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Unknown			green neck sherd
600	505N 290E:01	ts&2	0-70	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			misc. sherds
601	505N 290E:01	ts&2	0-70	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless
602	505N 290E:01	ts&2	0-70	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
603	505N 290E:01	ts&2	0-70	1	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless body sherd
604	505N 290E:01	ts&2	0-70	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless
605	505N 290E:01	ts&2	0-70	1	Glass	Unknown	Unknown	Bottle	Unknown			colourless neck sherd
606	505N 290E:01	ts&2	0-70	7	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua body sherds, square?
607	505N 290E:01	ts&2	0-70	13	Glass	Architectural	Window glass	Pane glass	Not applicable			
608	505N 290E:01	ts&2	0-70	2	Composite	Food & Bev.	Glass bev. containers	Closure	Crown cap			ferrous with plastic liner, 2 caps
609	505N 290E:01	ts&2	0-70	1	Ferrous	Unknown	Unknown	Can	Ferrous			fragment
610	505N 290E:01	ts&2	0-70	1	Ferrous	Unassigned material	Misc. material	Strapping	Ferrous			small fragment
611	505N 290E:01	ts&2	0-70	6	Ferrous	Architectural	Nails	Nail	Cut			
612	505N 290E:01	ts&2	0-70	5	Ferrous	Architectural	Nails	Nail	Wire			
613	505N 290E:01	ts&2	0-70	3	Ferrous	Architectural	Nails	Nail	Unidentifiable			corroded
614	505N 290E:01	ts&2	0-70	1	Ferrous	Unassigned material	Misc. hardware	Staple	Ferrous			large
615	505N 290E:01	ts&2	0-70	4	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			corroded, fasteners, wire or other
616	505N 290E:01	ts&2	0-70	1	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
617	505N 290E:01	ts&2	0-70	2	Mortar	Architectural	Construction materials	Wall finishing	Unknown			grey, with pebbles
618	505N 315E:01	ts	0-33	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
619	505N 315E:01	ts	0-33	4	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
620	505N 315E:01	ts	0-33	1	Rubber	Unknown	Unknown	Disc	Rubber			
621	505N 315E:01	ts	0-33	1	Plastic	Unknown	Unknown	Unknown	Plastic			
622	505N 315E:01	ts	0-33	1	Plastic	Clothing	Fasteners	Button	Plastic			2 holes
623	505N 315E:01	ts	0-33	1	Shell	Clothing	Fasteners	Button	Shell			4 holes
624	505N 315E:01	ts	0-33	1	Ceramic	Smoking	Smoking pipes	White pipe, marked bowl	Unknown		I	fluted, burnt
625	505N 315E:01	ts	0-33	1	Ceramic	Food & Bev.	Cer. tableware	Saucer	Ironstone			body/base sherd
626	505N 315E:01	ts	0-33	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	Ironstone, moulded			Basketweave, small sherds
627	505N 315E:01	ts	0-33	7	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
628	505N 315E:01	ts	0-33	16	Ceramic	Health & Hygiene	Grooming & hygiene	Chamber pot	Ironstone			rim, body sherds, handle scar
629	505N 315E:01	ts	0-33	4	Glass	Architectural	Window glass	Pane glass	Not applicable			
630	505N 315E:01	ts	0-33	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua neck sherd, Davis finish
631	505N 315E:01	ts	0-33	2	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua, misc. body sherds
632	505N 315E:01	ts	0-33	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Mould blown			aqua
633	505N 315E:01	ts	0-33	7	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, misc. body sherds
634	505N 315E:01	ts	0-33	1	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Mould blown			green
635	505N 315E:01	ts	0-33	4	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Machine made			green, misc. sherds
636	505N 315E:01	ts	0-33	2	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Machine made			colourless, crown finish
637	505N 315E:01	ts	0-33	6	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless, misc. sherds
638	505N 315E:01	ts	0-33	9	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
639	505N 315E:01	ts	0-33	1	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Manganese decoloured			neck sherd, one-part finish, mould blown
640	505N 315E:01	ts	0-33	3	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Manganese decoloured			
641	505N 315E:01	ts	0-33	25	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			misc. sherds
642	505N 315E:01	ts	0-33	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Vented mould			colourless
643	505N 315E:01	ts	0-33	5	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, misc. sherds
644	505N 315E:01	ts	0-33	1	Glass	Architectural	Window glass	Pane glass	Not applicable			textured
645	505N 315E:01	ts	0-33	1	Ferrous	Unassigned material	Misc. hardware	Screw	Unidentifiable			
646	505N 315E:01	ts	0-33	3	Ferrous	Architectural	Nails	Nail	Wire			
647	505N 315E:01	ts	0-33	7	Ferrous	Architectural	Nails	Nail	Cut		I	
648	505N 315E:01	ts	0-33	8	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
649	505N 315E:01	ts	0-33	4	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
650	510N 295E:01	ts	0-26	1	Shell	Faunal & Floral	Shell	Shell	Unknown			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
651	510N 295E:01	ts	0-26	2	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			butchered
652	510N 295E:01	ts	0-26	2	Plastic	Unknown	Unknown	Unknown	Plastic			1 BIC pen, 1 misc.
