



## **TOWN OF AMHERSTBURG SPECIAL COUNCIL MEETING - PLANNING**

**View Livestream at the time of the proceedings at  
<https://www.amherstburg.ca/livestream>**

**Tuesday, April 29, 2025**

**5:00 PM**

**Council Chambers**

**271 Sandwich Street South, Amherstburg, ON, N9V 2A5**

For information pertaining to this agenda or to arrange for any additional accessibility needs please contact the Clerk's Division at [clerk@amherstburg.ca](mailto:clerk@amherstburg.ca).

Information will be gathered in accordance with the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA). All comments and communications received will become part of the public record unless you expressly request the Town to remove it. If you want to learn more about why and how the Town collects your information, write to the Town Clerk's Office, 271 Sandwich Street South, Amherstburg, ON N9V 2A5 or call 519-736-0012.

---

**Pages**

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. DISCLOSURE OF PECUNIARY INTEREST & GENERAL NATURE THEREOF**  
*(Public Council Meeting Agenda Items)*

#### 4. LAND ACKNOWLEDGEMENT

We will begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations (comprising the Ojibway, the Odawa, and the Potawatomie Peoples), and of the Huron-Wendat and Wyandot Peoples. We recognize the land as an expression of gratitude to those whose traditional territory we reside on, and a way of honouring the Indigenous people who have been living and thriving on the land since time immemorial. We value the significant historical and contemporary contributions of local and regional First Nations and all of the Original Peoples of Turtle Island.

#### 5. PLANNING REPORTS

##### 5.1 Statutory Public Meeting to Consider a Housekeeping Zoning By-law Amendment

3

It is recommended that:

1. Comments from the public with respect to Zoning By-law Amendment for housekeeping by-law (File ZBA-07-25) **BE RECEIVED**; and
2. Pending Council consideration of written and oral comments received at this public meeting, Zoning By-law 2025-032 **BE CONSIDERED** at the regular Council meeting following this public meeting.

##### 5.2 Statutory Public Meeting for an Official Plan Amendment (OPA #27) and Zoning By-law Amendment (ZBA-24-24) – 130 Sandwich Street South

32

It is recommended that:

1. Following the receipt of updated engineering studies prepared to the satisfaction of the Director of Infrastructure Services, comments from the public, municipal departments, agencies and Council with respect to the proposed Official Plan Amendment and Zoning By-law Amendment for lands municipally known as 130 Sandwich Street South (Files OPA #27 and ZBA-24-24) **BE RECEIVED and SUMMARIZED** in a future report to Council.

#### 6. ADJOURNMENT

That Council rise and adjourn at      p.m.





## THE CORPORATION OF THE TOWN OF AMHERSTBURG

### OFFICE OF DEVELOPMENT SERVICES

***Mission Statement:*** As stewards of the Town of Amherstburg, we strive to improve the quality of life of all residents through the delivery of effective, efficient, and affordable services.

Author's Name: Janine Mastronardi	Report Date: April 11, 2025
Author's Phone: 519 736-5408 ext. 2134	Date to Council: April 29, 2025
Author's E-mail: <a href="mailto:jmastronardi@amherstburg.ca">jmastronardi@amherstburg.ca</a>	Resolution #:

**To:** Mayor and Members of Town Council

**Subject:** Statutory Public Meeting to Consider a Housekeeping Zoning By-law Amendment

---

#### 1. **RECOMMENDATION:**

It is recommended that:

1. Comments from the public with respect to Zoning By-law Amendment for housekeeping by-law (File ZBA-07-25) **BE RECEIVED**; and
2. Pending Council consideration of written and oral comments received at this public meeting, Zoning By-law 2025-032 **BE CONSIDERED** at the regular Council meeting following this public meeting.

#### 2. **BACKGROUND:**

Town of Amherstburg Zoning By-law 1999-52, as amended was passed by Council on November 8, 1999. The document has since been consolidated up to and including amendments of December 2024. Since the intent of the Comprehensive Zoning By-law (CZBL) is to ensure that it remains up-to-date and in conformity with the Town of Amherstburg Official Plan and other provincial legislation, regular housekeeping amendments are required to deal with technical and housekeeping updates.

The Town has initiated a housekeeping by-law for an amendment to Zoning By-law 1999-52, as amended under Section 34 of the Planning Act, R.S.O. 1990, c.P. 13. The proposed amendment is both of a general nature which applies to various properties throughout the Town of Amherstburg and applies to three mapping changes to specific parcels of land. The proposed amendment has been drafted regarding institutional uses in the Town of Amherstburg.

### **3. DISCUSSION:**

The Town of Amherstburg has initialled a housekeeping Zoning By-law Amendment to provide improved clarity with some Institutional Zone permitted uses and associated definitions. Housekeeping mapping updates are also proposed.

This rezoning, if approved, will add a definition for stormwater management facility and amend the definition of water system, public to ensure both of these permitted uses have appropriately defined terminology in the Town's Zoning By-law.

The proposed definitions are as follows:

*“STORMWATER MANAGEMENT FACILITY” shall mean a stormwater management facility is an engineered structure comprised of a stormwater management pond and associated appurtenances constructed to gather rainfall and surface water runoff, to temporarily hold water and to release stormwater runoff slowly. A stormwater management pond may be in the form of a wet or dry pond, or underground storage units.*

*“WATER SYSTEM” shall mean a water distribution system consisting of piping, pumping and purification appurtenances and related storage.*

Section 24(2) is proposed to be amended by adding the additional use of water system to the list of permitted uses in the Institutional (I) Zone.

Section 24(4)(d)(i) being the Special Provision Institutional (I-4) Zone is proposed to be amended by replacing the permitted use of “stormwater management pond” with “stormwater management facility”. The definition of stormwater management pond does not currently exist in the CZBL. Through the preparation of the definition of stormwater management pond administration determined that the term stormwater management facility was a more accurate term to use to ensure associated appurtenances such as pumps and fences are identified as permitted uses. The change of terminology in this existing site-specific zone is required to ensure the definition in the CZBL is consistent with the listed permitted use.

This Zoning Amendment is proposed to also rezone the following subject lands;

- Brittany's Gate Subdivision Stormwater Management Facility from **“Residential Type 1A (R1A) Zone”** to **“Special Provision Institutional (I-4) Zone”**.
- Canard Valley Estates Subdivision Stormwater Management Facility from **“Residential First Density (R1)”** and **“Residential Type 1A (R1A) Zone”** to **“Special Provision Institutional (I-4) Zone”**.
- E/S Front Road North, Town lands for Water Treatment Plant Expansion from **“Light Industrial”** to **“Institutional (I) Zone”**.

The proposal to change the zoning of the stormwater management facility parcels in the Brittany's Gate Subdivision and the Canard Valley Estates Subdivision will ensure the zoning of these properties are consistent with the approved Plans of Subdivision and with the use of these lands confirmed in the registered Subdivision Agreements.

The mapping change proposed on the east side of Front Road North for the Town's water treatment plant expansion lands will change the zoning from Light Industrial to Institutional. The existing water treatment facility at 415 Front Road North is zoned

Institutional (I) Zone. The proposed rezoning will provide consistent zoning for the expansion lands.

The proposed Amendments to the Zoning By-law are in conformity with the policies of the Official Plan.

#### **4. RISK ANALYSIS:**

The recommendation presents little to no risk to the municipality.

#### **5. FINANCIAL MATTERS:**

All costs associated with the application are the responsibility of the applicant. Should the decision be appealed to the Ontario Land Tribunal then the Town will incur costs.

#### **6. CONSULTATIONS:**

The Notice of Public Meeting was published in the local newspaper and on the Town website and circulated to the required agencies, property owners and municipal departments in accordance with the requirements of the Planning Act, R.S.O. 1990, c.P. 13 and associated regulations. At the date of the writing of this report, no written comments from the public were received.

#### **7. CORPORATE STRATEGIC ALIGNMENT:**

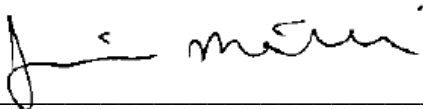
***Vision: Preserving our past while forging our future.***

<b><i>Amherstburg Community Strategic Plan 2022 - 2026</i></b>	
<b>PILLAR 1</b> <b>Deliver Trusted &amp; Accountable Local Government</b>	<b>PILLAR 3</b> <b>Encourage Local Economic Prosperity</b>
<ul style="list-style-type: none"><li>✓ Improve trust between council and staff, and residents, by strengthening governance and internal accountability structures.</li><li><input type="checkbox"/> Deliver transparent and efficient financial management.</li><li><input type="checkbox"/> Increase effective communication and engagement with residents.</li><li><input type="checkbox"/> Develop our staff team, resources, and workplace culture.</li><li><input type="checkbox"/> Continue to deliver strong core municipal services.</li></ul>	<ul style="list-style-type: none"><li><input type="checkbox"/> Encourage development of commercial and industrial lands.</li><li><input type="checkbox"/> Continue to promote local tourism industry, especially overnight accommodation.</li><li><input type="checkbox"/> Continue to facilitate downtown development for residents and visitors.</li><li><input type="checkbox"/> Continue to leverage partnership opportunities with other provincial, federal, and local governments, agencies, and organizations.</li></ul>

<input type="checkbox"/> Ensure Amherstburg is an inclusive accessible and welcoming community committed to reconciliation.	
<p style="text-align: center;"><b>PILLAR 2</b></p> <p style="text-align: center;"><b>Invest in Community Amenities and Infrastructure</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Maintain safe, reliable and accessible municipal infrastructure and facilities.</li> <li><input type="checkbox"/> Increase access to recreation opportunities for all ages.</li> <li><input type="checkbox"/> Finalize and execute plans for town-owned lands (e.g. Duffy's site, Belle Vue)</li> <li><input type="checkbox"/> Create public access to water and waterfront</li> <li><input type="checkbox"/> Prioritize opportunities to reduce environmental impacts of Town operations and increase Town resilience to climate change.</li> </ul>	<p style="text-align: center;"><b>PILLAR 4</b></p> <p style="text-align: center;"><b>Shape Growth Aligned with Local Identity</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Define and communicate a vision for the Town's future and identity.</li> <li><input type="checkbox"/> Promote and plan for green and "climate change ready" development.</li> <li><input type="checkbox"/> Review and implement policies that promote greater access to diverse housing.</li> <li><input type="checkbox"/> Protect the Town's historic sites and heritage.</li> <li><input type="checkbox"/> Preserve the Town's greenspaces, agricultural lands, and natural environment.</li> </ul>

## 8. CONCLUSION:

Following the statutory public meeting, planning staff will be preparing a subsequent report for Council that will include a comprehensive analysis of all of the comments and recommendations received, and will provide a professional planning opinion and a staff recommendation with respect to the requested zoning by-law amendment.



Janine Mastronardi  
**Planner**

## Report Approval Details

Document Title:	Statutory Public Meeting to Consider a Housekeeping Zoning By-law Amendment regarding Institutional Zones.docx
Attachments:	<ul style="list-style-type: none"><li>- Appendix A- ZBA-07-25- Notice of Statutory Public Meeting- Housekeeping, Institutional Zone and Mapping-RM.pdf</li><li>- Appendix B- ZBA-07-25- Aerials-RM.pdf</li><li>- Appendix C- Circulation Map and Lists-RM.pdf</li><li>- Appendix D- Summary of Correspondence Received on ZBA-07-25-RM.pdf</li><li>- Appendix E- 2025-032- ZBA- Housekeeping (I Zone)- DRAFT-RM.pdf</li></ul>
Final Approval Date:	Apr 16, 2025

This report and all of its attachments were approved and signed as outlined below:

### No Signature found

Chris Aspila



Melissa Osborne



Tracy Prince



Valerie Critchley

A handwritten signature in black ink, appearing to read "Kevin Fox", with a long horizontal line extending from the end of the signature.

Kevin Fox

CORPORATION OF THE TOWN OF AMHERSTBURG  
**NOTICE OF STATUTORY PUBLIC MEETING  
TO CONSIDER A ZONING BY-LAW AMENDMENT**

**STATUTORY PUBLIC MEETING:**

**TAKE NOTICE** that the Council of the Corporation of the Town of Amherstburg will hold a public meeting on **Tuesday, April 29, 2025 commencing at 5:00 p.m.** in the Town of Amherstburg Council Chambers, 271 Sandwich Street South, Amherstburg, Ontario. The purpose of this meeting is to consider a proposed amendment to the Town of Amherstburg Zoning By-law 1999-52, under Section 34 of the Planning Act.

**ANY PERSON** who wishes to attend and address Council by electronic means, must register with the Clerk's Office no later than 4:00 pm on Thursday, April 24, 2025. To register for electronic participation please email the Clerk at [clerk@amherstburg.ca](mailto:clerk@amherstburg.ca). Once you register, you will be given information on how to make your submission at the electronic meeting by electronic participation. To participate, you will need access to a computer or tablet with internet service or a telephone.

**ANY PERSON** who wishes watch the meeting proceedings only, please visit <http://video.islive.ca/amherstburg/live.html>

**THE SUBJECT LANDS AND PURPOSE OF THIS REZONING APPLICATION:**

The proposed Amendment contains both items that are general in nature and applies to various properties throughout the Town of Amherstburg which do not have a key map associated with them and items that are mapping changes to specific parcels of land (see key maps below).

This rezoning, if approved, will add a definition for stormwater management pond and amend the definition of water system, public to ensure both of these permitted uses have appropriately defined terminology in the Town's Zoning By-law. The amendment also proposes to add water system to the permitted uses in the Institutional Zone which is currently not listed in any zone.

This Zoning Amendment, if approved, will also rezone the following subject lands;

- Brittany's Gate Subdivision Stormwater Management Pond from "**Residential Type 1A (R1A) Zone**" to "**Special Provision Institutional (I-4) Zone**".
- Canard Valley Estates Subdivision Stormwater Management Pond from "**Residential First Density (R1)**" and "**Residential Type 1A (R1A) Zone**" to "**Special Provision Institutional (I-4) Zone**".
- E/S Front Road North, Town lands for Water Treatment Plant Expansion from "**Light Industrial**" to "**Institutional (I) Zone**".

The proposed Amendments to the Zoning By-law are in conformity with the policies of the Official Plan.

**ADDITIONAL INFORMATION:**

**ANY PERSON** may make written representation in support of or in opposition to the proposed Zoning By-law Amendment by email to the Clerk at [clerk@amherstburg.ca](mailto:clerk@amherstburg.ca) or in person by appointment for drop-off at Town Hall located at 271 Sandwich Street South. Comments must be submitted by 4:00 p.m. on Thursday, April 24, 2025 before the meeting and will be read aloud prior to the application being heard by Council.

**NO PERSON OR PUBLIC BODY** shall be added as a party to the hearing of the appeal unless, before the bylaw was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to add the person or public body as a party.

**IF A PERSON OR PUBLIC BODY** does not make oral submissions at a public meeting, or make written submissions to the Town of Amherstburg before the by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there is reasonable grounds to do so.

---

Information will be gathered in accordance with the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA). All comments and communications received will become part of the public record unless you expressly request the Town to remove it. If you want to learn more about why and how the Town collects your information, write to the Town Clerk's Office, 271 Sandwich Street South, Amherstburg, ON N9V 2A5 or call 519-736-0012.

Further information relating to the proposed Zoning By-law (File# ZBA/07/25) Amendment is available for inspection by calling or emailing the Planning Department Office during normal office hours, 8:30 a.m. to 4:30 p.m. The proposed Zoning By-law Amendment is also available for review on the Town of Amherstburg Website: [www.amherstburg.ca](http://www.amherstburg.ca). If you wish to be notified of the passage of the proposed Zoning By-law Amendment, you must make a written request

to the Town at the address below. The hearing will be available for viewing by livestream by visiting [www.amherstburg.ca](http://www.amherstburg.ca).

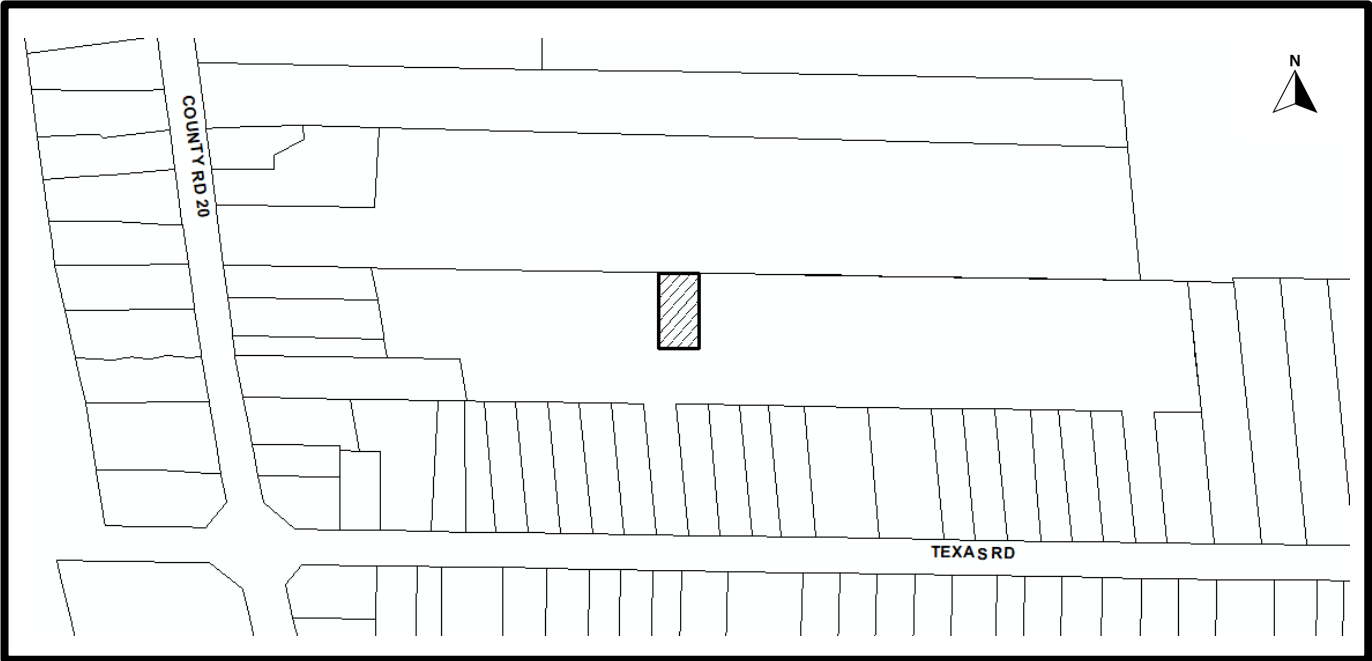
The meeting will be available for viewing by livestream by visiting [www.amherstburg.ca](http://www.amherstburg.ca).

**For Council and Committee Agendas and Meetings, visit [amherstburg.ca/calendar](http://amherstburg.ca/calendar).**  
**To subscribe to Council & Committee Agendas, visit [Amherstburg.ca/calendar](http://Amherstburg.ca/calendar) and click SUBSCRIBE.**

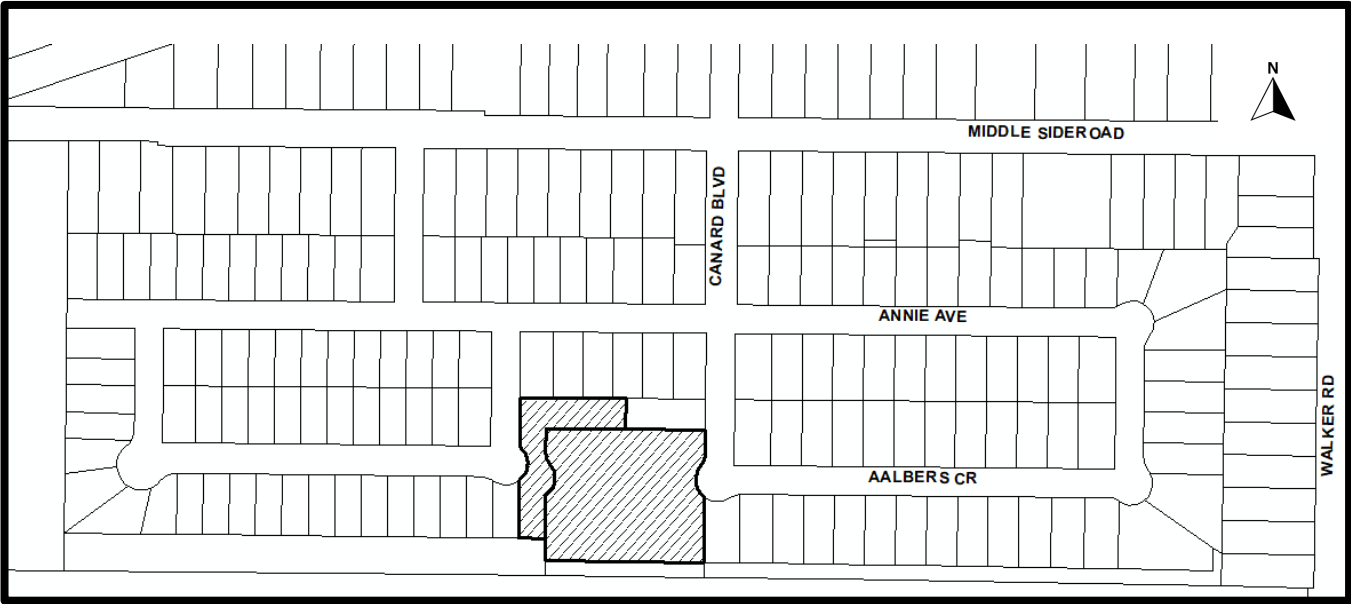
DATED at the Town of Amherstburg this 2<sup>nd</sup> day of April, 2025.