653	510N 295E:01	ts	0-26	1	Ceramic	Food & Bev.	Cer. tableware	Hollowware	RWE, painted	green		late palette, small sherd
654	510N 295E:01	ts	0-26	1	Ceramic	Unknown	Unknown	Unknown	Porcelain			small sherd, possible electrical
655	510N 295E:01	ts	0-26	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			
656	510N 295E:01	ts	0-26	33	Ceramic	Food & Bev.	Cer. tableware	Serving hollowware	Ironstone			rim, body sherds
657	510N 295E:01	ts	0-26	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Albany int.			body/base sherd
658	510N 295E:01	ts	0-26	55	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CEW, Rockingham			body, rim, base sherds, goes with cat.228
659	510N 295E:01	ts	0-26	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green
660	510N 295E:01	ts	0-26	3	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			aqua, misc. sherds
661	510N 295E:01	ts	0-26	8	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, misc. sherds
662	510N 295E:01	ts	0-26	5	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless, misc. sherds
663	510N 295E:01	ts	0-26	1	Glass	Architectural	Window glass	Pane glass	Unknown			textured
664	510N 295E:01	ts	0-26	17	Glass	Architectural	Window glass	Pane glass	Not applicable			
665	510N 295E:01	ts	0-26	1	Copper Alloy	Unknown	Unknown	Disc	Copper-alloy			14mm, mildly convex, band of small ribs around int. edge, small rectangular slit in centre
666	510N 295E:01	ts	0-26	1	Ferrous	Unassigned material	Misc. items	Ring	Ferrous			15mm diameter
667	510N 295E:01	ts	0-26	1	Ferrous	Activities	Stable & barn	Horseshoe nail	Ferrous			point clipped
668	510N 295E:01	ts	0-26	2	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
669	510N 295E:01	ts	0-26	3	Ferrous	Architectural	Nails	Nail	Wire			
670	510N 295E:01	ts	0-26	16	Ferrous	Architectural	Nails	Nail	Cut			
671	510N 295E:01	2	26-42	1	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
672	510N 295E:01	2	26-42	2	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
673	510N 295E:01	2	26-42	1	Ferrous	Architectural	Nails	Nail	Wire			
674	510N 295E:01	2	26-42	5	Ferrous	Architectural	Nails	Nail	Cut			
675	510N 295E:01	2	26-42	1	Glass	Architectural	Window glass	Pane glass	Not applicable			
676	510N 295E:01	2	26-42	1	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Mould blown			green neck sherd
677	510N 295E:01	2	26-42	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			bright green, goes with cat.659
678	510N 295E:01	2	26-42	1	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CSTNW, Salt-glaze			small rim sherd, goes with cat.478
679	510N 295E:01	2	26-42	5	Ceramic	Food & Bev.	Cer. utility wares	Hollowware	CEW, Rockingham			body, base sherds, goes with cat.658
680	510N 295E:01	2	26-42	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			small sherd
681	510N 295E:01	2	26-42	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW			cream-coloured
682	510N 295E:01	2	26-42	6	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
683	510N 300E:01	ts	0-30	2	Plastic	Unknown	Unknown	Unknown	Plastic			1 coffee cup lid, 1 misc.