**Key Maps**

Brittany's Gate Subdivision Stormwater Management Pond



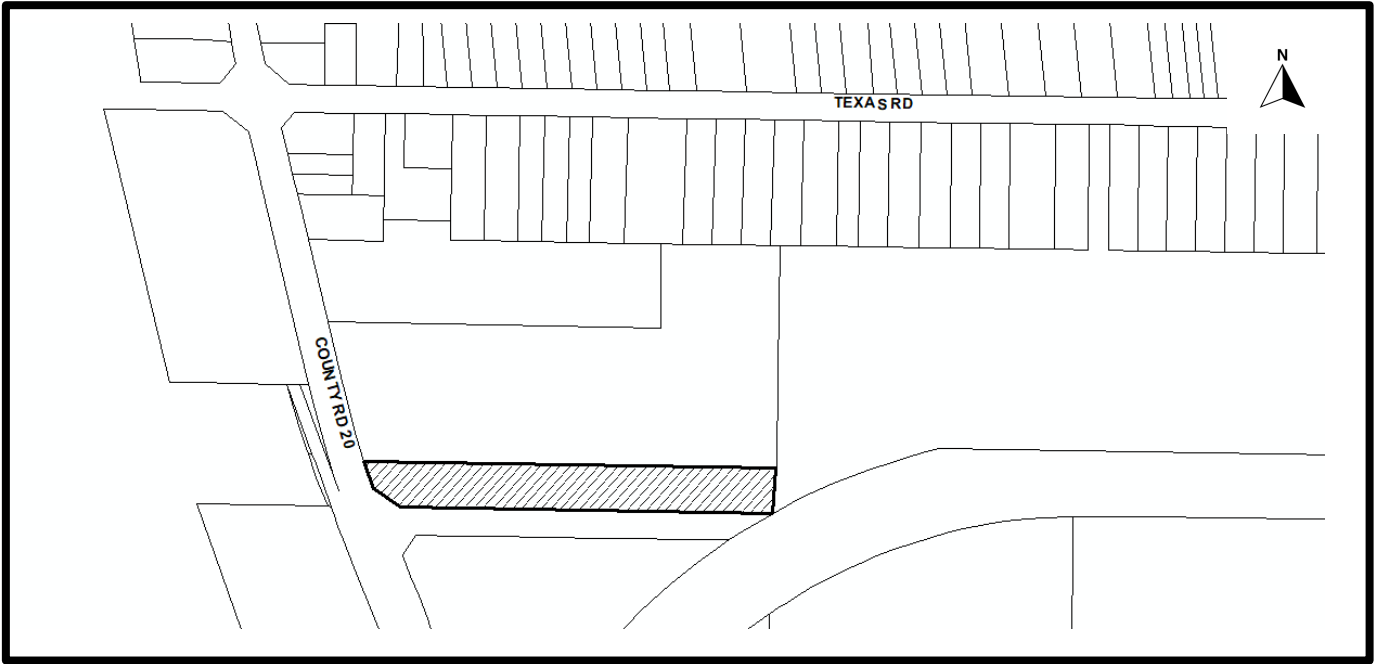
Canard Valley Estates Subdivision Stormwater Management Pond



Information will be gathered in accordance with the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA). All comments and communications received will become part of the public record unless you expressly request the Town to remove it. If you want to learn more about why and how the Town collects your information, write to the Town Clerk's Office, 271 Sandwich Street South, Amherstburg, ON N9V 2A5 or call 519-736-0012.



E/S Front Road North, Town Lands for Water Treatment Plant Expansion



Christopher Aspila  
Manager, Planning Services

Town of Amherstburg  
Libro Centre  
3295 Meloche Road  
Amherstburg, Ontario N9V 2Y8  
Telephone: (519) 736-5408  
Fax No. (519) 736-9859  
Website: [www.amherstburg.ca](http://www.amherstburg.ca)

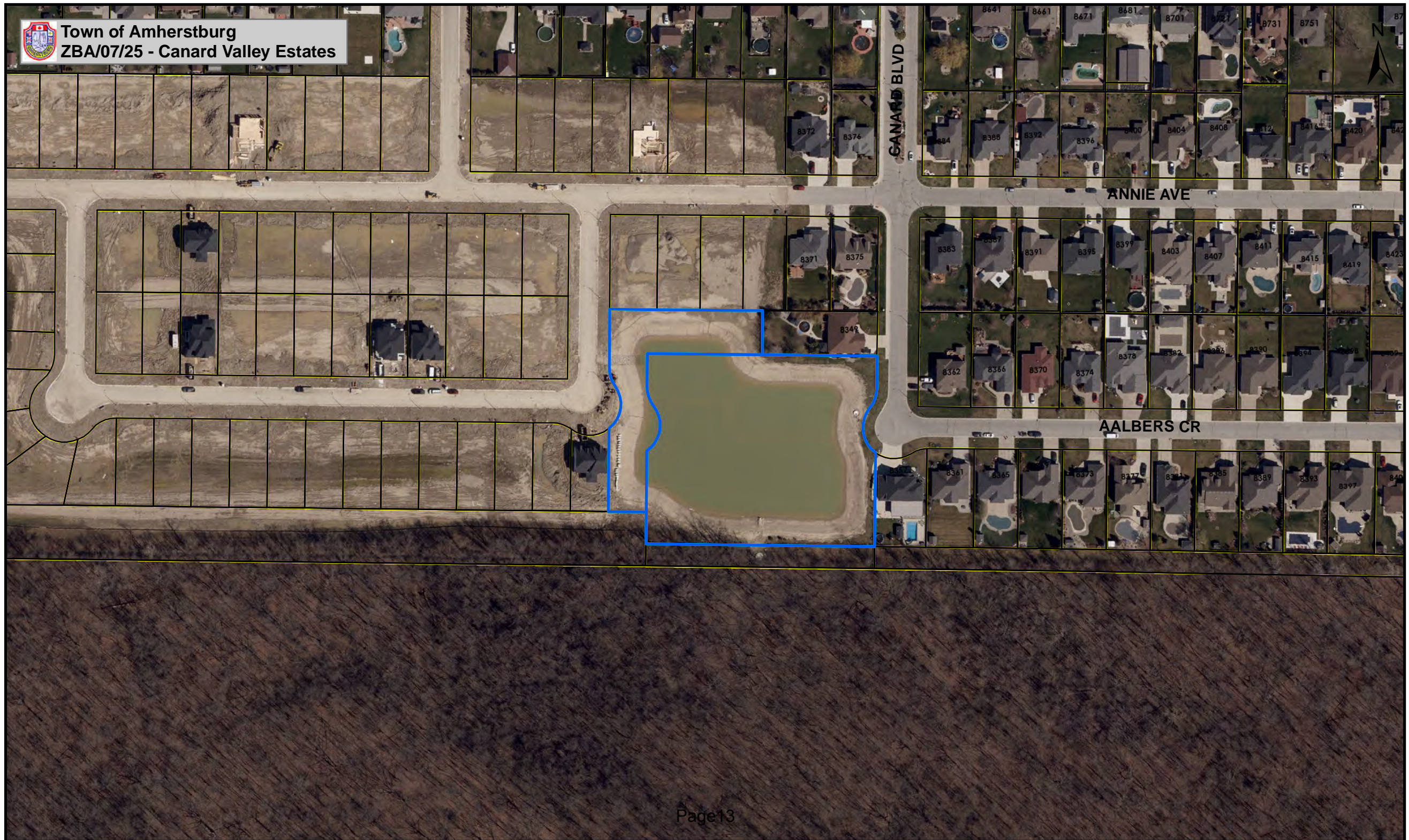




COUNTY RD 20

TEXAS RD









COUNTY RD 20





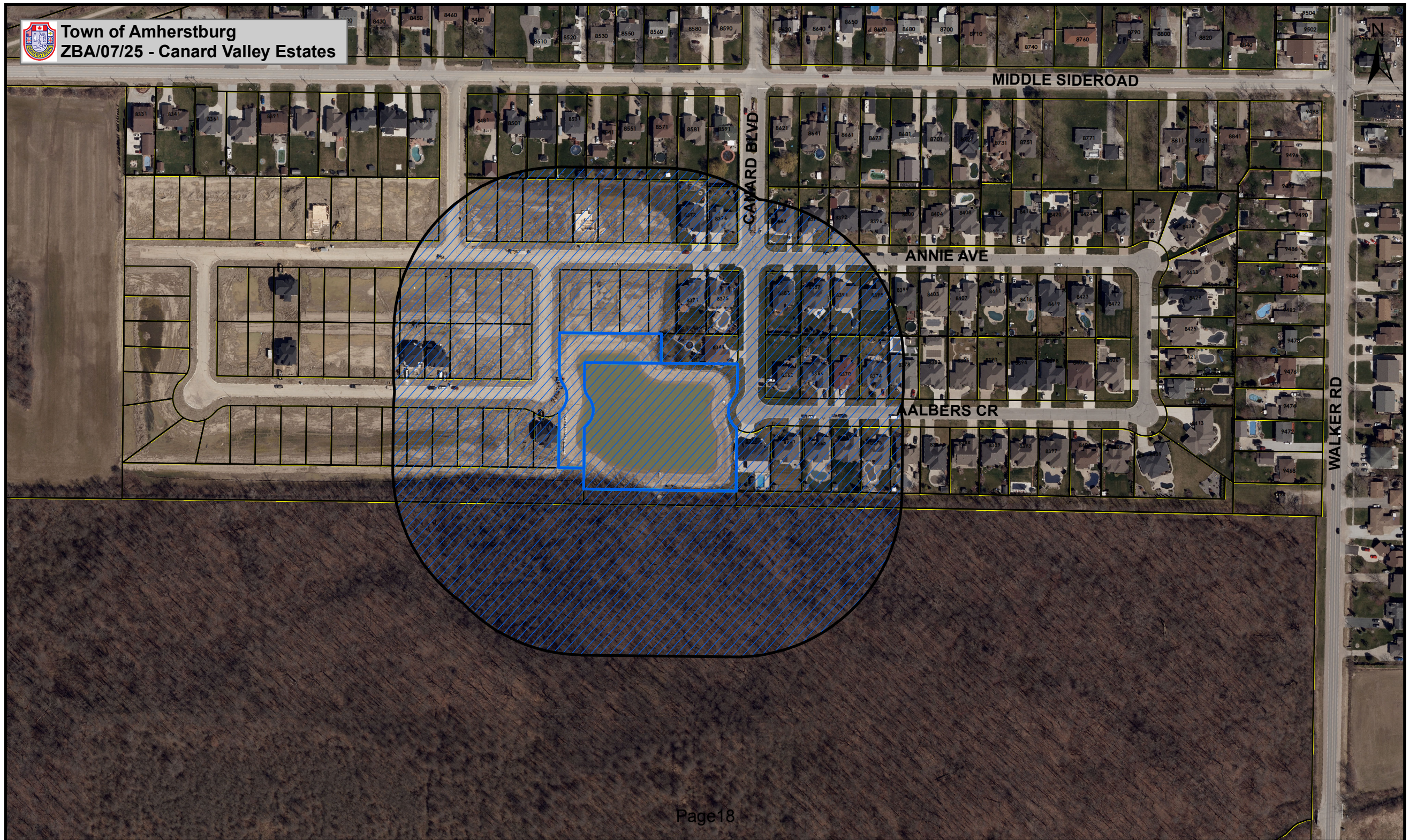


## **120m Circulation List for ZBA/07/25 - Brittany's Gate**

ARN	ADD1	STREETNAME
372942000006000	79	TEXAS RD
372942000006400	47	TEXAS RD
372942000005600	99	TEXAS RD
372942000005900	83	TEXAS RD
372942000006600	39	TEXAS RD
372942000006500	43	TEXAS RD
372942000005000	139	TEXAS RD
372942000007100	11	TEXAS RD
372942000006300	57	TEXAS RD
372942000005200	125	TEXAS RD
372942000005800	89	TEXAS RD
372942000005500	105	TEXAS RD
372942000006200	67	TEXAS RD
372942000005300	119	TEXAS RD
372942000006900	27	TEXAS RD
372942000006800	33	TEXAS RD
372942000007000	17	TEXAS RD
372942000006100	73	TEXAS RD
372942000005700	95	TEXAS RD
372942000004800		FRONT E/S RD N
372942000007050	15	TEXAS RD
372942000005100	131	TEXAS RD
372942000007200	483	FRONT RD N
372942000007450	459	FRONT RD N
372942000006700	35	TEXAS RD
372942000004700	149	TEXAS RD
372942000005400	113	TEXAS RD
372942000019600	543	FRONT RD N
372942000019500	547	FRONT RD N
372942000020300	8	TEXAS RD
372942000020450	16	TEXAS RD
372942000021000	38	TEXAS RD
372942000022800	148	TEXAS RD
372942000020201	497	FRONT RD N
372942000019400	555	FRONT RD N
372942000022700	140	TEXAS RD
372942000020400	12	TEXAS RD
372942000019300	567	FRONT RD N
372942000022900	154	TEXAS RD
372942000020203	499	FRONT RD N
372942000020200	501	FRONT RD N
372942000019700	523	FRONT RD N
372942000019800	519	FRONT RD N

372942000019900	513	FRONT RD N
372942000020000		BRITTANY CRES
372942000020900	34	TEXAS RD
372942000021400	58	TEXAS RD
372942000020800	30	TEXAS RD
372942000020600	22	TEXAS RD
372942000020500	18	TEXAS RD
372942000021200	46	TEXAS RD
372942000022300	114	TEXAS RD
372942000021500	68	TEXAS RD
372942000021600	76	TEXAS RD
372942000022000	102	TEXAS RD
372942000021800	90	TEXAS RD
372942000022200	110	TEXAS RD
372942000023000	158-168	TEXAS RD
372942000022600	132	TEXAS RD
372942000022500	128	TEXAS RD
372942000019550	533	FRONT RD N
372942000020700	26	TEXAS RD
372942000020100	509	FRONT RD N
372942000021300	50-52	TEXAS RD
372942000021700	84	TEXAS RD
372942000021900	96	TEXAS RD
372942000022100	106	TEXAS RD
372942000009250	536	FRONT RD N
372942000009300	540	FRONT RD N
372942000009000	516	FRONT RD N
372942000009200	530	FRONT RD N
372942000009100	520	FRONT RD N
372942000008950	494	FRONT RD N
372942000008900	500	FRONT RD N





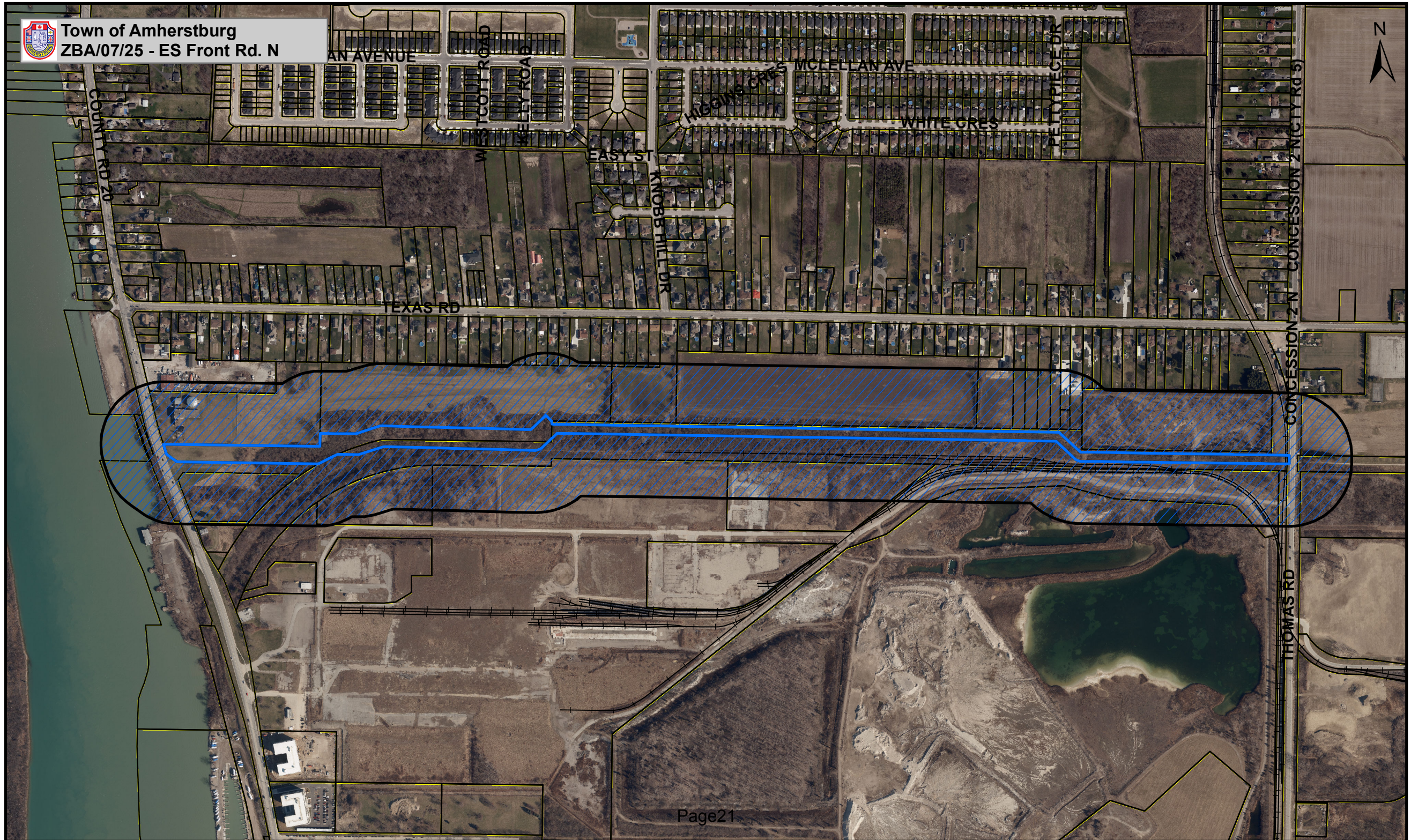


## **120 m Circulation List- ZBA/07/25 - Canard Valley Estates**

ARN	ADD1 STREETNAME
372938000007300	8399 8TH CONCESSION RD
372938000006241	8531 MIDDLE SIDEROAD
372938000006202	8372 ANNIE AVE
372938000006243	8541 MIDDLE SIDE RD
372938000006244	8551 MIDDLE SIDEROAD
372938000006239	8501 MIDDLE SIDEROAD
372938000006246	8581 MIDDLE SIDEROAD
372938000006240	8511 MIDDLE SIDEROAD
372938000009318	AALBERS CRES
372938000006245	8571 MIDDLE SIDEROAD
372938000009020	8371 ANNIE AVE
372938000008966	8357 AALBERS CRES
372938000008968	8349 AALBERS CRES
372938000006345	7366 GARNET CRES
372938000006346	7362 GARNET CRES
372938000006370	GARNET CRES
372938000006371	GARNET CRES
372938000006341	7383 GARNET CRES
372938000006340	7379 GARNET CRES
372938000009058	8508 AALBERS CRES
372938000006339	7375 GARNET CRES
372938000006338	7371 GARNET CRES
372938000006337	7367 GARNET CRES
372938000006336	7363 GARNET CRES
372938000006335	7359 GARNET CRES
372938000006309	8336 ANNIE AVE
372938000006301	8368 ANNIE AVE
372938000006302	8364 ANNIE AVE
372938000006303	8360 ANNIE AVE
372938000006304	8356 ANNIE AVE
372938000006305	8352 ANNIE AVE
372938000006306	8348 ANNIE AVE
372938000006307	8344 ANNIE AVE
372938000006308	8340 ANNIE AVE
372938000006369	8367 ANNIE AVE
372938000006368	8363 ANNIE AVE
372938000006367	8359 ANNIE AVE
372938000006366	8355 ANNIE AVE
372938000006365	8351 ANNIE AVE
372938000006364	8347 ANNIE AVE
372938000006363	8343 ANNIE AVE
372938000006342	7378 GARNET CRES
372938000006343	7374 GARNET CRES

372938000006347	7358	GARNET CRES
372938000006344	7370	GARNET CRES
372938000006362	8339	ANNIE AVE
372938000006361	8335	ANNIE AVE
372938000006360	8331	ANNIE AVE
372938000006247	8591	MIDDLE SIDEROAD
372938000009012	8391	ANNIE AVE
372938000008972	8366	AALBERS CRES
372938000009022	8376	ANNIE AVE
372938000008976	8374	AALBERS CRES
372938000008900	8384	ANNIE AVE
372938000008974	8370	AALBERS CRES
372938000009010	8395	ANNIE AVE
372938000008960	8369	AALBERS CRES
372938000008962	8365	AALBERS CRES
372938000008978	8378	AALBERS CRES
372938000009016	8383	ANNIE AVE
372938000008958	8373	AALBERS CRES
372938000008902	8388	ANNIE AVE
372938000009018	8375	ANNIE AVE
372938000009008	8399	ANNIE AVE
372938000008956	8377	AALBERS CRES
372938000008904	8392	ANNIE AVE
372938000009014	8387	ANNIE AVE
372938000009308		AALBERS CRES
372938000008964	8361	AALBERS CRES
372938000008970	8362	AALBERS CRES







## **120 m Circulation List- ZBA/07/25 - ES Front Rd. N**

ARN	ADD1	STREETNAME
372941000000900	689	TEXAS RD
372941000000010		GREENWAY CRT
372936000000300		THOMAS RD
372942000003300	239	TEXAS RD
000000000000000		
372942000004200	183	TEXAS RD
372942000001900	475	TEXAS RD
372942000000500		CONCESSION 2 N
372942000003200	245	TEXAS RD
372942000008400		FRONT RD N
372942000001800	483	TEXAS RD
372942000008400		FRONT RD N
372942000002000	469	TEXAS RD
372942000007940		FRONT RD N
000000000000000		
372942000002800		TEXAS RD
372942000004800		FRONT E/S RD N
372942000007600		FRONT E/S RD N
372942000000550		FRONT RD N
372942000007601	381	FRONT E/S RD N
372942000007932		FRONT RD N
372942000007900		FRONT RD N
372942000002400	447	TEXAS RD
372942000002300	453	TEXAS RD
000000000000000		
372950000031800		ETR ROADWAY
372942000002788	425	TEXAS RD
372942000002500	441	TEXAS RD
372942000004300	177	TEXAS RD
372942000002600	427	TEXAS RD
372942000007450	459	FRONT RD N
372942000003100	251	TEXAS RD
372942000008800		FRONT RD N
372942000004100	189	TEXAS RD
372942000004000	195	TEXAS RD
372942000003600	221	TEXAS RD
372942000003900	199	TEXAS RD
372942000003400	233	TEXAS RD
372942000003500	227	TEXAS RD
372942000003800	207	TEXAS RD
372942000003700	215	TEXAS RD
372942000008700	415	FRONT RD N
372950000031800		ETR ROADWAY

372942000003000	257	TEXAS RD
372942000008100	395	FRONT RD N
372942000007960		FRONT RD N
372942000002200	459	TEXAS RD
372942000002201		TEXAS RD
372942000002100	465	TEXAS RD



## **Summary of Correspondence Received on Proposed ZBA for Housekeeping, Institutional Zone and Mapping**

Below is a summary of the comments received by the Planning Services Division on ZBA/07/25 since April 14, 2025.

### **Essex Region Conservation Authority:**

See attached letter.

### **Infrastructure Services:**

See attached letter.

### **Windsor Police:**

The Windsor Police Service has no concerns or comments with respect to ZBA/07/25.



2025-04-10

File Number: 0740-25

Dr. Chris Aspila, Town of Amherstburg  
Town of Amherstburg Libro Centre  
Amherstburg, ON  
N9V 2Y8

RE: Housekeeping By-law  
Entire Town of Amherstburg  
Municipal File Number: ZBA-07-25

The Town of Amherstburg is proposing Zoning By-law Amendment ZBA-07-25, which pertains to the entire Municipality. The proposed Amendment contains both items that are general in nature and applies to various properties throughout the Town of Amherstburg and items that are mapping changes to specific parcels of land.

This rezoning, if approved, will add a definition for stormwater management pond and amend the definition of water system, public to ensure both of these permitted uses have appropriately defined terminology in the Town's Zoning By-law. The amendment also proposes to add water system to the permitted uses in the Institutional Zone which is currently not listed in any zone. This Zoning Amendment, if approved, will also rezone the following subject lands;

- Brittany's Gate Subdivision Stormwater Management Pond from "Residential Type 1A (R1A) Zone" to "Special Provision Institutional (I-4) Zone".
- Canard Valley Estates Subdivision Stormwater Management Pond from "Residential First Density (R1)" and "Residential Type 1A (R1A) Zone" to "Special Provision Institutional (I-4) Zone".
- E/S Front Road North, Town lands for Water Treatment Plant Expansion from "Light Industrial" to "Institutional (I) Zone".

The proposed Amendments to the Zoning By-law are in conformity with the policies of the Official Plan.

## **NATURAL HAZARDS AND REGULATOR RESPONSIBILITIES UNDER THE CONSERVATION AUTHORITIES ACT. O. REG 686/21**

The following comments reflect ERCA's role in protecting people and property from the threats of natural hazards and regulating development hazards lands under Section 28 of the Conservation Authorities Act.

We note than in general, lands subject to our Regulation under the Conservation Authorities Act (Ontario Regulation No. 41/24) require an approval from our office prior to any construction or site alteration or other activities affected by Section 28 of the Conservation Authorities Act.

Our office understands that the following definition is proposed to be created under ZBA-07-25:



"A stormwater management facility is an engineered structure comprised of a stormwater management pond and associated appurtenances constructed to gather rainfall and surface water runoff, to temporarily hold water and to release stormwater runoff slowly. A stormwater management pond may be in the form of a wet or dry pond."

Our office recommends the addition of "or underground storage units" to this definition as noted below:

"A stormwater management facility is an engineered structure comprised of a stormwater management pond and associated appurtenances constructed to gather rainfall and surface water runoff, to temporarily hold water and to release stormwater runoff slowly. A stormwater management pond may be in the form of a wet or dry pond, or underground storage units."

## **FINAL RECOMMENDATION**

Our office has no objection to ZBA-07-25. As noted above, we recommend the addition of "underground storage units" to the definition of "stormwater management facility".

Sincerely,

*Alicia Good*

Alicia Good  
Watershed Planner



**CORPORATION OF THE TOWN OF AMHERSTBURG  
BY-LAW NO. 2025-032**

**By-law to amend Zoning By-law No. 1999-52**

---

**WHEREAS** By-law 1999-52, as amended, is a land use control by-law regulating the use of lands and the character, location and use of buildings and structures within the Town of Amherstburg;

**AND WHEREAS** the Council of the Town of Amherstburg deems it appropriate and in the best interest of proper planning to amend By-law 1999-52, as herein provided;

**AND WHEREAS** this By-law conforms to the Official Plan for the Town of Amherstburg;

**NOW THEREFORE** the Council of the Corporation of the Town of Amherstburg enacts as follows:

1. THAT Section 2 of By-law 1999-52, as amended is hereby amended by adding the following definition in the correct alphabetical order:

*“STORMWATER MANAGEMENT FACILITY” shall mean a stormwater management facility is an engineered structure comprised of a stormwater management pond and associated appurtenances constructed to gather rainfall and surface water runoff, to temporarily hold water and to release stormwater runoff slowly. A stormwater management pond may be in the form of a wet or dry pond, or underground storage units.*

2. THAT Section 2 of By-law 1999-52, as amended is hereby amended by replacing definition (361) with the following:

*“WATER SYSTEM” shall mean a water distribution system consisting of piping, pumping and purification appurtenances and related storage.*

3. THAT Section 24(2) of By-law 1999-52, as amended is hereby amended by adding the following use to the list of Institutional uses permitted:

*(xiv) water system.*

4. THAT Section 24(4)(d)(i) of By-law 1999-52, as amended is hereby amended by replacing the permitted use of “stormwater management pond” with “stormwater management facility”.

5. Schedule “A”, Map 19 of By-law 1999-52, as amended, is hereby amended by changing the zone symbol on those lands shown as “Zone Change from R1A to I-4” on Schedule “A” attached hereto and forming part of this By-law from “Residential Type 1A (R1A) Zone” to “Special Provision Institutional (I-4) Zone”.

6. Schedule “B”, Map 27 of By-law 1999-52, as amended, is hereby amended by changing the zone symbol on those lands shown as “Zone Change from R1 and R1A to I-4” on Schedule “A” attached hereto and forming part of this By-law from “Residential First Density (R1) Zone” and “Residential Type 1A (R1A) Zone” to “Special Provision Institutional (I-4) Zone”.

7. Schedule “C”, Map 28 of By-law 1999-52, as amended, is hereby amended by changing the zone symbol on those lands shown as “Zone Change from LI to I” on Schedule “A” attached hereto and forming part of this By-law from “Light Industrial (LI) Zone” to “Institutional (I) Zone”.

8. THIS By-law shall take effect from the date of passage by Council and shall come into force in accordance with Sections 34 of the Planning Act, R.S.O. 1990, c.P. 13.

Read a first, second and third time and finally passed this 12<sup>th</sup> day of May, 2025.

---

MAYOR- MICHAEL PRUE

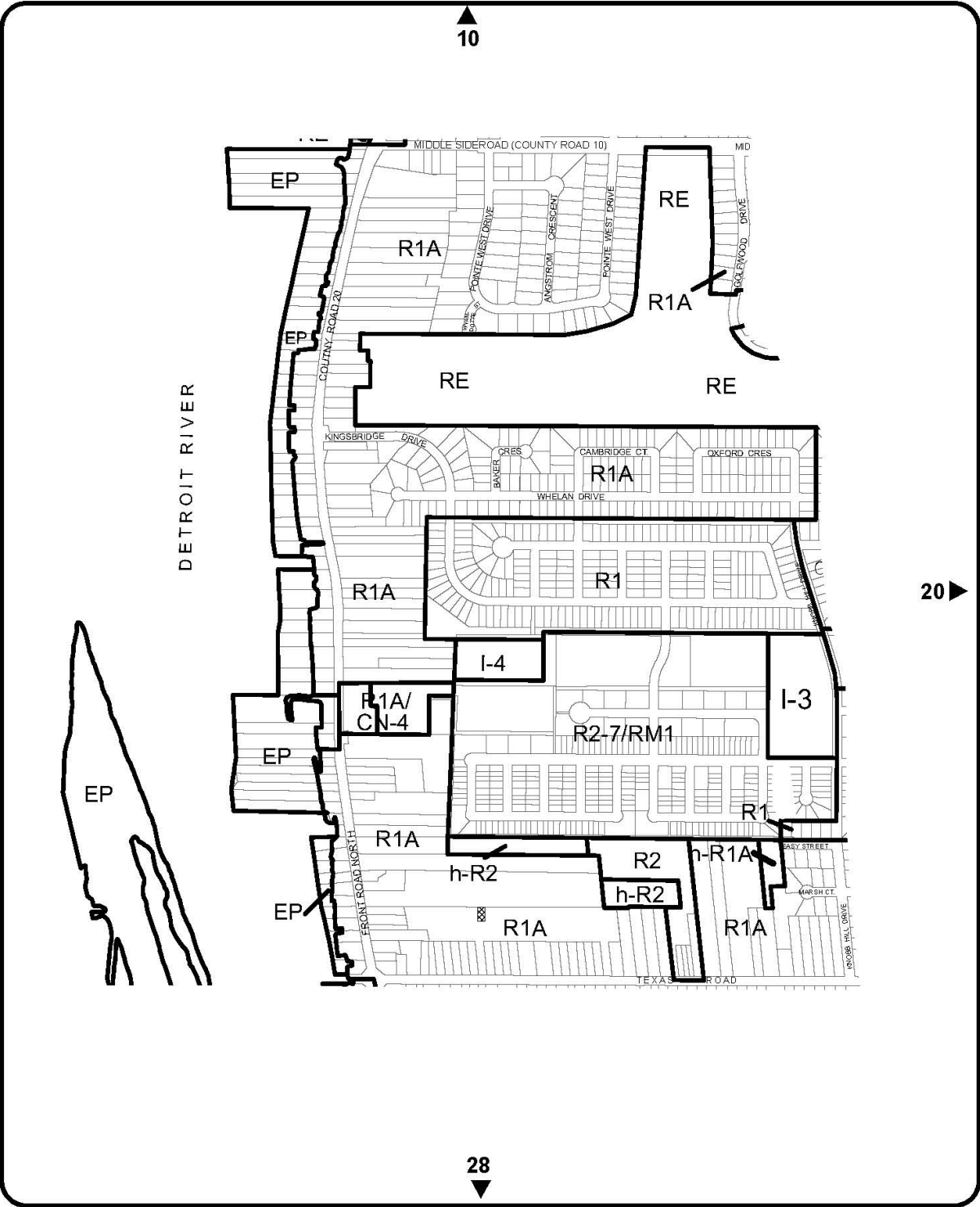
---

CLERK- KEVIN FOX

DRAFT

TOWN OF AMHERSTBURG

SCHEDULE "A" TO BY-LAW No. 2025-032  
BY-LAW TO AMEND BY-LAW No. 1999-52

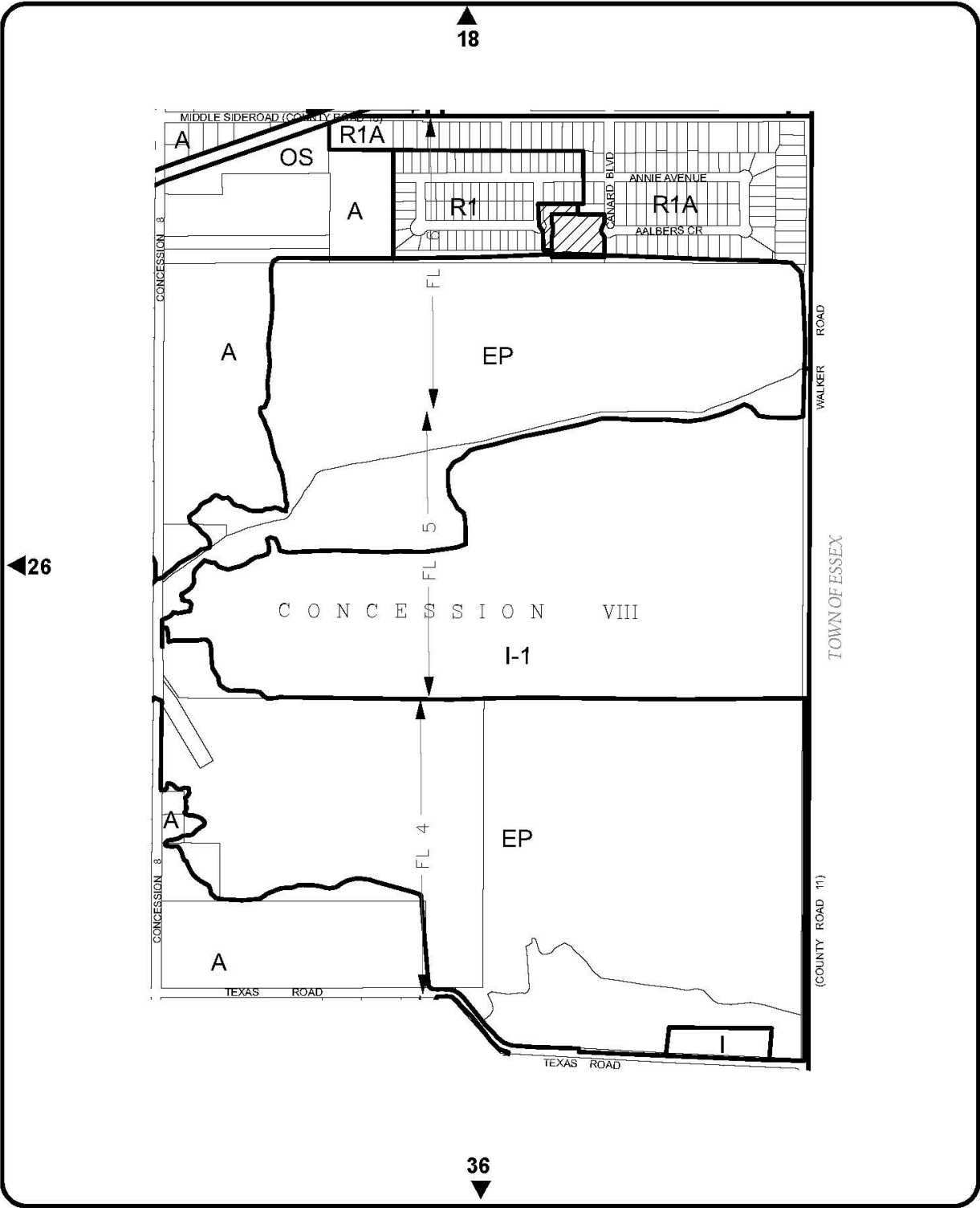


SCHEDULE 'A'  
MAP 19  
ZONING BY-LAW NO. 1999-52

R1A to I-4 

TOWN OF AMHERSTBURG

SCHEDULE "B" TO BY-LAW No. 2025-032  
BY-LAW TO AMEND BY-LAW No. 1999-52



SCHEDULE 'A'  
MAP 27  
ZONING BY-LAW NO. 1999-52

R1 & R1A to I-4 

SCHEDULE "C" TO BY-LAW No. 2025-032  
BY-LAW TO AMEND BY-LAW No. 1999-52

LI to I 



## THE CORPORATION OF THE TOWN OF AMHERSTBURG

### OFFICE OF DEVELOPMENT SERVICES

***Mission Statement:*** As stewards of the Town of Amherstburg, we strive to improve the quality of life of all residents through the delivery of effective, efficient, and affordable services.

<b>Author's Name:</b> Christopher Aspila	<b>Report Date:</b> April 14, 2025
<b>Author's Phone:</b> 519 736-5408 ext. 2124	<b>Date to Council:</b> April 29, 2025
<b>Author's E-mail:</b> caspila@amherstburg.ca	<b>Resolution #:</b>

**To:** Mayor and Members of Town Council

**Subject:** Statutory Public Meeting for an Official Plan Amendment (OPA #27) and Zoning By-law Amendment (ZBA-24-24) – 130 Sandwich Street South

---

#### **1. RECOMMENDATION:**

It is recommended that:

1. Following the receipt of updated engineering studies prepared to the satisfaction of the Director of Infrastructure Services, comments from the public, municipal departments, agencies and Council with respect to the proposed Official Plan Amendment and Zoning By-law Amendment for lands municipally known as 130 Sandwich Street South (Files OPA #27 and ZBA-24-24) **BE RECEIVED and SUMMARIZED** in a future report to Council.

#### **2. BACKGROUND:**

The Town is in receipt of applications for an Official Plan Amendment to the Town of Amherstburg Official Plan, as amended and a Zoning By-law Amendment to By-law 1999-52, as amended, from Valente Development via Agent Pillon Abbs Inc. c/o Tracey Pillon-Abbs (see Appendix 'A' and Appendix 'B'). The subject lands are located on the west side of Sandwich Street South, north of and excluding Bill Wigle Park, the former site of General Amherst High School, municipally known as 130 Sandwich Street South. **It is noted with emphasis that neither Bill Wigle Park, nor any municipal buildings, are part of these two Planning Act applications before Council.**

The Applicant held an Applicant-led Open House at the Libro Centre, 3295 Meloche Road in Amherstburg from 5:00pm to 7:00pm on March 20, 2025 in response to a request from Development Services per section 7.16 and subsections of the Town of Amherstburg Official Plan. 81 residents signed into the Open House. An Open House Summary

Report is attached as Appendix 'D' to this report. Notice of the Open House and copies of comments received are attached as Appendix 'E' to this report.

The effect of the proposed Official Plan Amendment will be to change the designation of the subject lands from "Institutional" to "General Commercial – Special Policy Area 25". The General Commercial – Special Policy Area 25 designation would allow for commercial, residential and institutional uses on the subject lands and additionally allow for development of an 8 storey mixed-use tower and an 11 storey mixed-use tower.

The effect of the proposed Zoning By-law amendment will be to change the zoning of the subject lands from "Institutional (I) Zone" to "Commercial General – Special Provision 21 (CG-21)". The CG-21 zoning would allow for commercial, residential and institutional uses with the following relief from By-law 1999-52 provisions to allow for development of an 8 storey mixed-use tower and an 11 storey mixed-use tower. Details of the development proposal are included in Appendix 'C'.

The current Institutional Official Plan designation and Zoning do not permit the development of residential nor commercial uses on the subject lands and restrict development to a maximum height of 10 metres.

### **3. DISCUSSION:**

#### **Provincial Planning Statement (2024)**

A new Provincial Planning Statement (PPS) came into effect on October 20, 2024 that replaced the Provincial Policy Statement that came into effect on May 1, 2020. It is acknowledged that the PPS contains a chapter titled: "Building Homes, Sustaining Strong and Competitive Communities" that includes policies on several topics including "Planning for People and Homes", "Housing" and "Settlement Areas and Settlement Area Boundary Expansions". The PPS also contains a chapter titled "Infrastructure and Facilities" that includes policies on several topics including "General Policies for Infrastructure and Public Service Facilities", "Transportation Systems", and "Sewage, Water and Stormwater". Additionally, the PPS contains a chapter titled "Wise Use and Management of Resources" that includes policy on the topic of "Cultural Heritage and Archaeology". Furthermore, the PPS contains a chapter titled "Implementation and Interpretation" that includes policies about "General Policies for Implementation and Interpretation" and "Coordination". A comprehensive review of the proposed development in the context of the PPS to determine consistency will be provided in a future report to Council, should council support the recommendation in section 1 of this report.

#### **County of Essex Official Plan**

The County of Essex Official Plan in effect at the time of these Applications is the 2014 version. It is noted that County Council has adopted the 2024 version of the County of Essex Official Plan and the 2024 version is still pending approval from the Ministry of Municipal Affairs and Housing. These applications will be evaluated in the context of the 2014 version as part of a future report to Council as the proposed amendment to the Town of Amherstburg Official Plan must conform with the County of Essex Official Plan.

#### **Town of Amherstburg Official Plan**

The subject lands are designated as Institutional in the Town of Amherstburg Official Plan (TOP).