684	510N 300E:01	ts	0-30	1	Shell	Clothing	Fasteners	Button	Shell			small, 4 holes
685	510N 300E:01	ts	0-30	1	Shell	Clothing	Fasteners	Button	Shell			large, 4 holes, 6 chevrons to make a sun or flower décor
686	510N 300E:01	ts	0-30	1	Bone	Faunal & Floral	Bone	Bird bone	Unknown			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
687	510N 300E:01	ts	0-30	2	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			
688	510N 300E:01	ts	0-30	2	Slate	Activities	Writing	Slate pencil	Slate			
689	510N 300E:01	ts	0-30	1	Graphite	Lighting	Lighting devices	Carbon rod	Graphite			arc light electrode
690	510N 300E:01	ts	0-30	1	Copper Alloy	Unassigned material	Misc. items	Chain	Copper-alloy			flat, narrow, rectangular links with open square wire pieces, 2 each, attached
691	510N 300E:01	ts	0-30	1	Nickel	Personal	Currency	Coin	1940-1949			USA five cents 1941
692	510N 300E:01	ts	0-30	1	Ceramic	Smoking	Smoking pipes	White pipe, plain bowl	Unknown			
693	510N 300E:01	ts	0-30	1	Ceramic	Smoking	Smoking pipes	White pipe, junction	Unknown			decorated, broken spur
694	510N 300E:01	ts	0-30	1	Ceramic	Smoking	Smoking pipes	White pipe, marked stem	Glasgow			...L / GLAS...; could be Cohill or McDougall
695	510N 300E:01	ts	0-30	1	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			mouthpiece
696	510N 300E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain			small sherd
697	510N 300E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE or semiporcelain	blue		flown, small sherd
698	510N 300E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, moulded	blue		rim sherd, with blue décor
699	510N 300E:01	ts	0-30	4	Ceramic	Food & Bev.	Cer. tableware	Tableware	RWE			misc. sherds
700	510N 300E:01	ts	0-30	3	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
701	510N 300E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Plate	Ironstone, moulded			base/body sherd
702	510N 300E:01	ts	0-30	2	Ceramic	Health & Hygiene	Grooming & hygiene	Chamber pot	RWE			mending rim sherds
703	510N 300E:01	ts	0-30	3	Ceramic	Food & Bev.	Cer. tableware	Tableware	Vitrified White			
704	510N 300E:01	ts	0-30	8	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		3	misc. sherds
705	510N 300E:01	ts	0-30	3	Ceramic	Food & Bev.	Cer. tableware	Serving hollowware	Fine Earthenware			brown fabric, yellow-slip décor ext., partial white-slipped int.
706	510N 300E:01	ts	0-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			amber
707	510N 300E:01	ts	0-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Mould blown			green corner sherd
708	510N 300E:01	ts	0-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Manganese decoloured			
709	510N 300E:01	ts	0-30	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless, misc. sherds
710	510N 300E:01	ts	0-30	5	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, misc. sherds
711	510N 300E:01	ts	0-30	1	Glass	Food & Bev.	Glass storage containers	Canning jar	Unknown			aqua body sherd, partial embossed crown
712	510N 300E:01	ts	0-30	6	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, misc. sherds
713	510N 300E:01	ts	0-30	51	Glass	Architectural	Window glass	Pane glass	Not applicable			
714	510N 300E:01	ts	0-30	1	Ferrous	Unassigned material	Misc. hardware	Screw	Slot			
715	510N 300E:01	ts	0-30	6	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
716	510N 300E:01	ts	0-30	1	Ferrous	Unassigned material	Misc. material	Rod	Ferrous			



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
717	510N 300E:01	ts	0-30	1	Ferrous	Unassigned material	Misc. material	Rod	Ferrous			one tapered end
718	510N 300E:01	ts	0-30	2	Ferrous	Architectural	Nails	Nail	Unidentifiable			
719	510N 300E:01	ts	0-30	24	Ferrous	Architectural	Nails	Nail	Wire			
720	510N 300E:01	ts	0-30	35	Ferrous	Architectural	Nails	Nail	Cut			
721	510N 300E:01	ts	0-30	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			curved, heavy, one fastening hole, incomplete
722	510N 305E:01	ts	0-30	1	Slate	Activities	Writing	Slate board	Slate			
723	510N 305E:01	ts	0-30	1	Copper Alloy	Clothing	Fasteners	Suspender brace	Copper-alloy			
724	510N 305E:01	ts	0-30	10	Bone	Faunal & Floral	Bone	Mammal bone	Unknown			3 butchered
725	510N 305E:01	ts	0-30	2	Ceramic	Smoking	Smoking pipes	White pipe, plain stem	Unknown			
726	510N 305E:01	ts	0-30	1	Ceramic	Furniture	Decorative furnishings	Figurine	Porcelain			small sherd, pink one side
727	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Porcelain			small sherd