Section 4.6 of the TOP states:

The Institutional classification of land shall mean that the predominant use of the land so designated shall be for uses which exist for the benefit of the residents of Amherstburg and which are operated by the municipality or other public organization for this purpose.

The general principles to be considered in the development and control of the use of such land are as follows:

The uses permitted shall include educational facilities including public, separate, and private schools, places of worship, other civic and institutional uses such as fire halls, police stations, libraries and similar uses, public and private open space areas, active and passive recreation facilities, and community facilities are also included within the Institutional designation. In addition, municipal and private utility works such as water towers, sewage treatment facilities, telephone and gas utility operating facilities, and similar uses are also permitted uses.

Section 4.4.2 of the TOP states:

The uses permitted in the General Commercial designation shall include those commercial establishments offering goods and services which primarily serve the whole of the municipality's market area and shall include such uses as retail commercial establishments, places of entertainment, assembly halls, eating establishments, hotels, motels, community facilities, public uses, recreational uses, convenience stores whether in the form of individual stores or in a shopping centre form of construction and/or ownership, and residential uses above the first floor.

Multi-family residential development will be considered as an alternative form of land use on lands designated General Commercial. Unless otherwise specified, the height of multi-family residential development within the General Commercial designation shall be limited to 5 story's and unless a site-specific zoning by-law states otherwise, residential units will not occupy the first floor abutting Richmond Street or Dalhousie Street.

In order to ensure compatibility with the Heritage Residential area abutting the General Commercial designation in the Central Business District, development on the east side of Dalhousie Street and/or on the south side of Murray Street shall be limited to only Medium Density Residential development with access restricted to Dalhousie Street and/or Murray Street and height restricted to three stories. Properties along the west side of Dalhousie Street within the General Commercial Designation may be considered for a High-Density Residential development. Height, however, would be restricted to a maximum of five stories. Public participation meetings would be held as part of any site plan reviews for multi-family developments.



Hotels and multi-family residential development within the Sandwich Street corridor (County road 20) of the General Commercial designation may have heights of up to eight stories.

Retail uses requiring large enclosed or open storage areas such as, but not limited to, building supplies, warehouse outlets, food stores, and catalogue stores servicing domestic customers, may locate within the General Commercial designation located on Sandwich Street north of Alma Street or south of Park Street.

Recreational uses, automobile service stations and automobile sales and service agencies, car washes, agencies for recreational vehicles, motels, drive-through restaurants or other drive through establishments shall be restricted to locations on Sandwich Street north of Alma Street or South of Pike Street or on Simcoe Street.

Adequate buffer planting shall be provided between the commercial use and any adjacent residential areas and such buffer planting may include provisions for grass strips, berms, screening and appropriate planting of trees and shrubs, or distance, and all development will be subject to Site Plan Control and any lighting or signs shall be designed and arranged so as to be as least distracting as possible to adjoining residential uses. Every effort will be made to reduce the number of driveway entrances along Arterial Roads by ensuring that, wherever possible, mutual driveway entrances serving two or more lots or developments are provided or planned for through Site Plan Control.

Adequate parking facilities shall be provided for all permitted uses and access to such parking shall be designed in a manner that will minimize the danger to both vehicular and pedestrian traffic. Section 40 of the Planning Act R.S.O. 1990 c. P.13, provides the Town of Amherstburg with the right to allow property owners to make payment in lieu of parking spaces required by the Zoning By-Law. Section 40 allows the Town to collect money which can then be used to provide municipal parking within the area. Under such a policy the Town may exempt part or all of the parking space requirement of the Zoning By-Law in return for a cash payment. The amount of the payment will change over time as it is to be based on land costs in the vicinity of the development site. This policy of payment in lieu does not guarantee that parking will be provided near the given development to be exempt from their parking requirements. Only if the Town can satisfy itself that parking on site is not necessary and that the Town can supply sufficient parking within a reasonable distance from the site will exemptions be applied. See Subsection 6.2.5 for additional policies regarding downtown revitalization for a portion of the General Commercial designation.

When applying the payment in lieu option the Town Council shall enter into an agreement exempting the owner or occupant, to whatever extent deemed appropriate, from the requirement of the Zoning By-Law to provide parking. Money received should be placed into a special account and the agreement registered against the land. Payment in lieu will only be considered within the General Commercial land use category. New residential developments should attempt to include all required tenant parking on site, however, the residential standards of the Zoning By-Law may be significantly reduced within the zones

applied to the General Commercial area to encourage intensification and redevelopment that is deemed to have a positive impact on the downtown area. Some minor adjustments may be considered for conversion to residential of upper floors of existing commercial buildings. Caution will be used in considering payment in lieu for high traffic generators such as medical buildings, clinics, restaurants, convenience stores, banks and taverns.

Evaluation of a site as suitable for payment in lieu must carefully assess the effect the number of spaces required will have on the feasibility of the development, the availability of parking in the area, the opportunity or viability of ever providing parking in the area and the resulting cumulative effect of applying the payment in lieu policy and whether or not the opportunity to achieve a desirable development can occur without creating a significant parking deficiency. A parking fund shall be established from cash-in-lieu of parking spaces received from Commercial development in the General Commercial Area.

Within the General Commercial designation abutting Richmond Street, west of Sandwich Street and within the General Commercial designation abutting Dalhousie Street, south of Richmond Street to Gore Street, commercial development shall not be required to provide parking spaces resulting from a change in use or redevelopment of a site. Residential development within this portion of the General Commercial designation may also have reduced parking requirements in the implementing Zoning By-law. No loading spaces shall be required for this portion of the General Commercial designation. Should Council consider it appropriate, development application fees and building permit fees may be waived or reduced within this area of the Town.

Within the General Commercial designation abutting Sandwich Street, limited front yard parking may be permitted if sufficiently buffered by landscaped open space and setbacks. Implementing zoning regulations may set out different standards for different portions of this designation based on the existing development pattern.

The general location of the General Commercial areas shall be in accordance with Schedules "A" and "B".

Any public works or private redevelopment within the area should take into account the Heritage Policies and Downtown Revitalization Policies of this Plan and should implement any applicable portion.

The General Commercial lands may be placed in separate zoning classifications in the implementing Zoning By-Law.

The proposed Official Plan Amendment will allow for a special provision that allows for the commercial development and including the proposed 8 storey and 11 storey mixed-towers and provides an option for the proponent to have the opportunity to request of Council for cash-in-lieu of parking spaces for portions of the commercial component of the development if they choose to do so.

A comprehensive review of the applications in the context of the TOP will be provided in a future report to Council.

## **Town of Amherstburg Zoning By-law 1999-52**

The subject lands are zoned Institutional (I) in Zoning By-law 1999-52. The following uses are permitted in the “I” Zone:

No person shall within any I Zone, use any lot or erect, alter or use any building or structure for any purpose except one or more of the following I uses, namely:

- (i) cemeteries;
- (ii) colleges;
- (iii) day nurseries;
- (iv) government buildings;
- (v) hospitals;
- (vi) marina;
- (vii) manse;
- (viii) museums;
- (ix) nursing home;
- (x) parks;
- (xi) places of worship;
- (xii) recreational facilities owned and operated by a public authority;
- (xiii) schools.

The following are the zone requirements for the “I” Zone:

No person shall within any I Zone, use any lot or erect, alter or use any building or structure except in accordance with the following provisions:

(a) Lot Area (Minimum)	No minimum
(b) Lot Frontage (Minimum)	No minimum
(c) Front Yard Depth (Minimum)	15 m
(d) Interior Side Yard Width (Minimum)	10 m
(e) Exterior Side Yard Width (Minimum)	15 m
(f) Rear Yard Depth (Minimum)	10 m
(g) Lot Coverage (Maximum)	50%
(h) Landscaped Open Space (Minimum)	30%
(i) Height of Building (Maximum)	10m

The proposed amendment would allow for commercial, residential and institutional uses with the following relief from By-law 1999-52 provisions to allow for development of an 8

storey mixed-use tower and an 11 storey mixed-use tower. Parking requirements for the proposed development will need to be in conformity with the General Provisions of By-law 1999-52 once the uses are confirmed and may be subject to the Cash-In-Lieu of Parking policies of the TOP.

## **Summary of Discussion**

The purpose of this Statutory Public Meeting is to provide an opportunity for the applicant to present information and outline the purpose of the application to Council and to hear all comments regarding the proposed Official Plan Amendment and Zoning By-law Amendment. As Council is aware, notice for the proposed re-zoning was circulated in accordance to the provisions of the Planning Act. As of the preparation of this report, a number of comments were received by the Town. A summary of the comments is attached to this report as Appendix "I".

Following this public meeting, staff will review all of the comments submitted as part of this application, including the Applicant-led Open House and prepare a report for a subsequent Council meeting. The second staff report will summarize all of the comments received and make recommendation(s) regarding the proposed rezoning and any applicable conditions if required. Additional analysis of planning policy will be provided in the follow-up report to Council with a staff recommendation.

Should the OPA and ZBA applications be approved and the development move forward, it will be subject to the Site Plan Control process and the proponent will be required to provide material and information that Administration deem necessary for a complete Site Plan Control Application. It is noted that Infrastructure Services does not support the ZBA Application as the engineering studies such as the Traffic Impact Study, Functional Servicing Study and Stormwater Management Report are insufficient at this time as discussed in the letter included in Appendix 'L'. It is further noted that at time of the Site Plan Control Application, one or more of the engineering studies may require updating or re-doing based on the specifics of the development proposed.

### **4. RISK ANALYSIS:**

The recommendation presents little to no risk to the municipality.

### **5. FINANCIAL MATTERS:**

All costs associated with the application are the responsibility of the applicant. Should the decision be appealed to the Ontario Land Tribunal then the Town will incur costs.

### **6. CONSULTATIONS:**

The Notice of Public Meeting was published in the local newspaper and on the Town website and circulated to the required agencies, property owners and municipal departments in accordance with the requirements of the Planning Act, R.S.O. 1990, c.P. 13 and associated regulations.

It is noted that Infrastructure Services does not support the proposed Zoning By-law Amendment Application at this time and is requesting additional material and information for the engineering studies provided in the applications.

## 7. CORPORATE STRATEGIC ALIGNMENT:

*Vision: Preserving our past while forging our future.*

<i>Amherstburg Community Strategic Plan 2022 - 2026</i>	
<p><b>PILLAR 1</b> <b>Deliver Trusted &amp; Accountable Local Government</b></p> <ul style="list-style-type: none"> <li>✓ Improve trust between council and staff, and residents, by strengthening governance and internal accountability structures.</li> <li><input type="checkbox"/> Deliver transparent and efficient financial management.</li> <li>✓ Increase effective communication and engagement with residents.</li> <li><input type="checkbox"/> Develop our staff team, resources, and workplace culture.</li> <li>✓ Continue to deliver strong core municipal services.</li> <li>✓ Ensure Amherstburg is an inclusive accessible and welcoming community committed to reconciliation.</li> </ul>	<p><b>PILLAR 3</b> <b>Encourage Local Economic Prosperity</b></p> <ul style="list-style-type: none"> <li>✓ Encourage development of commercial and industrial lands.</li> <li>✓ Continue to promote local tourism industry, especially overnight accommodation.</li> <li>✓ Continue to facilitate downtown development for residents and visitors.</li> <li><input type="checkbox"/> Continue to leverage partnership opportunities with other provincial, federal, and local governments, agencies, and organizations.</li> </ul>
<p><b>PILLAR 2</b> <b>Invest in Community Amenities and Infrastructure</b></p> <ul style="list-style-type: none"> <li>✓ Maintain safe, reliable and accessible municipal infrastructure and facilities.</li> <li><input type="checkbox"/> Increase access to recreation opportunities for all ages.</li> <li><input type="checkbox"/> Finalize and execute plans for town-owned lands (e.g. Duffy's site, Belle Vue)</li> <li><input type="checkbox"/> Create public access to water and waterfront</li> <li><input type="checkbox"/> Prioritize opportunities to reduce environmental impacts of Town operations and increase Town resilience to climate change.</li> </ul>	<p><b>PILLAR 4</b> <b>Shape Growth Aligned with Local Identity</b></p> <ul style="list-style-type: none"> <li>✓ Define and communicate a vision for the Town's future and identity.</li> <li><input type="checkbox"/> Promote and plan for green and "climate change ready" development.</li> <li><input type="checkbox"/> Review and implement policies that promote greater access to diverse housing.</li> <li>✓ Protect the Town's historic sites and heritage.</li> <li><input type="checkbox"/> Preserve the Town's greenspaces, agricultural lands, and natural environment.</li> </ul>

## 8. CONCLUSION:



Based on the comments of Infrastructure Services for the Zoning By-law Amendment Application the timing of bringing a report back to Council for a decision on these applications will depend on the provision of the updated studies.

Following analysis of the requested updated studies, planning staff will be preparing a subsequent report for Council that will include a comprehensive analysis of all of the comments and recommendations received, and will provide a professional planning opinion and a staff recommendation with respect to the requested zoning by-law amendment.



---

Christopher Aspila  
**Manager of Planning Services**

## Report Approval Details

Document Title:	Statutory Public Meeting for an Official Plan Amendment and Zoning By-law Amendment - 130 Sandwich Street South.docx
Attachments:	<ul style="list-style-type: none"><li>- Appendix 'A' - OPA 27 Application - 130 Sandwich St_Redacted-RM.pdf</li><li>- Appendix 'B' - ZBA Application - 130 Sandwich St_Redacted-RM.pdf</li><li>- Appendix 'C' - PJR Amherst FINAL V5.pdf</li><li>- Appendix 'D' - Open House Report V2.pdf</li><li>- Appendix 'E' - Notice of Applicant Led Open House and Comments Received REDACTED.pdf</li><li>- Appendix 'G' - M24-290 GENERAL AMHERST FSR and SWM CONCEPT 07 APR 2025.pdf</li><li>- Appendix 'H' - 25029 ltr_01 Facade Assessment.pdf</li><li>- Appendix 'I' - Aerial Map-RM.pdf</li><li>- Appendix 'J' - Buffer Map-RM.pdf</li><li>- Appendix 'K' - Notice of SPM OPA ZBA 130 Sandwich St April 29 2025-RM.pdf</li><li>- Appendix 'L' - Summary of Correspondence Received on OPA27 Zba-24-24-RM.pdf</li><li>- Appendix 'M' - Design Concept.pdf</li></ul>
Final Approval Date:	Apr 16, 2025

This report and all of its attachments were approved and signed as outlined below:



Melissa Osborne

**No Signature found**

Antonietta Giofu



Tracy Prince

A handwritten signature in cursive script, reading "Valerie Critchley".

Valerie Critchley

A handwritten signature in cursive script, reading "Kevin Fox".

Kevin Fox



Existing land use policy to be deleted or amended \_\_\_\_\_

\_\_\_\_\_

Land use policy to be added \_\_\_\_\_

\_\_\_\_\_

Purpose of new or amended land use policy \_\_\_\_\_

\_\_\_\_\_

New land uses permitted by change in land use policy \_\_\_\_\_

\_\_\_\_\_

Text of proposed land use policy change being applied for \_\_\_\_\_

\_\_\_\_\_

(use a separate sheet of paper if necessary)

10. Current land use of abutting property:

North Residential

South Recreation (parkland)

East Commercial and residential

West Residential and open space (parkland)

11. Does the requested amendment alter all or any part of the boundary of an area of settlement in the municipality or establish a new area of settlement in the municipality?

☐ Yes ☒ No

If yes, state the current official plan policies, if any, dealing with the alteration or establishment of an area of settlement.

\_\_\_\_\_

\_\_\_\_\_

12. Type of water supply:

☒ municipally owned and operated piped water supply

☐ well

☐ Other (specify) \_\_\_\_\_

13. Type of sanitary sewage disposal:

☒ municipally owned and operated sanitary sewers

☐ septic system

☐ Other (specify) \_\_\_\_\_

If the requested amendment permits development on a privately owned and

operated individual or communal septic system and more than 4,500 litres of effluent will be produced per day as a result of the development being completed the applicant is required to submit a:

- (i) servicing options report, and
- (ii) a hydrogeological report

14. Type of storm drainage:

- ☒ sewers
- ☐ ditches
- ☐ swales
- ☐ Other (specify) \_\_\_\_\_

15. Please indicate whether the subject land or any land within 120 metres of the subject land is the subject of an application made by the applicant for approval of one of the following:

Unknown

- ☐ an official plan amendment
- ☐ a zoning by-law amendment
- ☐ a Minister=s zoning order amendment
- ☐ a minor variance
- ☐ a plan of subdivision
- ☐ a consent
- ☐ a site plan

Please provide the following with respect to the application(s):

File number \_\_\_\_\_

Name of the approval authority \_\_\_\_\_

Lands affected \_\_\_\_\_

Purpose \_\_\_\_\_

Status \_\_\_\_\_

Effect on the amendment proposed by this application \_\_\_\_\_

\_\_\_\_\_

16. Does the requested amendment remove the subject land from an area of employment in the official plan?

- ☐ Yes
- ☒ No

If yes, state the current official plan policies, if any, dealing with the removal of land from an area of employment.

\_\_\_\_\_

\_\_\_\_\_

17. Is the requested amendment consistent with policy statements issued under subsection 3(1) of the Planning Act (ie. ~~2005~~ Provincial Policy Statement)?  
2024 Planning

- ☒ Yes
- ☐ No

Comments: See attached PJR.

\_\_\_\_\_

18. Is the subject land within an area of land designated under any provincial plan or



plans?

☐ Yes      ☒ No

If yes, does the requested amendment conform to or does not conflict with the provincial plan or plans?

\_\_\_\_\_

\_\_\_\_\_

19. Is the land associated with any natural environment area or adjacent to or abutting lands that are designated as a Wetland or Natural Environment?

☐ Yes      ☒ No

If yes, an Environmental Impact Assessment is required for approval by the Town and Essex Region Conservation Authority, to be completed in accordance with the County of Essex Guidelines for Environmental Impact Assessments or when Council considers it appropriate additional requirements may be made to the Guidelines in accordance with more detailed locally adopted terms of reference for an Environmental Impact Assessment.

20. Is the land within 600 m of property that is designated as Extractive Industrial?

☐ Yes      ☒ No

If yes, as per Section 3.3.3 of the Official Plan a noise and vibration study is required for approval by the Town, to be completed.

Dated at the City of Windsor this 13th day of December, 2024.



(signature of applicant, solicitor or authorized agent)

I, Pietro Valente of the City of Windsor in the County/District/Regional Municipality of Province of Ontario solemnly declare that all the statements contained in this application are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Municipality of Chatham-Kent in the Province of Ontario this 13th day of December, 2024. ELECTRONICALLY



Applicant, Solicitor or Authorized Agent



A Commissioner, etc.  
Tracey Lynn Cecilia Pilon-Abbs, a Commissioner, etc.,  
Province of Ontario, for Pilon Abbs Inc  
Expires August 4, 2026

**NOTE:** A deposit of \$1,000 and a flat fee of \$5,522 along with an ERCA development review fee of \$400 for major Official Plan Amendment applications, must accompany your completed application for an official plan amendment. The total payable to the Town of Amherstburg is **\$6,922.00 for major OPA applications.**

A deposit of \$1,000 plus a flat fee of \$2,762 along with an ERCA development review fee of \$275 for minor Official Plan Amendment applications, must accompany each application for an official plan amendment. The total payable to the Town of Amherstburg is **\$4,037 for minor OPA applications.**



A deposit of \$2,000 plus a flat fee of \$8,011 along with an ERCA development review fee of \$400 for combined Official Plan Amendment and Zoning By-law Amendment applications, must accompany each application for a combined official plan amendment and zoning by-law amendment. The total payable to the Town of Amherstburg is **\$10,411 for combined OPA & ZBA applications.**

**Engineering review fees of \$1500.00 + Hst per each time a file is reviewed may be applicable as per Amherstburg's User fee by-law.**

**If the subject lands are located within 120 m of a Provincially Significant Wetland, Significant Woodland, Area of Natural or Scientific Interest or Significant Species at Risk Habitat, the applicant may be required to complete a natural heritage review. The initial pre-consultation cost of the natural heritage review is \$565 and should additional work, such as an Environmental Impact Assessment, be required, the applicant will be responsible for all costs associated with review. Costs associated with the review will be invoiced to the applicant through the Town of Amherstburg. The applicant will be responsible for finding their own qualified biologist to complete the Environmental Impact Assessment, if required, and will be responsible for all costs associated with the assessment.**

Municipal Fee Received:	
Municipal Deposit Received:	
ERCA Fee Received:	

Application No. \_\_\_\_\_

**FORM 1  
PLANNING ACT  
APPLICATION FOR ZONING BY-LAW AMENDMENT  
TOWN OF AMHERSTBURG**

1. Name of approval authority Town of Amherstburg
2. Date application received by municipality \_\_\_\_\_
3. Date application deemed complete by municipality \_\_\_\_\_
4. Name of registered owner Valente Development c/o Pietro Valente

Telephone number [REDACTED]Address [REDACTED] [REDACTED]Email [REDACTED]Name of registered owner's solicitor or authorized agent (if any) Pillon Abbs Inc.  
c/o Tracey Pillon-Abbs, RPPTelephone number [REDACTED]Address [REDACTED] [REDACTED] [REDACTED]Email [REDACTED]

Please specify to whom all communications should be sent:

☒ registered owner      ☐ solicitor      ☒ agent

5. Name and address of any mortgages, charges or other encumbrances in respect of the subject land:

None

6. Location and description of subject land:

Concession No. \_\_\_\_\_ Lot(s) No. \_\_\_\_\_

Registered Plan No. 7 Lot(s) No. 1, 2, 3 (see attached deed)Reference Plan No. 12R-24659 Part(s) No. 1Street Address 130 Sandwich Street South Assessment Roll No. \_\_\_\_\_

7. Size of subject parcel:

Frontage 60.52 m Depth 125.57 m Area 1.2032 ha

8. Access to subject parcel:

☒ Municipal Road      ☒ County Road      ☐ Provincial Highway  
☐ Private Road      ☐ Water

If access to the subject land is **by water** only, state the parking and docking facilities used or to be used and the approximate distance between these facilities and the nearest public road

9. (a) Current Official Plan Land Use designation of subject land Institutional

(b) Explanation of how application conforms to the Official Plan \_\_\_\_\_

See attached PJR.

(c) Does the application implement an alteration to the boundary of an area of settlement or implement a new area of settlement?

☐ Yes      ☒ No

If yes, provide details of the official plan or official plan amendment that deals with this matter:

\_\_\_\_\_  
\_\_\_\_\_

10. Current Zoning of subject land Institutional (I) Zone
11. Nature and extent of rezoning requested Proposed to develop the site for commercial, residential and institutional uses. Relief is also requested (see PJR for details).
12. Reasons why rezoning is requested To permit more housing and employment for the Town. The site is no longer used for a high school.
13. Current use of subject land Vacant (former high school)
14. Length of time current use of subject land has continued Since the school closed.
15. Is the subject land within an area where the municipality has pre-determined:
- (a) minimum and maximum density requirements
- ☐ Yes      ☒ No
- (b) minimum and maximum height requirements
- ☐ Yes      ☒ No

If yes, state the requirements \_\_\_\_\_  
\_\_\_\_\_

16. Number and type of buildings or structures **existing** on the subject land and their distance from the front lot line, rear lot line and side lot lines, their height and their dimensions/floor area:
- 1 former school
- \_\_\_\_\_
- \_\_\_\_\_
17. Date of construction of existing buildings and structures on the subject land:
- 1922
- \_\_\_\_\_
18. Date subject land acquired by current registered owner 2024
- \_\_\_\_\_
19. Proposed use of subject land Proposed commercial, residential and institutional uses.
20. Number and type of buildings or structures **proposed** to be built on the subject land and their distance from the front lot line, rear lot line and side lot lines, their height and their dimensions/floor area:
- Commercial building, town hall and mixed use building.
- See attached concept plan.
- \_\_\_\_\_
- \_\_\_\_\_

21. Type of water supply:

- ☒ municipally owned and operated piped water supply
- ☐ well
- ☐ Other (specify) \_\_\_\_\_

22. Type of sanitary sewage disposal:

- ☒ municipally owned and operated sanitary sewers
- ☐ septic system
- ☐ Other (specify) \_\_\_\_\_

If the requested amendment permits development on a privately owned and operated individual or communal septic system and more than 4,500 litres of effluent will be produced per day as a result of the development being completed the applicant is required to submit a:

- (i) servicing options report, and
- (ii) a hydrogeological report

23. Type of storm drainage:

- ☒ sewers
- ☐ ditches
- ☐ swales
- ☐ Other (specify) \_\_\_\_\_

24. If known, indicate whether the subject land is the subject of an application under the Planning Act for:

- ☐ consent to sever
- ☐ approval of a plan of subdivision

If known, indicate the file number and status of the foregoing application:

Unknown

\_\_\_\_\_

25. If known, indicate if the subject land has ever been the subject of an application for rezoning under Section 34 of the Planning Act:

\_\_\_\_\_

If known, indicate whether the subject land has ever been the subject of a Minister's Zoning Order and, if known, the Ontario Regulation number of that order.

\_\_\_\_\_

26. Does the requested amendment remove the subject land from an area of employment in the official plan?

- ☐ Yes
- ☒ No

If yes, state the current official plan policies, if any, dealing with the removal of land from an area of employment.

\_\_\_\_\_

\_\_\_\_\_

27. Is the subject land within an area where zoning with conditions may apply?

- ☐ Yes
- ☒ No

If yes, how does this application conform to the official plan policies relating to zoning with conditions?

\_\_\_\_\_

\_\_\_\_\_



28. Is the requested amendment consistent with policy statements issued under subsection 3(1) of the Planning Act (i.e. 2005 Provincial Policy Statement)?

☒ Yes ☐ No

Comments See attached PJR.

29. Is the subject land within an area of land designated under any provincial plan or plans?

☐ Yes ☒ No

If yes, does the requested amendment conform to or does not conflict with the provincial plan or plans?

30. Is the land associated with any natural environment area or adjacent to or abutting lands that are designated as a Wetland or Natural Environment?

☐ Yes ☒ No

If yes, an Environmental Impact Assessment is required, for approval by the Town and Essex Region Conservation Authority, to be completed in accordance with the County of Essex Guidelines for Environmental Impact Assessments or when Council considers it appropriate, additional requirements may be made to the Guidelines in accordance with more detailed locally adopted terms of reference for an Environmental Impact Assessment.

31. Will the proposed project include the addition of permanent above ground fuel storage?

☐ Yes ☒ No

32. Is the land within 600 m of property that is designated as Extractive Industrial?

☐ Yes ☒ No

If yes, as per Section 3.3.3 of the Official Plan a noise and vibration study is required for approval by the Town, to be completed.

Dated at the City of Windsor this 13th day of December, 2024.

X

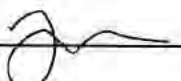
  
(signature of applicant, solicitor or authorized agent)

I, Pietro Valente of the City of Windsor  
in the County/District/Regional Municipality of Province of Ontario solemnly declare that  
all the statements contained in this application are true, and I make this solemn declaration  
conscientiously believing it to be true, and knowing that it is of the same force and effect as  
if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Municipality of Chatham-Kent in the Province  
of Ontario this 13th day of December, 2024. ELECTRONICALLY



X   
Applicant, Solicitor or Authorized Agent

  
A Commissioner, etc.

Tracey Lynn Cecilia Pillon-Abbs, a Commissioner, etc.,  
Province of Ontario, for Pillon Abbs Inc  
Expires August 4, 2026

**NOTES:**

Each copy of the application must be accompanied by a sketch, drawn to scale, showing:

- a) the boundaries and dimensions of the subject land;
- b) the location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines;
- c) the approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples of features include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks/tile fields;
- d) the current uses on land that is adjacent to the subject land;
- e) the location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way;
- f) if access to the subject land is by water only, the location of the parking and docking facilities to be used;
- g) the location and nature of any easement affecting the subject land.

**NOTE:** A deposit of \$1,000 and a flat fee of \$5,522, along with an ERCA development review fee of \$400 for major ZBA applications, must accompany your completed application for a zoning by-law amendment. The total payable to the Town of Amherstburg is \$6,922 for major ZBA applications.

A deposit of \$1,000 and a flat fee of \$2,762, along with an ERCA development review fee of \$275 for minor ZBA applications, must accompany your completed application for a zoning by-law amendment. The total payable to the Town of Amherstburg is \$4,037 for minor ZBA applications.

Any unused portion of the deposit will be returned after the passing of the ZBA.

A flat fee of \$1,149 plus an ERCA review fee of \$275, totalling \$1,424, must accompany your completed application for a Holding (h) Removal zone change, zone change from A to A-36, or zone change which is a condition of consent.

Engineering review fees of \$1500.00 + Hst per each time a file is reviewed may be applicable as per Amherstburg's User fee by-law.

If the subject lands are located within 120 m of a Provincially Significant Wetland, Significant Woodland, Area of Natural or Scientific Interest or Significant Species at Risk Habitat, the applicant may be required to complete a natural heritage review. The initial pre-consultation cost of the natural heritage review is \$565 and should additional work, such as an Environmental Impact Assessment, be required, the applicant will be responsible for all costs associated with review. Costs associated with the review will be invoiced to the applicant through the Town of Amherstburg. The applicant will be responsible for finding their own qualified biologist to complete the Environmental Impact Assessment, if required, and will be responsible for all costs associated with the assessment.

AUTHORIZATION

(Please see note below)

To: Clerk  
Town of Amherstburg

Description and Location of Subject Land:

130 Sandwich Street South

I/We, the undersigned, being the registered owner(s) of the above lands hereby

authorize Pillon Abbs Inc. of the Municipality of Chatham-Kent  
of Province of Ontario to:

- (1) make an application on my/our behalf to the Council for the Town of Amherstburg;
- (2) appear on my behalf at any hearing(s) of the application; and
- (3) provide any information or material required by Town Council relevant to the application.

Dated at the City of Windsor in the  
Province of Ontario, this 13th day of December, 20 24.

X  
Signature of Witness

Signature of Witness

Signature of Witness

X  
Signature of Owner

Signature of Owner

Signature of Owner

\* Note: This form is only to be used for applications which are to be signed by someone other than the owner.



# **PLANNING JUSTIFICATION REPORT**

## **OFFICIAL PLAN AND ZONING BY-LAW AMENDMENTS FOR PROPOSED MIXED USE DEVELOPMENT**

**130 Sandwich Street South,  
Town of Amherstburg**

**April 15, 2025**

**Prepared by:**



Tracey Pillon-Abbs, RPP  
Principal Planner  
Chatham, ON  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

# Table of Content

1.0	INTRODUCTION	3
2.0	SITE AND SURROUNDING LAND USES	5
2.1	Legal Description, Ownership and Previous Use	5
2.2	Physical Features of the Site	6
2.2.1	Size and Site Dimension	6
2.2.2	Vegetation and Soil	7
2.2.3	Topography and Drainage	7
2.2.4	Other Physical Features	7
2.2.5	Municipal Services	7
2.2.6	Nearby Amenities	7
2.3	Surrounding Land Uses	8
3.0	PROPOSAL AND CONSULTATION	13
3.1	Development Proposal	13
3.2	Public Consultation Strategy	16
4.0	PROPOSED APPLICATION AND STUDIES	22
4.1	Official Plan Amendment	22
4.2	Zoning By-law Amendment	22
4.3	Other Application	22
4.4	Supporting Studies	23
4.4.1	Traffic	23
4.4.2	Shadow	23
4.4.3	Facade	24
4.4.4	Servicing	24
5.0	PLANNING ANALYSIS	25
5.1	Policy and Regulatory Overview	25
5.1.1	Provincial Planning Statement	25
5.1.2	County of Essex Official Plan	32
5.1.3	Town of Amherstburg Official Plan	41

5.1.4	Town of Amherstburg Zoning By-law	51
6.0	SUMMARY AND CONCLUSION	60
6.1	Context and Site Suitability Summary	60
6.1.1	Site Suitability	60
6.1.2	Compatibility of Design	60
6.1.3	Good Planning	60
6.1.4	Natural Environment Impacts	61
6.1.5	Municipal Services Impacts	61
6.1.6	Social, Cultural and/or Economic Conditions	61
6.2	Conclusion	61

# 1.0 INTRODUCTION

I have been retained by Designatlier on behalf of Valente Development (herein the 'Applicant'), to provide a land use Planning Justification Report (PJR) in support of a proposed mixed use development for property located at 130 Sandwich Street South (herein the "Site") in the Town of Amherstburg, County of Essex, Province of Ontario.

The proposed development is called "Amherstburg Town Centre" to reflect the Site's past and future uses.

The Site currently has the former General Amherst High School building, which is now vacant.

It is proposed to retain a portion of the existing building. A set of mural panels painted on parts of the building along the west elevation is planned to be retained.

The Applicant is proposing a comprehensive redevelopment of the Site for residential, institutional and commercial uses.

The Applicant is committed to redeveloping the Site in a manner that respects the historical context, incorporates sustainable building features, and incorporates attainable and affordable housing opportunities and economic development.

The proposed development represents an opportunity for infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site that is no longer suited to its original institutional purpose.

The adaptive reuse of the existing structure will be a centerpiece of the sustainability goals of this project.

Office space is also proposed to be constructed and includes a theatre.

A new stand-alone commercial building is proposed to be constructed and includes a gym and retail space.

A new mixed use building is proposed to be constructed with commercial on the main floor and a total of 144 residential units above. The proposed building will be constructed in 2 blocks (Towers). Sandwich Street Tower will be 8 storeys with 79 residential units. Park Side Tower will be 11 storeys with 65 residential units. The tenure of the units will be rental (Sandwich St Tower) and individually owned (Park Tower).

The Applicant would also like the option to develop a hotel where a portion of the residential units are proposed (floors 2-3 of the Sandwich St Tower).

Parking on-site and underground for a total of 262 vehicles is proposed for the commercial and residential, with access from Sandwich Street South and Laird Ave South. Parking for 93 vehicles is proposed on abutting lands.

Pre-consultation with the Town Administration was completed by the Applicant (Town File PS/20/24). Applications and support studies were identified in the pre-consultation letter dated October 8, 2024. Also, comments on the proposed development were received and have been incorporated into the proposed development.

An application for an Official Plan Amendment (OPA) and a Zoning By-law Amendment (ZBA) are required in order to permit the proposed development.

Once the OPA and ZBA are considered, the proposed development will be subject to Site Plan Control (SPC) prior to any site alterations of building permits issued.

A Heritage Alteration Permit will be required along with the required support studies prior to any construction or renovations commencing.

Once a building permit is issued and construction has commenced, the Application will submit a Draft Plan of Condominium (CONDO) application in order to create individually owned units.

The purpose of this PJR is to review the relevant land use documents, including the Provincial Planning Statement (PPS) 2024, the County of Essex Official Plan (COP), the Town of Amherstburg Official Plan (OP) and the Town of Amherstburg Zoning By-law (ZBL) as it pertains to the OPA and ZBA applications.

This PJR will show that the proposed development is consistent with the PPS, conforms with the intent and purpose of the COP, OP and ZBL, and represents good planning.

## 2.0 SITE AND SURROUNDING LAND USES

### 2.1 Legal Description, Ownership and Previous Use

The Site has been owned by Valente Development Corporation, the Applicant, since March 2024.

The Site currently has the former General Amherst High School building, which was owned and operated by the Greater Essex County District School Board.

The building was originally constructed in 1922 (and building additions thereafter) and is currently vacant.

The Site is listed on the Town of Amherstburg Heritage Register. The building is not designated under Part IV of the Ontario Heritage Act.

The Site is located on the west side of Sandwich Street South and on the east side of Laird Avenue South (see the area in **green** in the Key Map on Figure 1a).



Figure 1a – Key Map (Source: ERCA GIS)

The Site is legally described and locally known as follows:

Address	ARN	Legal	PIN
130 Sandwich Street South, own of Amherstburg, County of Essex, Province of Ontario	37-29-240-000-070-000-0000	<p>First: Part of Lots 1, 2 and 3, Registered Plan 7, East side of Laird Avenue, designated as Part 1 on 12R-24659; Amherstburg</p> <p>Secondly: Part of Lot 1, Registered Plan 7, East side of Laird Avenue, designated as Part 2 on 12R-24659; s/t an Easement as in R1550856; Amherstburg</p> <p>Being the whole of the PIN as the previously described in Deed No. R1551560</p>	70552-0111 (R)

## 2.2 Physical Features of the Site

### 2.2.1 Size and Site Dimension

The Site consists of a total area of approximately 1.2032 ha in size.

The Site is an irregularly shaped lot with an approximate frontage of 60.52 m along the east side of Laird Ave South and an approximate depth of 125.57 m (see street view of Site on Figure 1b).



Figure 1b – Street View, from Sandwich St S (Source: Pilon Abbs Inc.)



### **2.2.2 Vegetation and Soil**

The Site currently has a maintained lawn, landscaping and trees.

Soil is made up of Brookston Clay (Bc).

### **2.2.3 Topography and Drainage**

The Site is flat and is outside the limit of the regulated area of the Essex Region Conservation Authority (ERCA).

The Site is part of the Amherstburg Area Drainage.

The Site is impacted by a source water protection Event Based Area (EBA).

### **2.2.4 Other Physical Features**

There is an existing driveway access along Sandwich St S.

### **2.2.5 Municipal Services**

The property has access to municipal water, storm and sanitary services.

There are existing fire hydrants located in the area.

Streetlights and sidewalks are located in the area of the Site.

Sandwich Street South (County Road 20) is an arterial road. Laird Avenue South is a local road.

The Site is close to major transportation networks, including Sandwich St S.

The Site has access to regional transit, with the nearest bus stops (160 m) located at the corner of Sandwich St S and Maple Ave (Stop ID: 2306, Bus #605).

### **2.2.6 Nearby Amenities**

There are several schools close to the Site, including Amherstburg Public School.

There are many parks and recreation opportunities in proximity to the Site, including Bill Wigle Park and Austin "Toddy" Jones Park.

Fort Malden National Historic Site, Park House Museum and Amherstburg Navy Yard National Historic Site of Canada are located close by the Site.

There are nearby commercial uses, such as food service, personal service shops, and retail.

There are also nearby employment lands, places of worship, libraries and local/regional amenities.

## 2.3 Surrounding Land Uses

Overall, the Site is located in a built up area of the Town of Amherstburg.

A site visit was conducted on October 25, 2024.

**North** – The lands directly to the north of the Site are used for residential (see Photos 1 - North).





Photos 1 – North (Source: Pilon Abbs Inc.)



**East** – The lands directly to the east of the Site (past Sandwich St S) are used for residential and commercial (see Photos 2 – East).



Photos 2 – East (Source: Pillon Abbs Inc.)

**South** – The lands directly to the south of the Site are used for recreation (see Photo 3 - South).



Photo 3 – South (Source: Pillon Abbs Inc.)

**West** – The lands directly to the west of the Site (across Laird Ave S) are used for residential and open space (see Photos 4 – West).







Photos 4 – West (Source: Pilon Abbs Inc.)

## 3.0 PROPOSAL AND CONSULTATION

### 3.1 Development Proposal

The proposed development is called "Amherstburg Town Centre" to reflect the Site's past and future uses.

The Site currently has the former General Amherst High School building, which is now vacant.

It is proposed to retain a portion of the existing building. A set of mural panels painted on parts of the building along the west elevation is planned to be retained.

The Applicant is proposing a comprehensive redevelopment of the Site for residential, institutional and commercial uses.

A concept plan has been prepared (see Figure 2a – Concept Plan).

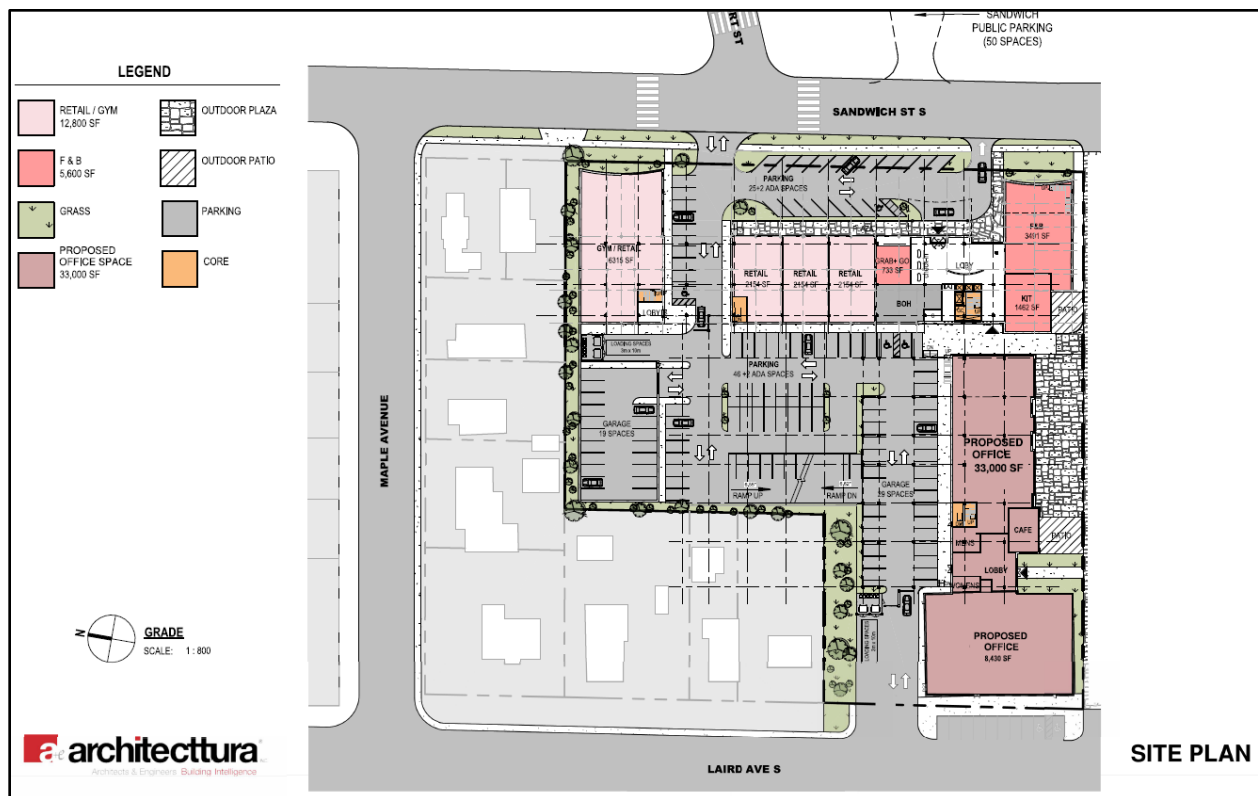


Figure 2a – Concept Plan

The concept plan illustrates a preliminary proposed layout of the proposed development.