728	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE, sponged	blue		tight, small sherd
729	510N 305E:01	ts	0-30	3	Ceramic	Food & Bev.	Cer. tableware	Flatware	RWE	blue		mending rim sherds, dark blue int., goes with cat.563
730	510N 305E:01	ts	0-30	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	Semiporcelain, moulded			rim sherds, Wheat-type décor
731	510N 305E:01	ts	0-30	2	Ceramic	Food & Bev.	Cer. tableware	Plate	Ironstone, moulded			Wheat, mending sherds
732	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			base sherd, partial black transfer maker's mark of Royal Arms with (mello)R TAYLOR & CO / (engla)ND
733	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	IRO or semiporcelain			base sherd, partial black transfer maker's mark of a globe
734	510N 305E:01	ts	0-30	22	Ceramic	Food & Bev.	Cer. tableware	Saucer	Ironstone, moulded			Wheat, 1/2 saucer, mending sherds, partial black transfer maker's mark of Royal Arms with ROYAL IRONSTONE CHINA
735	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Flatware	Ironstone			small rim sherd
736	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Semiporcelain			base sherd
737	510N 305E:01	ts	0-30	5	Ceramic	Food & Bev.	Cer. tableware	Tableware	Ironstone			misc. sherds
738	510N 305E:01	ts	0-30	2	Ceramic	Food & Bev.	Cer. tableware	Flatware	IRO or semiporcelain			base sherds
739	510N 305E:01	ts	0-30	8	Ceramic	Food & Bev.	Cer. tableware	Tableware	IRO or semiporcelain			misc. sherds
740	510N 305E:01	ts	0-30	1	Ceramic	Food & Bev.	Cer. tableware	Tableware	Unid. white EW		1	2 sherds melted together
741	510N 305E:01	ts	0-30	1	Glass	Unknown	Unknown	Unknown	Opaque white			small sherd, cloudy
742	510N 305E:01	ts	0-30	3	Glass	Health & Hygiene	Pharmaceutical containers	Pharmaceutical bottle	Unknown			colourless body sherds, recessed panel
743	510N 305E:01	ts	0-30	2	Glass	Food & Bev.	Glass tableware	Glassware	Unknown			colourless
744	510N 305E:01	ts	0-30	5	Glass	Lighting	Lighting devices	Lamp chimney	Unknown			colourless
745	510N 305E:01	ts	0-30	1	Glass	Lighting	Lighting devices	Lamp chimney	Unknown			colourless, straight rim



Cat. #	Context	Level	Depth (cm)	n	Material	Class	Group	Object	Datable Attribute	Décor Colour	Burnt	Comment
746	510N 305E:01	ts	0-30	1	Glass	Modified	Utilized	Utilized lamp chimney	Unknown			colourless, straight rim sherd, goes with cat.745, max L 34.81mm, W 30.81mm, T 1.31mm, utilized on one short edge (rim), 15.13mm, straight
747	510N 305E:01	ts	0-30	1	Glass	Unknown	Unknown	Vessel, unid.	Unknown			colourless finish/neck sherd, decorated neck, glassware or container
748	510N 305E:01	ts	0-30	2	Glass	Unknown	Unid. glass containers	Unid. container glass	Machine made			colourless
749	510N 305E:01	ts	0-30	4	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			colourless, misc. sherds
750	510N 305E:01	ts	0-30	1	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			pale green
751	510N 305E:01	ts	0-30	2	Glass	Food & Bev.	Glass bev. containers	Alcohol bottle	Machine made			green body sherds
752	510N 305E:01	ts	0-30	5	Glass	Food & Bev.	Glass bev. containers	Beverage bottle	Machine made			bright green body, base sherds
753	510N 305E:01	ts	0-30	8	Glass	Unknown	Unid. glass containers	Unid. container glass	Unknown			aqua, misc. sherds
754	510N 305E:01	ts	0-30	31	Glass	Architectural	Window glass	Pane glass	Not applicable			
755	510N 305E:01	ts	0-30	1	Ferrous	Activities	Stable & barn	Horseshoe nail	Ferrous			point clipped
756	510N 305E:01	ts	0-30	1	Ferrous	Activities	Agriculture & horticulture	Fence staple	Ferrous			
757	510N 305E:01	ts	0-30	3	Ferrous	Architectural	Nails	Nail	Unidentifiable			
758	510N 305E:01	ts	0-30	1	Ferrous	Architectural	Nails	Nail	Cut, handmade head			
759	510N 305E:01	ts	0-30	26	Ferrous	Architectural	Nails	Nail	Cut			
760	510N 305E:01	ts	0-30	21	Ferrous	Architectural	Nails	Nail	Wire			
761	510N 305E:01	ts	0-30	3	Ferrous	Unassigned material	Misc. material	Wire	Ferrous			
762	510N 305E:01	ts	0-30	1	Ferrous	Unassigned material	Misc. material	Bar	Ferrous			triangular profile, corroded
763	510N 305E:01	ts	0-30	2	Ferrous	Unknown	Unknown	Unknown	Ferrous			2 identical objects, oval, curved lengthwise, a fastening hole at each end; one with a square-head bolt through holes
764	510N 305E:01	ts	0-30	1	Ferrous	Unknown	Unknown	Unknown	Ferrous			flat circular fragment with half-circle raise
765	510N 305E:01	ts	0-30	3	Ferrous	Unassigned material	Misc. material	Misc. metal	Ferrous			
			Total	2236								