The Applicant is committed to redeveloping the Site in a manner that respects the historical context, incorporates sustainable building features, and incorporates attainable and affordable housing opportunities and economic development.

The proposed development represents an opportunity for infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site that is no longer suited to its original institutional purpose.

The adaptive reuse of the existing structure will be a centerpiece of the sustainability goals of this project.

Elevations have been prepared (see Figure 2b – Renderings).





Figure 2b – Elevations

The elevation illustrates a preliminary proposed design of the proposed development.

A new 3,251.61 m<sup>2</sup> (35,000 ft<sup>2</sup>) office space is proposed to be constructed and includes an 836.13 m<sup>2</sup> (9,000 ft<sup>2</sup>) theatre.

A new stand-alone 584.82 m<sup>2</sup> (6,295 ft<sup>2</sup>) commercial building is proposed to be constructed and includes a gym and retail space.

A new mixed use building is proposed to be constructed. The building footprint will be a total of 4,645.15 m<sup>2</sup> (50,000 ft<sup>2</sup>) in size with 1,189.15 m<sup>2</sup> (12,800 ft<sup>2</sup>) of commercial retail space and 520.26 m<sup>2</sup> (5,600 ft<sup>2</sup>) restaurant on the main floor.

Residential units will be located above the commercial space. A total of 144 residential units are proposed. The proposed building will be constructed in 2 blocks (Towers). Sandwich Street Tower will be 8 storeys with 79 residential units. Park Side Tower will be 11 storeys with 65 residential units. The tenure of the units will be rental (Sandwich St Tower) and individually owned (Park Tower).

Based on the area of the Site (1.2032 ha) and the number of proposed units (144), the proposed development will result in a gross density of 119.6809 units per hectare (uph).

Residential unit sizes will vary. A mix of 1 bedroom, 2 bedroom and 3 bedroom units are proposed.

The proposed building will include common areas, lobby, elevators, mail room, amenity space, and refuse storage.

Balconies will be located on all sides of the proposed building as well as step-backs in the design.

The Applicant would also like the option to develop a hotel where a portion of the residential units are proposed (floors 2-3 of the Sandwich St Tower).

Parking on-site and underground for a total of 262 vehicles is proposed for the commercial and residential, with access from Sandwich Street South and Laird Ave South. Parking for 93 vehicles is proposed on abutting lands.

There is additional parking available in close proximity to the Site that can be utilized.

The Site will be professionally landscaped with an outdoor patio and plaza area.

The proposed development will be serviced by full municipal infrastructure, including water, storm and sanitary sewer.

## **3.2 Public Consultation Strategy**

In addition to the statutory public meeting, the *Planning Act* requires that the Applicant submit a proposed strategy for public consultation with respect to an application as part of the complete application requirements.



As part of a public consultation strategy, in addition to the statutory public meeting, an informal in-person public open house was held with area residents and property owners on March 20, 2025, from 5:00 pm to 7:00 pm at Libro Centre, 3295 Meloche Rd, Amherstburg, ON.

The open house provided members of the public with opportunities to review and comment on the proposed development.

A total of **60** owners and tenants were notified, which represents a **120 m (plus)** radius from the Site.

In addition to the applicant representatives and Town Staff, 81 residents attended the open house.

Email and phone call comments were also received.

The following is a summary of the comments and questions received, along with the responses provided.

Topic Item	Comments and Questions	Response
Timing	When will this be constructed?	TBD
Design	<p>Overall, the design is great.</p> <p>Looks like a good project for the Town.</p> <p>Excited to see the 'flex' space as a theatre. Amherstburg is rich in culture and artistic talent.</p> <p>Building looks nice.</p> <p>It does not contribute to an 'old town' look.</p> <p>Love the design.</p> <p>Parking, historical preservation, mixed use space all seem to be well considered.</p>	Noted.
Heritage	<p>How much of the original school will be kept?</p> <p>Glass is nice.</p> <p>Glass is not nice.</p> <p>Do not make it look too modern.</p>	The final design of the proposed building will keep as much of the original school as possible.

Topic Item	Comments and Questions	Response
	Attempting to shroud it with a reflective, glassed-in portico will only obscure its visibility.	
Traffic	<p>Laird Ave and Sandwich are currently a concern.</p> <p>Traffic is not safe now.</p> <p>Traffic will increase.</p> <p>There needs to be a traffic light at Sandwich and Fort St.</p> <p>Sandwich St cannot handle any more traffic.</p> <p>More lanes and stoplights should be added.</p> <p>Add traffic calming measures to Laird which would further encourage people to use the Sandwich Street entrance.</p>	<p>A TIS has been completed.</p> <p>There are no concerns regarding traffic.</p>
Parking	<p>How deep is the underground parking garage?</p> <p>Where does overflow parking go?</p> <p>There needs to be more parking.</p> <p>Reverse the ramp direction so it's easier for people to get straight down to their parking from Sandwich than from Laird.</p>	<p>1 storey is underground.</p> <p>On-street parking is available.</p> <p>Parking has been evaluated and more than the minimum provided, as set out in the ZBL.</p> <p>The final design of the proposed building will be subject to SPC review.</p>
Access	<p>Should be somewhere else on the Site.</p> <p>Align it better.</p> <p>Make it a clean four way intersection.</p> <p>Encourage residents and users of the new facility to enter and leave via Sandwich Street,</p>	<p>The TIS has been completed and has evaluated sight-lines.</p> <p>There are no concerns regarding access.</p>

Topic Item	Comments and Questions	Response
Dust	This development will cause more dust in the area.	Dust can be controlled during construction.
Noise	This development will cause more dust in the area.	Noise can be controlled during construction.  The Town also has a noise by-law.
Height	This will cast shadows.  Height is too tall.  There will be a loss of sunlight.  Do not compromise on the height.  5-6 storeys max.  Inappropriate and does not compliment the Town.	A shadow study will be provided as part of SPC review. It is anticipated that there will be the very minor impact on the abutting property.  The final design of the proposed building will include architectural features that will assist in the transition.
Park	Want the park to stay.  The ball diamonds are heritage features.  Will the ball diamonds be re-located?  There is 1 large tree in the park which is historical.  What are the impacts?	The park is not part of the proposed development.  There are no negative impacts.
Tenure and Affordability	Will the units be rentals?  Will they be affordable?  What if there are vacancies?	The tenure will be both rental and individually owned.  Affordability is being addressed by providing smaller 1-2 bedroom units.  Vacancies may occur.
Taxes and Property Value	This will increase taxes and decrease property values.	Taxes and property value may go up or may go down.
Parking	Do not want to lose the 21 parking spaces along Park Street.	The parking spaces are not part of the Site.
Buffering	More landscaping is required.	The final design of the Site will be reviewed as part of SPC approval.



Topic Item	Comments and Questions	Response
	Tall fences are preferred.	There is buffering on the east side of the Site.  There is a 6ft fence with trees proposed and greenery as additional layering of privacy.
Uses and Location	Residential is needed.  Residential is not needed.  Hotel is a great idea.  Build someplace else.	The proposed development has been selected due to its location.  The Site is pedestrian friendly.  There is a need for more housing.
Appeals	Are there appeal rights?	The OLT is the appeal body.  Third-party appeals are not permitted.
Abutting Lands	Change is okay.  No concerns with the proposed development.	Noted.  The tower will be 100 ft away from the closest abutting residential dwelling.
Parades and Events	All streets are closed during parades and events.  There will not be any access to the Site during this time.	The property owners will work with the Town during parades and events.
Environmental	There needs to be an environmental impact study.	The study is not warranted for the Site.  There are no natural heritage features.
Infrastructure	Ensure that the fire department can service an emergency on the top floors.  Ensure that the historically weak sewage and water system on Laird can handle the increased demand  Ensure that Sandwich can handle the increased load (especially as an	A FSR has been completed.  No concerns were raised.  The final design of the Site will be subject to SPC review.

Topic Item	Comments and Questions	Response
	emergency egress passage in case of nuclear accident).	

## **4.0 PROPOSED APPLICATION AND STUDIES**

Pre-consultation with the Town Administration was completed by the Applicant (Town File PS/20/24). Applications and support studies were identified in the pre-consultation letter dated October 8, 2024. Also, comments on the proposed development were received and have been incorporated into the proposed development.

The following is a summary of the purpose of the required applications and the support studies.

### **4.1 Official Plan Amendment**

An application for an Official Plan Amendment (OPA) is required in order to permit the proposed development.

The Site is designated "Institutional" according to Schedule "B2 – Land Use" attached to the Town of Amherstburg Official Plan (OP).

It is proposed to change the designation to "General Commercial – Special Policy Area" in order to permit the proposed development.

Further analysis and additional information are provided in Section 5.1.3 of this PJR.

### **4.2 Zoning By-law Amendment**

An application for a Zoning By-law Amendment (ZBA) is required in order to permit the proposed development.

The Site is currently zoned " Institutional (I)" on Map 37 attached to the Town of Amherstburg Zoning By-Law #1999-52.

It is proposed to change the zoning to a site specific "Commercial General (CG-XX)" to permit the proposed development.

All CG zone provisions shall comply with the exemption of height.

Further analysis and additional information are provided in Section 5.1.4 of this PJR.

### **4.3 Other Application**

Once the OPA and ZBA are considered, the proposed development will be subject to Site Plan Control (SPC) prior to any site alterations of building permits issued.

SPC is a technical process which will review such details as landscaping, signage, lighting, servicing and drainage.



A Heritage Alteration Permit will be required along with the required support studies prior to any construction or renovations commencing.

Once a building permit is issued and construction has commenced, the Application will submit a Draft Plan of Condominium (CONDO) application in order to create individually owned units.

## **4.4 Supporting Studies**

The following supporting studies have been completed in support of the OPA and ZBA applications.

### **4.4.1 Traffic**

A Traffic Impact Study (TIS) was prepared by RC Spencer Associates Inc. Consulting Engineers.

The purpose of the report was to assess the potential impact on area traffic operations from the proposed development.

The assessment included such analysis as level of service, intersection capacity, sight lines, and queue lengths.

The following conclusions were provided:

- intersections are expected to operate at a good level of service,
- alternative routes are available to dilute potential impacts,
- signalization is not warranted, but could be implemented at the road authority's discretion, and
- there is sufficient sight distance.

It was the opinion of the engineer that the proposed development will not adversely impact area traffic operations.

### **4.4.2 Shadow**

A Sun Path and Shadow Analysis was prepared by Architectura, Architects & Engineers.

The purpose of the analysis was to review the impact of the proposed development on abutting properties.

Images were provided, which included the conceptual elevation during different points in the day and time of year.

It was concluded that there would be minimal impact from the proposed development.

#### **4.4.3 Façade**

A Façade Analysis was prepared by John G. Cooke & Associates Ltd, Consulting Engineers, dated December 9, 2024.

The purpose of the report was to review the historic façade central to the south elevation of the former high school. The review included building conditions from grade level to the roof level.

Options and recommendations with respect to its conservation and incorporation into a proposed new development on the Site.

Overall, the façade is in good condition.

It was concluded that the façade could be incorporated into the proposed development. This could include building retention or salvage and reconstruction (all or portion).

#### **4.4.4 Servicing**

A Functional Servicing Report (FSR) was prepared by d.c. McCloskey Engineering Ltd.

The purpose of the report was to review the available capacity of municipal services in order to accommodate the proposed development.

Services included water, sanitary and storm sewers.

It was concluded that the proposed development would not have a measurable impact on services.

# 5.0 PLANNING ANALYSIS

## 5.1 Policy and Regulatory Overview

### 5.1.1 Provincial Planning Statement

The Provincial Planning Statement, 2024 (PPS) provides policy direction on matters of provincial interest related to land use planning and development.

The PPS was issued under Section 3 of the *Planning Act* and came into effect on October 20, 2024.

The following provides a summary of the key policy considerations of the PPS as it relates to the proposed development.

PPS Policy #	Policy	Response
Chapter 1 - Vision	<p>Ontario will increase the supply and mix of housing options, addressing the full range of housing affordability needs. Every community will build homes that respond to changing market needs and local demand. Providing a sufficient supply with the necessary mix of housing options will support a diverse and growing population and workforce, now and for many years to come.</p> <p>A prosperous and successful Ontario will also support a strong and competitive economy that is investment-ready and recognized for its influence, innovation and diversity. Ontario's economy will continue to mature into a centre of industry and commerce of global significance. Central to this success will be the people who live and work in this province.</p>	<p>The proposed development provides more housing and economic development opportunities for the Town of Amherstburg.</p> <p>Housing and employment will support the concept of a complete community where people can live, work and play.</p>

PPS Policy #	Policy	Response
Chapter 2.1.4 – Buildings Homes, Sustaining Strong and Competitive Communities	To provide for an appropriate range and mix of housing options and densities required to meet projected requirements of current and future residents of the regional market area, planning authorities shall: a) maintain at all times the ability to accommodate residential growth for a minimum of 15 years through lands which are designated and available for residential development; and b) maintain at all times where new development is to occur, land with servicing capacity sufficient to provide at least a three-year supply of residential units available through lands suitably zoned, including units in draft approved or registered plans.	<p>The proposed development will help provide for a mix of housing options and densities to meet the needs of the Town.</p> <p>The proposed tenure will be a mix of rental and individually owned units.</p> <p>The proposed development will support the growth targets set by the County of Essex.</p> <p>Full municipal services are available in order for the proposed development to occur.</p> <p>The Site is no longer suited to its original institutional purpose.</p> <p>An OPA and ZBA are required in order to support the redevelopment.</p>
2.1.6	Planning authorities should support the achievement of complete communities by: a) accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated child care facilities, longterm care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;	<p>The proposed development is consistent with the policy to achieve complete communities.</p> <p>The proposed development represents an opportunity for infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site.</p> <p>The proposed development will provide for more housing.</p> <p>The Site has access to transportation options, public</p>



PPS Policy #	Policy	Response
	b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society;	<p>service facilities, other institutional uses, and parks.</p> <p>Accessibility will be addressed at the time of a building permit.</p>
2.2.1 - Housing	<p>Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:</p> <p>a) establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;</p> <p>b) permitting and facilitating:</p> <ol style="list-style-type: none"> <li>1. all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and</li> <li>2. all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new</li> </ol>	<p>The Applicant is committed to redeveloping the Site in a manner that respects the historical context, incorporates sustainable building features, and incorporates attainable and affordable housing opportunities and economic development.</p> <p>The proposed development is a new housing for the area.</p> <p>The proposed development supports the housing targets set by the County of Essex.</p> <p>The needs of the residents can be accommodated as the Site is located near local amenities.</p> <p>The Site offers an opportunity for intensification and infilling.</p> <p>The proposed density is appropriate for the Site.</p> <p>The tenure of the units will be rental and individually owned.</p> <p>Residents will have access to nearby transit.</p>

PPS Policy #	Policy	Response
	<p>housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;</p> <p>c) promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and</p> <p>d) requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.</p>	
2.3.1.1 – Settlement Area	<p>Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.</p>	<p>The Site is located in an existing settlement area of the Town of Amherstburg.</p> <p>The adaptive reuse of the existing structure will be a centerpiece of the sustainability goals of this project.</p>
2.3.1.2	<p>Land use patterns within settlement areas should be based on densities and a mix of land uses which:</p> <p>a) efficiently use land and resources;</p> <p>b) optimize existing and planned infrastructure and public service facilities;</p> <p>c) support active transportation;</p> <p>d) are transit-supportive, as appropriate</p>	<p>The total density of the proposed development is considered appropriate.</p> <p>The Site offers an opportunity for infilling by creating new residential and commercial units.</p> <p>The buildings' mass, scale, and architectural elements have been designed to respect adjoining properties.</p> <p>Residents will have immediate access to shopping, employment,</p>

PPS Policy #	Policy	Response
		<p>transit, active transportation, recreational areas and institutional uses.</p> <p>Transit is available for the area.</p> <p>Active transportation is available in the area.</p>
2.3.1.3	Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.	<p>The proposed development provides an infill opportunity for the parcel of land.</p> <p>The adaptive reuse of the existing structure is a centerpiece of the sustainability goals of this project.</p> <p>The design of the proposed development has provided a compact form.</p>
2.3.1.4	Planning authorities shall establish and implement minimum targets for intensification and redevelopment within built-up areas, based on local conditions.	The County of Essex has established targets. The proposed development will assist in meeting those targets as the Site is located in an existing built-up area and will add new residential housing.
2.3.1.6	Planning authorities should establish and implement phasing policies, where appropriate, to ensure that development within designated growth areas is orderly and aligns with the timely provision of the infrastructure and public service facilities.	The Site has access to existing infrastructure and nearby public service facilities.
2.8.1 - Employment	Planning authorities shall promote economic development and competitiveness by: a)	The proposed development will support the Town's goal of supporting a modern economy.

PPS Policy #	Policy	Response
	<p>providing for an appropriate mix and range of employment, institutional, and broader mixed uses to meet long-term needs; b) providing opportunities for a diversified economic base, including maintaining a range and choice of suitable sites for employment uses which support a wide range of economic activities and ancillary uses, and take into account the needs of existing and future businesses; c) identifying strategic sites for investment, monitoring the availability and suitability of employment sites, including market-ready sites, and seeking to address potential barriers to investment; d) encouraging intensification of employment uses and compatible, compact, mixed-use development to support the achievement of complete communities; and e) addressing land use compatibility adjacent to employment areas by providing an appropriate transition to sensitive land uses.</p>	<p>The proposed commercial units will provide for economic opportunities in the area.</p> <p>The site will be compact and will effectively and efficiently utilize a large property that is no longer suited to its original institutional purpose.</p>
2.8.2.1 – Employment Areas	Planning authorities shall plan for, protect and preserve employment areas for current and future uses, and ensure that the necessary infrastructure is provided to support current and projected needs.	The proposed commercial uses will strengthen the nearby uses.
Chapter 3.1.1 – Infrastructure and Facilities	Infrastructure and public service facilities shall be provided in an efficient manner	The proposed development has access to full municipal services.



PPS Policy #	Policy	Response
	while accommodating projected needs.	There are nearby public service facilities.
3.3.3 - Transportation	Planning authorities shall not permit development in planned corridors that could preclude or negatively affect the use of the corridor for the purpose(s) for which it was identified.	The proposed development will not have a negative impact on nearby transportation and infrastructure corridors.
3.6.2	Municipal sewage services and municipal water services are the preferred form of servicing for settlement areas to support protection of the environment and minimize potential risks to human health and safety. For clarity, municipal sewage services and municipal water services include both centralized servicing systems and decentralized servicing systems.	The proposed development will be serviced by municipal sewer, water and storm, which is the preferred form of servicing for settlement areas.  An FSR have been provided.
4.1.1 – Natural Heritage	Natural features and areas shall be protected for the long term.	There are no natural heritage features that impact the Site.
4.2 - Water	Planning authorities shall protect, improve or restore the quality and quantity of water by: b) minimizing potential negative impacts, including cross-jurisdictional and cross-watershed impacts;	An FSR has been provided.
4.6 Cultural Heritage and Archaeology	Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.	The Site is listed on the Town of Amherstburg Heritage Register.  The building is not designated under Part IV of the Ontario Heritage Act.  A Heritage Alteration Permit will be required along with the required support studies.

PPS Policy #	Policy	Response
		<p>A Façade assessment has been completed and is summarized in Section 4.4.3 of this PJR.</p> <p>The Applicant is committed to redeveloping the Site in a manner that respects the historical context and incorporates sustainable building features.</p> <p>An archaeological assessment will be completed for areas outside of the existing building envelope if required.</p>
Chapter 5.1.1 – Protecting Public Health and Safety	Development shall be directed away from areas of natural or human-made hazards where there is an unacceptable risk to public health or safety or of property damage, and not create new or aggravate existing hazards.	<p>There are no natural or human-made hazards that apply to this Site.</p> <p>There is no risk to the public.</p> <p>The Site is outside the ERCA regulated area.</p>

Therefore, the proposed development is consistent with the PPS.

### 5.1.2 County of Essex Official Plan

The County of Essex Official Plan (COP) was adopted by County Council on November 6, 2024, and is pending approval by the Ministry of Municipal Affairs and Housing (MMAH).

The COP implements the PPS and establishes a policy framework to guide land use planning decisions related to development and the provision of infrastructure and community services throughout the Town.

The Site is designated "Primary Settlement Area" according to Schedule "A2 – Settlement Structure Plan" attached to the COP (see Figure 4 – COP).



Figure 4 – COP

The Site is also subject to the following:

- Schedule 'C3' – Intake Protection Zones as "IPZ 2"
- Schedule 'C4' – Event-Based Areas
- Schedule 'E1' – Salt Deposits

The following provides a summary of the key policy considerations of the COP as it relates to the proposed development.

COP Policy #	Policy	Response
2.0 – Successful County	<p>Principle 1: Economic Resilience</p> <p>Growing Essex County includes planning for economic growth and job creation. The County of Essex has a diverse economy that includes traditional employment such as manufacturing, commercial and institutional growth, and growth in the agricultural economy.</p>	<p>The proposed development will support the County's vision of a resilient economy.</p> <p>New commercial opportunities are provided, which will create new employment.</p> <p>The proposed development will support the needs of the Town.</p>

COP Policy #	Policy	Response
	<p>Principle 2: Housing Supply, Housing Choice and Housing Affordability</p> <p>A wide range of housing options will be provided to meet the needs of the growing and increasingly diverse population in the County. Increasing housing supply and housing choices is important to support the growing economy, aging population, and to create housing that is affordable and equitable to County residents, to support Essex residents in staying in Essex and its communities throughout their lives, and to support the growing population.</p>	<p>The proposed development will support the County's vision for providing more housing.</p> <p>New housing is provided which will support the needs of residents in the region.</p> <p>Housing for those starting out and for those wanted to downsize will be an option.</p>
4.0 – Growth and Settlement Areas	a) Planning for the growth of population, housing and jobs in the County of Essex in keeping with the 30-year growth forecasts.	The proposed development will support the County's forecasts for more housing and jobs.
	c) Ensuring the efficient use of land and optimizing the supply of land in settlement areas, and minimizing the use and conversion of agricultural land for urban purposes;	The site will be compact and will effectively and efficiently utilize a large property that is no longer suited to its original institutional purpose.
	d) Planning for intensification with efficient use of existing land, infrastructure and services that supports the creation of: more affordable rental and ownership Housing; walkable, bikeable, and transit-ready main streets, districts and corridors; and mixed income neighbourhoods;	The Applicant is committed to redeveloping the Site in a manner that respects the historical context, incorporates sustainable building features, and incorporates attainable and affordable housing opportunities and economic development.



<b>COP Policy #</b>	<b>Policy</b>	<b>Response</b>
		<p>Infrastructure and community services are available within the settlement area.</p> <p>The Site is located in an existing built-up area, which makes it accessible to nearby amenities and pedestrian-friendly.</p>
	e) Planning for densities and housing types that achieve a broader range of housing options for all household sizes, including affordable and market-based housing; and,	<p>There is a market need for more housing, and it is set out as a priority in the PPS.</p> <p>Attainable and affordable housing opportunities will be provided.</p> <p>The tenure of the units will be rental and individually owned.</p>
	f) Ensuring that growth takes place in a sustainable manner that contributes to the long-term financial, social and environmental well-being of the County of Essex and its constituent Local Municipalities.	The proposed development represents an opportunity for infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site that is no longer suited to its original institutional purpose.
4.A.1.4 – Growth Management	Growth shall be accommodated within Settlement Areas, as shown in Schedule A-2.	The Site is located in an existing settlement area of the Town of Amherstburg.
4.A.2.1 – Primary Settlement Areas	Primary Settlement Areas are the largest communities and are the traditional centres of settlement and commerce in the County. It is a priority for the County to focus growth and investment in Primary Settlement Areas. The locations and boundaries of Primary Settlement Areas within the County have been identified on Schedule "A-2".	The Site is identified as being within a "Primary Settlement Area" in the COP where there is a focus on growth.

<b>COP Policy #</b>	<b>Policy</b>	<b>Response</b>
	Primary Settlement Areas are Strategic Growth Areas.	
4.A.2.5	All new development within Primary Settlement Areas shall only occur on full municipal water services and municipal sewage services, unless there are interim servicing policies in the local municipal Official Plan that are in effect at the time of approval of this Plan.	The Site has access to full municipal services, which is the preferred servicing option.  An FSR has been provided.
4.A.2.9	All types of land use are permitted within the "Primary Settlement Areas" designation subject to the specific land use policies of the local municipal Official Plans.	Housing opportunities, economic development, and institutional are proposed uses for the Site, which is supported by this policy.
4.A.2.12	Development in Primary Settlement Areas will integrate land use planning, fiscal planning, and infrastructure planning to responsibly manage forecasted growth and to support: a) A diverse range and mix of housing types, unit sizes, and densities to accommodate current and future market bases and affordable housing needs. b) Opportunities for the integration of gentle density, and a mix and range of housing options that considers the evolving character of residential neighbourhoods.	The proposed development will provide for more housing.  Housing is intended to be attainable and affordable.  Residential unit sizes will vary. A mix of 1 bedroom, 2 bedroom and 3 bedroom units are proposed.  The proposed development will blend well with its surroundings.
4.A.5.2 - Intensification	Residential intensification shall be provided in every Primary Settlement Area. Residential intensification is to be provided in Secondary Settlement Areas where full servicing is available.	The proposed development represents an opportunity for infilling and intensification within the existing built boundary.

<b>COP Policy #</b>	<b>Policy</b>	<b>Response</b>
4.B.2.1 - Housing	The County in collaboration with Local Municipalities, senior levels of government, the development industry, community partners and other stakeholders shall ensure a mix and range of housing options suitable for all ages, household sizes and abilities including: a) Affordable housing to address need throughout the income spectrum, including market and community housing; b) Emergency and transitional housing; c) Co-housing, group rooming and senior housing, special needs housing; and, d) Purpose-built rental housing.	<p>The Town of Amherstburg OP does have policies which support collaboration.</p> <p>The proposed housing is suitable for the large Site.</p>
4.B.2.3	New residential development and residential intensification should incorporate universal design standards to meet housing needs at all stages of life.	<p>The design of the proposed development will respect the historical context of the Site.</p> <p>The adaptive reuse of the existing structure will be a centerpiece of the sustainability goals of this project.</p>
4.B.2.4	New residential development and residential intensification are to be planned and designed to mitigate and adapt to the impacts of climate change by: a) facilitating compact built form; b) ensuring that infrastructure is available to promote safe and convenient mobility for walking, cycling and other forms of non-motorized transportation; and c) incorporating sustainable housing construction materials or practices, green infrastructure, energy	<p>The proposed development will be designed to be compact.</p> <p>Existing infrastructure will be used.</p> <p>The final construction of the building will be subject to the Ontario Building Code (OBC) requirements and will include energy efficiencies.</p> <p>An OPA and ZBA are required in order to permit the proposed residential use.</p>

COP Policy #	Policy	Response
	conservation standards, water efficient technologies, and low impact development.	
4.C.2.1 - Employment	Planning for jobs shall be undertaken jointly with Local Municipalities. It is the policy of the County that: a) Sensitive land uses that are not ancillary to primary employment uses shall be limited in size; b) Minimum density targets for employment lands shall be achieved in accordance with the policies of this plan and through local municipal Official Plans and Zoning By-laws; c) Development and redevelopment will be utilized to achieve the jobs and job density targets; and, d) Local Municipalities shall ensure compatibility between employment lands and non-employment lands.	<p>The proposed commercial uses will be limited to retail and restaurants.</p> <p>A hotel may be proposed as an option.</p> <p>An OPA and ZBA are required in order to permit the proposed employment uses.</p>
5.B - Aggregates	In accordance with the Provincial Planning Statement, it is the policy of this Plan that mineral resources, including mineral aggregates, minerals, and petroleum resources, as generally depicted on Schedule "E1" of this Plan, will be protected for long-term use. In that regard, it is the policy of this Plan that local Official Plans shall include policies that ensure the following policy direction is realized.	<p>The Site is within Schedule 'E1' – Salt Deposits.</p> <p>There are no anticipated concerns as the Site currently has buildings and parking areas.</p>
6.A.1 – Cultural Heritage And Archaeological Resources	It is the policy of this Plan that the County will identify, recognize, and conserve archaeological resources and	There is no requirement to undertake any archaeological assessment as the Site currently has buildings and parking areas.



COP Policy #	Policy	Response
	built heritage resources, and cultural heritage landscapes.	<p>The Site is listed on the Town of Amherstburg Heritage Register.</p> <p>The building is not designated under Part IV of the Ontario Heritage Act.</p> <p>A Heritage Alteration Permit will be required along with the required support studies prior to any construction or renovations commencing.</p> <p>An archaeological assessment will be completed for areas outside of the existing building envelope if required.</p>
6.A.6	Development and site alteration on protected heritage property or adjacent lands shall not be permitted, except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.	<p>The Applicant is committed to redeveloping the Site in a manner that respects the historical context, incorporates sustainable building features, and incorporates attainable and affordable housing opportunities and economic development.</p> <p>A Heritage Alteration Permit will be required along with the required support studies prior to any construction or renovations commencing.</p> <p>A Facade report has been prepared and summarized in Section 4.4.3 of this PJR.</p>
7.B.2.2 –IPZ and EBA	Intake Protection Zones are areas of land and water, where run-off from streams or	The Site is located within Schedule' C3' – Intake Protection Zones as "IPZ 2"

<b>COP Policy #</b>	<b>Policy</b>	<b>Response</b>
	drainage systems, in conjunction with currents in lakes and rivers, could directly impact on the source water at the municipal drinking water intakes. Schedule "C3" maps the three Intake Protection Zones within and surrounding the County.	and Schedule 'C4' – Event-Based Areas.  Permits will be obtained if required.
9.0 - Infrastructure	The County promotes efficient and environmentally responsible development and encourages new development and redevelopment to proceed on the basis of full municipal sewage services and municipal water services, as per the Provincial Planning Statement.	The Site has access to full municipal services.
10.0 – Energy, Air Quality and Climate Change	Energy efficiency and energy conservation are important elements of sustainable communities. Reduced energy demand allows for a more sustainable approach to the management of energy use and improved housing affordability.	Energy efficiency and energy conservation will be addressed at the time of a building permit.
11.0 - Transportation	The County supports the integration of land-use planning and transportation planning, recognizing that communities that move people and goods primarily by truck and automobiles lead to a sprawling and auto-centric urban form, whereas a human-centric and multi-modal approach creates vibrant, compact, and pedestrian-oriented communities.	The Site is located near major transportation networks, including Sandwich St S.  The Site is also pedestrian friendly and has access to regional transit.

Therefore, the proposed development conforms to the purpose and intent of the COP, and no amendment is required.

### 5.1.3 Town of Amherstburg Official Plan

The Town of Amherstburg Official Plan (OP) was adopted by Council on April 14, 2009.

The OP implements the COP and the PPS and establishes a policy framework to guide land use planning decisions related to development and the provision of infrastructure and community services throughout the Town.

The Site is designated "Institutional" according to Schedule "B2 – Land Use" attached to the OP for the Town of Amherstburg (see Figure 5 –OP).

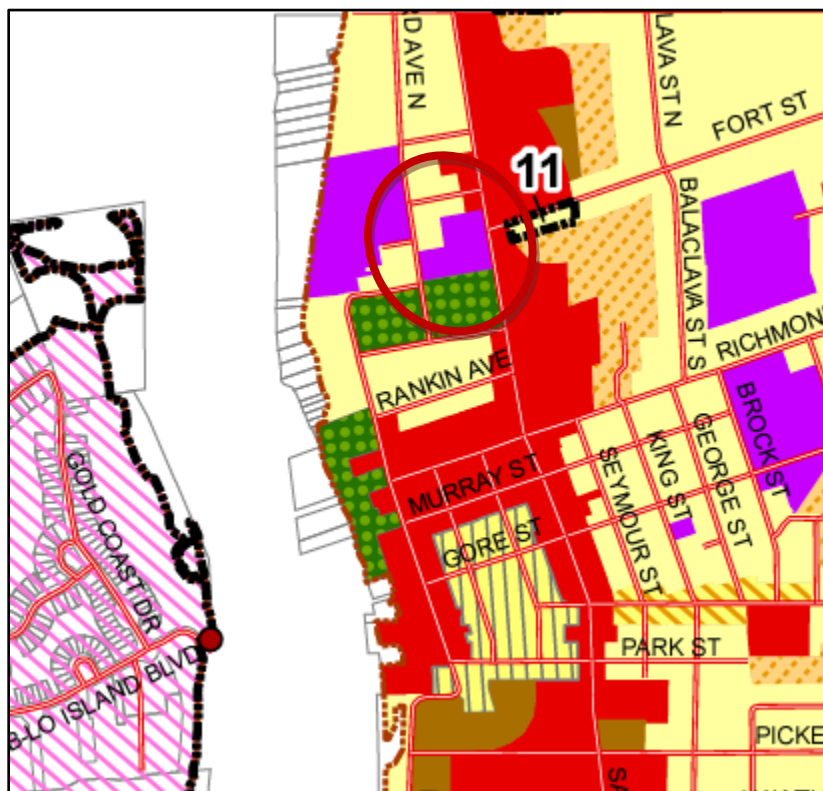


Figure 5 –OP

The Site is also subject to the following:

- Schedule 'D' – Road Classification, Sandwich Street South (County Road 20) is an Arterial Road

The following provides a summary of the key policy considerations of the OP as it relates to the proposed development.

<b>OP Policy #</b>	<b>Policy</b>	<b>Response</b>
1.7.4 – Growth and Development	The areas selected for new growth have been those areas that are currently or can be serviced with municipal sanitary sewer service and water supplies. For the most part areas selected for new development are extensions of established areas in order to efficiently provide (hard and soft) services to the residents of the community.	<p>The proposed development will support the need for growth on full municipal services.</p> <p>There will be no urban sprawl as the proposed development is within the existing settlement area and is an ideal development opportunity.</p>
1.7.8 - Servicing	It is a goal of the Town that the provision and extension of municipal services shall occur in an orderly sequence.	<p>There will be no negative impacts on the municipal system as the residential development will not add to the capacity in a significant way.</p> <p>An FSR has been provided.</p>
2.2 – Location of Development	In order to minimize the cost of services provided by all public agencies, no new development in the Town will be permitted in any location where it would contribute to a demand for public services that are not economically feasible to provide, improve, or maintain. Instead, development will be permitted only in locations where demands on public services will be minimized, or where it can most effectively utilize existing services, or where new services can be economically provided and maintained either by the Town or by the developer.	<p>Residential and commercial uses on the Site represent an efficient development pattern that optimizes the use of land in an existing built-up area that has residential uses surrounding the Site.</p> <p>The Site is located within an existing built up area of the Town where there are existing municipal services and community amenities.</p>
2.3 – Site Suitability	Prior to the approval of any development or amendment to this Plan or the Zoning By-Law, it shall be established to the satisfaction of Council and	The adaptive reuse of the existing building for the proposed residential and commercial units will not put any additional stress on



OP Policy #	Policy	Response
	<p>all other bodies having jurisdiction that: soil and drainage conditions are suitable to permit the proper siting of buildings; the services and utilities, whether they be municipal or private, can adequately accommodate the proposed development; the road system is adequate to accommodate projected increases in traffic; the land fronts on a public road (unless specifically noted as an approved private road) which is of a reasonable standard of construction; lot frontage and area is suitable for the proposed use and conforms to the standard required by the implementing By-Law; and, adequate measures will be taken to alleviate or prevent any adverse effects that the proposed use may possibly have upon any proposed or existing adjacent use or on the natural environmental features and functions.</p>	<p>municipal infrastructure or the current Site.</p> <p>The Site is flat, which is conducive to easy vehicular movement.</p> <p>A TIS has been prepared and is summarized in Section 4.4.1 of this PJR.</p> <p>There are no environmental concerns.</p>
2.5 – Industrial and Commercial Services	<p>The Town of Amherstburg wishes to encourage businesses and industries to locate within the community to provide employment opportunities and to increase the assessment base.</p> <p>The Town may also identify an area suitable for new format retail or service commercial opportunities while having regard for the existing commercial development. In doing so, the Town shall have</p>	<p>The proposed commercial portion of the development will provide for more jobs.</p> <p>An OPA and ZBA are required in order to permit the proposed uses.</p> <p>The Site is located in an area that will support commercial uses.</p>

OP Policy #	Policy	Response
	regard to the relevant policies of this Plan.	
2.6 – Water and Sewage	Urban development or redevelopment in the Town of Amherstburg shall be directed to established Settlement Areas and developed on the basis of public piped water and sanitary sewer systems.	The Site is located in the settlement area and has access to full municipal services.
2.7 – Stormwater Management	<p>Stormwater management shall be required to ensure that runoff is controlled such that development does not increase peak flows to any greater extent than pre-development runoff in watercourses that impact on downstream flooding, to institute runoff control to prevent accelerated enrichment of watercourses from pollutants, and to enhance water quality and aquatic habitat.</p> <p>Prior to any development being allowed to proceed, and if required by the Town of Amherstburg and/or the Essex Region Conservation Authority, the developer shall undertake an Engineering Study to determine the effect of increased run-off due to development of the site, and to identify stormwater management measures as necessary to control any increases in flows in downstream watercourses, up to and including the 1:100 year design storm, and to control the quality of the stormwater discharge from the site.</p>	The required FSR report has been provided.

OP Policy #	Policy	Response
2.11 - Buffering	<p>The proposed development and redevelopment of all land in the Town must generally be compatible with adjacent land uses.</p> <p>The Town may use Site Plan Control in accordance with Section 7.5 of this Plan to require buffering between uses of land where there may be conflicts such that one use may detract from the enjoyment and functioning of the adjoining use</p>	<p>Buffering will be addressed as part of SPC review.</p> <p>Buffering will include building design, such as step backs and specific construction material.</p> <p>Professional landscaping and fencing can be provided as well.</p>
2.12 – Heritage Conservation	<p>It is the policy of this Plan to encourage the restoration, protection, conservation, and maintenance of the Town's archaeological and heritage resources, which include buildings and structures of historical and/or architectural value, as well as the natural heritage landscape. All new development or redevelopment permitted by the policies and designations of this Plan shall have regard for the conservation of heritage resources.</p>	<p>The Applicant is committed to redeveloping the Site in a manner that respects the historical context and incorporates sustainable building features.</p> <p>A Heritage Alteration Permit will be required along with the required support studies prior to any construction or renovations commencing.</p> <p>An archaeological assessment will be completed for areas outside of the existing building envelope if required.</p>
2.19 – Smart Growth	<p>The Town of Amherstburg will continue to encourage development and redevelopment that addresses the principles of "Smart Growth".</p>	<p>The proposed development will support the Town policies on smart growth.</p> <p>The Site is within an existing built up area, pedestrian friendly and has access to nearby amenities.</p> <p>The proposed development represents an opportunity for</p>

OP Policy #	Policy	Response
		infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site that is no longer suited to its original institutional purpose.
4.1 – Settlement Areas, General	The land use designations and policies are intended to accommodate the anticipated population increases in a variety of locations, densities, and housing types as well as provide for employment opportunities, economic growth, recreational needs and institutional needs. T	The Site is located within the settlement area.
4.4.2 – General Commercial Areas	The uses permitted in the General Commercial designation shall include those <b>commercial establishments</b> offering goods and services which primarily serve the whole of the municipality's market area and shall include such uses as retail commercial establishments, places of entertainment, <b>assembly halls</b> , eating establishments, <b>hotels</b> , motels, <b>community facilities</b> , public uses, <b>recreational uses</b> , convenience stores whether in the form of individual stores or in a shopping centre form of construction and/or ownership, <b>and residential uses above the first floor.</b>	<p>The Site is designated "Institutional" according to Schedule "B2 – Land Use" attached to the Town of Amherstburg Official Plan (OP).</p> <p>It is proposed to change the designation to "General Commercial – Special Policy Area" in order to permit the proposed development.</p> <p>The Site is no longer suited to its original institutional purpose.</p>
	<b>Multi-family residential development will be considered as an alternative form of land use on lands designated General Commercial. Unless</b>	<p>Residential uses are permitted in the proposed new designation.</p> <p>A new mixed use building is proposed to be constructed</p>

OP Policy #	Policy	Response
	otherwise specified, the height of multi-family residential development within the General Commercial designation shall be limited to 5 storeys and unless a site specific zoning by-law states otherwise, residential units will not occupy the first floor abutting Richmond Street or Dalhousie Street.	with commercial on the main floor and 144 residential units above.  A ZBA is also required in order to permit the proposed development.  All CG zone provisions shall comply with the exemption of height.
	Hotels and multi-family residential development within the <b>Sandwich Street corridor (County Road 20) of the General Commercial designation may have heights of up to eight storeys.</b>	All CG zone provisions shall comply with the exemption of height.
	Retail uses requiring large enclosed or open storage areas such as, but not limited to, building supplies, warehouse outlets, food stores, and catalogue stores servicing domestic customers, may locate within the General Commercial designation located on Sandwich Street north of Alma Street or south of Park Street.	No open storage is required.
	Adequate buffer planting shall be provided between the commercial use and any adjacent residential areas and such buffer planting may include provisions for grass strips, berms, screening and appropriate planting of trees and shrubs, or distance, and all development will be subject to Site Plan Control and any lighting or signs shall be	Buffering will be addressed as part of SPC review.  Landscaping, fencing and specific building design can be provided.



OP Policy #	Policy	Response
	designed and arranged so as to be as least distracting as possible to adjoining residential uses.	
	Adequate parking facilities shall be provided for all permitted uses and access to such parking shall be designed in a manner that will minimize the danger to both vehicular and pedestrian traffic.	<p>Parking on-site and underground for a total of 262 vehicles is proposed for the commercial and residential, with access from Sandwich Street South and Laird Ave South. Parking for 93 vehicles is proposed on abutting lands.</p> <p>A TIS has been prepared, which includes sightline analysis and is summarized in Section 4.4.1 of this PJR.</p>
5.2.1 – Arterial Roads	<p>New industrial, commercial, institutional, and multiple family residential uses <b>may have access</b> to arterial roads but in each instance an attempt shall be made to group developments, in order to reduce the number of access points which could hinder the movement of traffic.</p> <p>Strip or linear development shall be discouraged. Where such conditions exist, the number of access points shall be reduced wherever possible.</p> <p>It is not the intention of this Plan that arterial roads existing in a built-up area will necessarily be widened, or that direct access will be eliminated or restricted, except where redevelopment is taking place.</p>	<p>Access to the Site is proposed to be from Sandwich Street South and Laird Ave South.</p> <p>A TIS has been prepared which includes sightline analysis and is summarized in Section 4.4.1 of this PJR.</p>
5.4 – Off Street Parking	This Plan proposes that sufficient off-street parking	Parking on-site and underground for a total of 262

OP Policy #	Policy	Response
	facilities be established as are required to serve the needs of the central business area. W	vehicles is proposed for the commercial and residential. Parking for 93 vehicles is proposed on abutting lands.  Parking requirements will be addressed as part of the proposed ZBA.
6.5 – Economic Development	It is the intent of this Plan to develop the Town to its fullest economic potential, while maintaining the quality of life existing residents have come to expect.	The proposed new employment opportunities will support the concept of a complete community where people can live, work and play.
6.6 – Housing, General	The Town of Amherstburg is concerned about the availability, affordability and appropriateness of the existing and future housing stock of the Town.	The proposed development provides more housing and economic development opportunities for the Town of Amherstburg.
6.6.2 – Housing, Objectives	To this end the Town of Amherstburg shall attempt to achieve the following objectives: (1) To encourage a broad range of housing types which are suitable for the different age groups, lifestyles, and household structure of existing and future residents. (2) To encourage an adequate supply of affordable housing as required by the provincial policy statement on housing. (3) To encourage the rehabilitation and maintenance of the existing housing stock. (4) To provide housing opportunities for those people in need of specialized care.	The proposed development will provide for new attainable and affordable housing.  The proposed tenure will be a mix of rental and individually owned units.  Residential unit sizes will vary. A mix of 1 bedroom, 2 bedroom and 3 bedroom units are proposed.
6.7 – Planning Impact Analysis	Proposals for changes in the use of land which require the application of a Planning Impact Analysis will be evaluated on the basis of: (1)	The Site is compatible with the surrounding area in terms of scale, massing, height and siting.

OP Policy #	Policy	Response
	<p>Compatibility of proposed uses with surrounding land uses, and the likely impact of the proposed development on present and future land uses in the area on the character and stability of the surrounding neighbourhood; (2) The height, location and spacing of any buildings in the proposed development, and any potential impacts on surrounding land uses; (3) The extent to which the proposed development provides for the retention of any desirable vegetation or natural features that contributes to the visual character of the surrounding area; (4) The proximity of any proposal for medium density residential development to public open space and recreational facilities, community facilities, municipal services, transit services, and the adequacy of these facilities and services to accommodate the development proposed; (5) The size and shape of the parcel of land on which a proposed development is to be located, and the ability of the site to accommodate the intensity of the proposed use; (6) The location of vehicular access points and the likely impact of traffic generated by the proposal on streets, on pedestrian and vehicular safety, including impact on the primary to secondary evacuation routes identified in the Amherstburg Emergency</p>	<p>The proposed height is appropriate for the Site and does not cause any shadow or privacy issues concerns.</p> <p>Step-backs will be located on all sides of the proposed building to assist in the transition of the building.</p> <p>All CG zone provisions shall comply with the exemption of height.</p> <p>There are nearby community facilities and services to accommodate the proposed development.</p> <p>The proposed development represents an opportunity for infilling and intensification within the existing built boundary to effectively and efficiently utilize the large Site that is no longer suited to its original institutional purpose.</p> <p>A TIS has been prepared which includes sightline analysis and is summarized in Section 4.4.1 of this PJR.</p> <p>The Applicant is committed to redeveloping the Site in a manner that respects the exterior historical context and incorporates sustainable building features.</p> <p>Lighting and screening will be addressed as part of SPC review.</p>

OP Policy #	Policy	Response
	Plan, and on surrounding properties; (7) The exterior design and layout of buildings and the integration of these uses with present and future land uses in the area; (8) The location of lighting and screening, and the adequacy of parking areas; (9) The provisions for landscaping and fencing; (10) The location of outside storage, garbage and loading facilities; (11) Conformity with the provisions of the Site Plan Control By-Law; (12) The design and location of signs, and the compliance of signs with the Sign Control By-Law; (13) Measures planned by the applicant to mitigate any adverse impacts on surrounding land uses and streets which have been identified as part of the Planning Impact Analysis.	<p>Landscaping will be professionally incorporated into the proposed development and will be addressed as part of SPC review.</p> <p>There will be no outside store. Refuse and loading spaces are to be addressed as part of SPC review.</p> <p>The Site will be subject to SPC review.</p> <p>The design and location of signs will be in compliance and subject to SPC review.</p> <p>The proposed development will blend well with its surroundings. No negative impacts are anticipated.</p>

Therefore, the proposed development conforms to the purpose and intent of the OP, with the proposed amendment.

#### 5.1.4 Town of Amherstburg Zoning By-law

The Town of Amherstburg Zoning By-law (ZBL) #1999-52 was passed by Council on May 2023.

A ZBL implements the PPS, the COP and the OP by regulating the specific use of property and providing for its day-to-day administration.

The Site is currently zoned "Institutional (I)" on Map 37 attached to the ZBL for the Town of Amherstburg (see Figure 6 – ZBL).



Figure 6 – ZBL

It is proposed to change the zoning to a site specific "Commercial General (CG-XX)" to permit the proposed development.

The following is proposed:

- A new office space is proposed to be constructed and includes a theatre.
- A new stand-alone commercial building is proposed to be constructed and includes a gym and retail space.
- A new mixed use building is proposed to be constructed with commercial on the main floor and residential units above.

The Applicant would also like the option to develop a hotel where a portion of the residential units are proposed.

A review of the CG zone provisions, as set out in Sections 15 of the ZBL, are as follows:



Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
Permitted Uses	amusement game establishment; animal hospital; art gallery; <b>assembly hall;</b> bakery shop; catalogue store; cinema; clinic; <b>commercial recreation</b> establishment; commercial school; continuum of care facility; data processing establishment; day care; department store; drive through facility; dry cleaning or laundry establishment or distribution centre; dwelling units restricted to above the first floor; existing place of worship; financial establishment; florist shop; food store; funeral home; hardware store; home and auto supply store; home appliance store; home decorating store; home for the	Retail  Restaurants  Institutional use (office space, theatre, etc)  Hotel (optional)  <b>Residential above commercial</b>	CG zone will permit the proposed commercial and institutional uses.  Residential above the commercial uses is required to be added as an additional permitted use.  The ZBL does not have a definition for mixed use building.

Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
	aged; home furnishing store; home improvement store; <b>hotel or motel</b> ; <b>institutional use</b> ; laboratory; laundromat; library; medical/dental office; merchandise service shop; marina; nursing home; office; parking lot; personal service shop; pharmacy; place of entertainment; printing shop; <b>public use</b> ; recreational establishment; repair and rental establishment; restaurant; restaurant, fast-food; <b>retail store</b> ; retirement lodge; studio supermarket; tavern; theatre; taxi establishment; vehicle repair shop; veterinarian clinic; video rental establishment;		

Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
	wholesale use accessory to a permitted CG use; any existing automotive use.		
Minimum Lot Area	No minimum	N/A	N/A
Minimum Lot Frontage	No minimum	N/A	N/A
Minimum Front Yard Depth	No Minimum except as provided in Section 3(23) thereof	N/A	N/A
Minimum Side Yard Width	No minimum  provided that where the interior side lot line abuts land in a zone other than a Commercial or <b>Institutional Zone, the minimum interior side yard width shall be 7 m.</b>	TBD	Shall comply  Site abuts I, R1-8 and RO zones.
Minimum Exterior Side Yard Width	No minimum	N/A	N/A
Minimum Rear Yard Depth	7.5 m	TBD – East Side/Sandwich St S	Shall comply
Minimum Dwelling Unit Area	55 m2	Dwelling Unit Area Vary	Complies

Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
		1 bedroom – 79.89 m <sup>2</sup> (860 ft <sup>2</sup> )  2 bedroom – 100.35 m <sup>2</sup> (1080 ft <sup>2</sup> )  3 bedroom – 139.35 m <sup>2</sup> (1500 ft <sup>2</sup> )	
Maximum Main Building Height	10 m	36.58 m (120 ft)	<p>Relief Required.</p> <p>A total of 11 storeys and 9 storeys are proposed.</p> <p>There is no anticipated shadow or privacy issues.</p> <p>All CG zone provisions shall comply with the exemption of height.</p> <p>Step-backs will be located on all sides of the proposed building to assist with the transition of abutting uses.</p> <p><i>HEIGHT" or "BUILDING HEIGHT", when used in reference to a building or structure, means the vertical distance between the horizontal plane through the average finished grade and a horizontal plane through: (i) (ii) (iii) (iv) (v) the highest point of the roof assembly in the case of a building with a</i></p>

Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
			<i>flat roof or deck roof, or in the case of an accessory structure; the average level of a one (1) slope roof, provided that a roof having a slope of less than twenty (20) degrees with the horizontal shall be considered a flat roof; the roof deck line, in the case of a mansard roof; the average level between eaves and ridges in the case of a roof type not mentioned in Subsections (a), (b) and (c) immediately preceding; where an exterior wall extends above the top of the roof of a building, the topmost part of such exterior wall.</i>
Accessible Spaces Section 3(23)(iv)d	<b>Two parking spaces</b> for the use of persons with disabilities <b>and an additional two per cent</b> of parking spaces for the use of persons with disabilities, where there are between 201 and 1,000 parking spaces must be parking spaces for the use of persons with	TBD	Shall Comply



Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
	disabilities in accordance with the ratio in subparagraphs b(i) and b(ii), rounding up to the nearest whole number.		
Minimum Parking Regulations Section 3(23)(b) - Residential	Apartment Building (144 x 1) <b>144</b>	180 provided	Complies  Additional parking of 36 spaces at the rate of 1.25 parking spaces per residential unit is proposed.
	-Hotel (optional) - 1.25 per unit = TBD	TBD	Shall comply.  The parking rate is the same as the proposed apartment building of 1.25 parking spaces per unit.
Minimum Parking Regulations Section 3(23)(c) – Non Residential	- Retail Area (12,800 SF ÷ 269 SF) <b>47</b>  - Restaurant (5,600 SF ÷ 161 SF) <b>35</b>  <b>Total Required = 82</b>	82 provided	Complies
	- office space (35,000 SF ÷ 376 SF) <b>93</b>	93	Complies

Zone Regulations	Required CG Zone	Proposed CG-XX Zone	Compliance and/or Relief Requested with Justification
			Additional parking is available on abutting lands.

Therefore, all CG zone provisions shall comply in order to permit the proposed development, with the following requested relief:

- increase the maximum main building height from 10 m to 36.58 m.

## **6.0 SUMMARY AND CONCLUSION**

### **6.1 Context and Site Suitability Summary**

#### **6.1.1 Site Suitability**

The Site is ideally suited for residential development for the following reasons:

- The land area is sufficient to accommodate the proposed development,
- The Site is flat, which is conducive to easy vehicular movement,
- The Site has access to full municipal water, storm and sewer systems,
- There are no anticipated traffic or parking concerns,
- There are no environmental concerns,
- Heritage will be respected, and
- There are no hazards.

#### **6.1.2 Compatibility of Design**

The Site is compatible with the surrounding area in terms of scale, massing, height and siting.

Step-backs will be located on all sides of the proposed building to assist in the transition of the building.

All CG zone provisions shall comply with the exemption of height.

The proposed building will be designed to ensure there are no shadow or privacy concerns.

The development is proposed to be an efficient use of the large Site, which is no longer needed as a high school.

#### **6.1.3 Good Planning**

The proposal represents good planning as it addresses the need for the Town to provide housing and commercial uses, which will contribute toward a complete community where people can live, work and play.

The proposed development will contribute toward infilling requirements while respecting the heritage context of the former high school.

Residential and commercial uses on the Site represent an efficient development pattern that optimizes the use of land in an existing built-up area that has residential uses surrounding the Site.

The adaptive reuse of the existing building for the proposed residential and commercial units will not put any additional stress on municipal infrastructure or the current Site.

#### **6.1.4 Natural Environment Impacts**

The proposal does not have any negative natural environmental impacts, as there are no natural heritage features on the Site.

#### **6.1.5 Municipal Services Impacts**

There will be no negative impacts on the municipal system as the residential development will not add to the capacity in a significant way.

#### **6.1.6 Social, Cultural and/or Economic Conditions**

The proposed development does not negatively affect the social environment as the Site is in close proximity to major transportation networks, transit, parks, places of worship and community amenities.

The proposed development does not cause any public health and safety concerns.

The proposal represents a cost-effective development pattern that minimizes land consumption and servicing costs.

There will be no urban sprawl as the proposed development is within the existing settlement area and is an ideal development opportunity.

The Applicant is committed to redeveloping the Site in a manner that respects the historical context and incorporates sustainable building features.

## **6.2 Conclusion**

The proposed development on the Site is appropriate and the OPA and ZBA should be approved by the Town of Amherstburg.

This PJR has shown that the proposed development is consistent with the PPS, conforms with the intent and purpose of the COP, OP and ZBL, and represents good planning.

#### **Planner's Certificate:**

I hereby certify that this report was prepared by Tracey Pillon-Abbs, a Registered Professional Planner, within the meaning of the Ontario Professional Planners Institute Act, 1994.

  
**Tracey Pillon-Abbs, RPP**  
**Principal Planner**



# OPEN HOUSE REPORT

## OFFICIAL PLAN AND ZONING BY-LAW AMENDMENTS FOR PROPOSED MIXED USE DEVELOPMENT

130 Sandwich Street South,  
Town of Amherstburg

March 25, 2025

Prepared by:



Tracey Pillon-Abbs, RPP  
Principal Planner  
Chatham, ON  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)



# Open House Report

In addition to the statutory public meeting, the *Planning Act* requires that the Applicant submit a proposed strategy for public consultation with respect to an application as part of the complete application requirements.

As part of a public consultation strategy, in addition to the statutory public meeting, an informal in-person public open house was held with area residents and property owners on March 20, 2025, from 5:00 pm to 7:00 pm at Libro Centre, 3295 Meloche Rd, Amherstburg, ON.

The open house provided members of the public with opportunities to review and comment on the proposed development.

A total of **60** owners and tenants were notified, which represents a **120 m (plus)** radius from the Site (see attached notice).

In addition to the applicant representatives and Town Staff, 81 residents attended the open house (see attached sign-in sheet).

Email (see attached emails), phone calls and comment sheets (see attached comments) were also received.

The following is a summary of the comments and questions received, along with the responses provided (see attached copy display items).

Topic Item	Comments and Questions	Response
Timing	When will this be constructed?	TBD
Design	Overall, the design is great.  Looks like a good project for the Town.  Excited to see the 'flex' space as a civic theatre. Amherstburg is rich in culture and artistic talent.  Building looks nice.  It does not contribute to an 'old town' look.  Love the design.  Parking, historical preservation, mixed use space all seem to be well considered.	Noted.

Topic Item	Comments and Questions	Response
Heritage	<p>How much of the original school will be kept?</p> <p>Glass is nice.</p> <p>Glass is not nice.</p> <p>Do not make it look too modern.</p> <p>Attempting to shroud it with a reflective, glassed-in portico will only obscure its visibility.</p>	<p>The final design of the proposed building will keep as much of the original school as possible.</p>
Traffic	<p>Laird Ave and Sandwich are currently a concern.</p> <p>Traffic is not safe now.</p> <p>Traffic will increase.</p> <p>There needs to be a traffic light at Sandwich and Fort St.</p> <p>Sandwich St cannot handle any more traffic.</p> <p>More lanes and stoplights should be added.</p> <p>Add traffic calming measures to Laird which would further encourage people to use the Sandwich Street entrance.</p>	<p>A TIS has been completed.</p> <p>There are no concerns regarding traffic.</p>
Parking	<p>How deep is the underground parking garage?</p> <p>Where does overflow parking go?</p> <p>There needs to be more parking.</p> <p>Reverse the ramp direction so it's easier for people to get straight down to their parking from Sandwich than from Laird.</p>	<p>1 storey is underground.</p> <p>On-street parking is available.</p> <p>Parking has been evaluated and more than the minimum provided, as set out in the ZBL.</p> <p>The final design of the proposed building will be subject to SPC review.</p>
Access	<p>Should be somewhere else on the Site.</p>	<p>The TIS has been completed and has evaluated sight-lines.</p>

Topic Item	Comments and Questions	Response
	<p>Align it better.</p> <p>Make it a clean four way intersection.</p> <p>Encourage residents and users of the new facility to enter and leave via Sandwich Street,</p>	<p>There are no concerns regarding access.</p>
Dust	This development will cause more dust in the area.	Dust can be controlled during construction.
Noise	This development will cause more dust in the area.	<p>Noise can be controlled during construction.</p> <p>The Town also has a noise by-law.</p>
Height	<p>This will cast shadows.</p> <p>Height is too tall.</p> <p>There will be a loss of sunlight.</p> <p>Do not compromise on the height.</p> <p>5-6 storeys max.</p> <p>Inappropriate and does not compliment the Town.</p>	<p>A shadow study will be provided as part of SPC review. It is anticipated that there will be the very minor impact on the abutting property.</p> <p>The final design of the proposed building will include architectural features that will assist in the transition.</p>
Park	<p>Want the park to stay.</p> <p>The ball diamonds are heritage features.</p> <p>Will the ball diamonds be re-located?</p> <p>There is 1 large tree in the park which is historical.</p> <p>What are the impacts?</p>	<p>The park is not part of the Site.</p> <p>There are no negative impacts.</p>
Tenure and Affordability	<p>Will the units be rentals?</p> <p>Will they be affordable?</p> <p>What if there are vacancies?</p>	<p>The tenure will be both rental and individually owned.</p> <p>Affordability is being addressed by providing smaller 1-2 bedroom units.</p>

Topic Item	Comments and Questions	Response
		Vacancies may occur.
Taxes and Property Value	This will increase taxes and decrease property values.	Taxes and property value may go up or may go down.
Parking	Do not want to lose the 21 parking spaces along Park Street.	The parking spaces are not part of the Site.
Buffering	More landscaping is required.  Tall fences are preferred.	The final design of the Site will be reviewed as part of SPC approval.  There is buffering on the east side of the Site.  There is a 6ft fence with trees proposed and greenery as additional layering of privacy.
Uses and Location	Residential is needed.  Residential is not needed.  Hotel is a great idea.  Build someplace else.	The proposed development has been selected due to its location.  The Site is pedestrian friendly.  There is a need for more housing.
Appeals	Are there appeal rights?	The OLT is the appeal body.  Third-party appeals are not permitted.
Abutting Lands	Change is okay.  No concerns with the proposed development.	Noted.  The tower will be 100 ft away from the closest abutting residential dwelling.
Parades and Events	All streets are closed during parades and events.  There will not be any access to the Site during this time.	The property owners will work with the Town during parades and events.
Environmental	There needs to be an environmental impact study.	The study is not warranted for the Site.  There are no natural heritage features.
Infrastructure	Ensure that the fire department can service an emergency on the top floors.	A FSR has been completed.  No concerns were raised.

Topic Item	Comments and Questions	Response
	<p>Ensure that the historically weak sewage and water system on Laird can handle the increased demand</p> <p>Ensure that Sandwich can handle the increased load (especially as an emergency egress passage in case of nuclear accident).</p>	<p>The final design of the Site will be subject to SPC review.</p>



## Notice

# NOTICE OF PUBLIC OPEN HOUSE

PROPOSED MIXED USE DEVELOPMENT  
130 Sandwich Street South, Amherstburg, Ontario

The purpose of the informal applicant-led public open house is to obtain feedback from area residents and property owners regarding the proposed development, on the lands shown in the area outlined in **blue** on the key map below.

**DATE:** Thursday, March 20, 2025

**TIME:** 5:00 pm to 7:00 pm

**LOCATION:** Libro Centre, 3295 Meloche Rd, Amherstburg, ON

The Site is made up of 1 parcel of land, which currently has the former General Amherst High School building, which is now vacant.

The Applicant is proposing a redevelopment of the Site for residential, institutional and commercial uses.



A new stand-alone commercial building is proposed to be constructed and includes a gym and retail space. A new mixed use building is proposed to be constructed with commercial on the main floor and a total of 144 residential units above. The proposed building will be constructed in 2 blocks (Towers). Sandwich Street Tower will be 8 storeys with 79 residential units. Park Side Tower will be 11 storeys with 65 residential units. The Applicant would also like the option to develop a hotel where a portion of the residential units are proposed (floors 2-3 of the Sandwich St Tower). Parking on-site and underground for a total of 262 vehicles is proposed for the commercial and residential, with access from Sandwich Street South and Laird Ave South. A new Town Hall is proposed and currently under negotiations and review of feasibility and costs. While no final decision has been made by Council for purposes of transparency on the potential redevelopment, it includes elements for the area of a Town Hall and Civic Theatre. Parking for 93 vehicles is proposed for the municipal office in the park. The proposed development will also incorporate connections to future parkland and public space into the design (see the concept plan on the **back** of this notice).

The applicant's representatives will be in attendance at the open house to answer questions with respect to the proposed development. Town of Amherstburg Staff will also be in attendance as observers.

If you wish to attend the open house, obtain additional information, or submit comments to the applicant, please contact Tracey Pillon-Abbs, RPP, Principal Planner, Pillon Abbs Inc., 23669 Prince Albert Road, Chatham, ON, N7M 5J7, 226-340-1232, [tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca).



## Display Items













 architecttura

  
**VALENTE**  
DEVELOPMENT

SANDWICH STREET





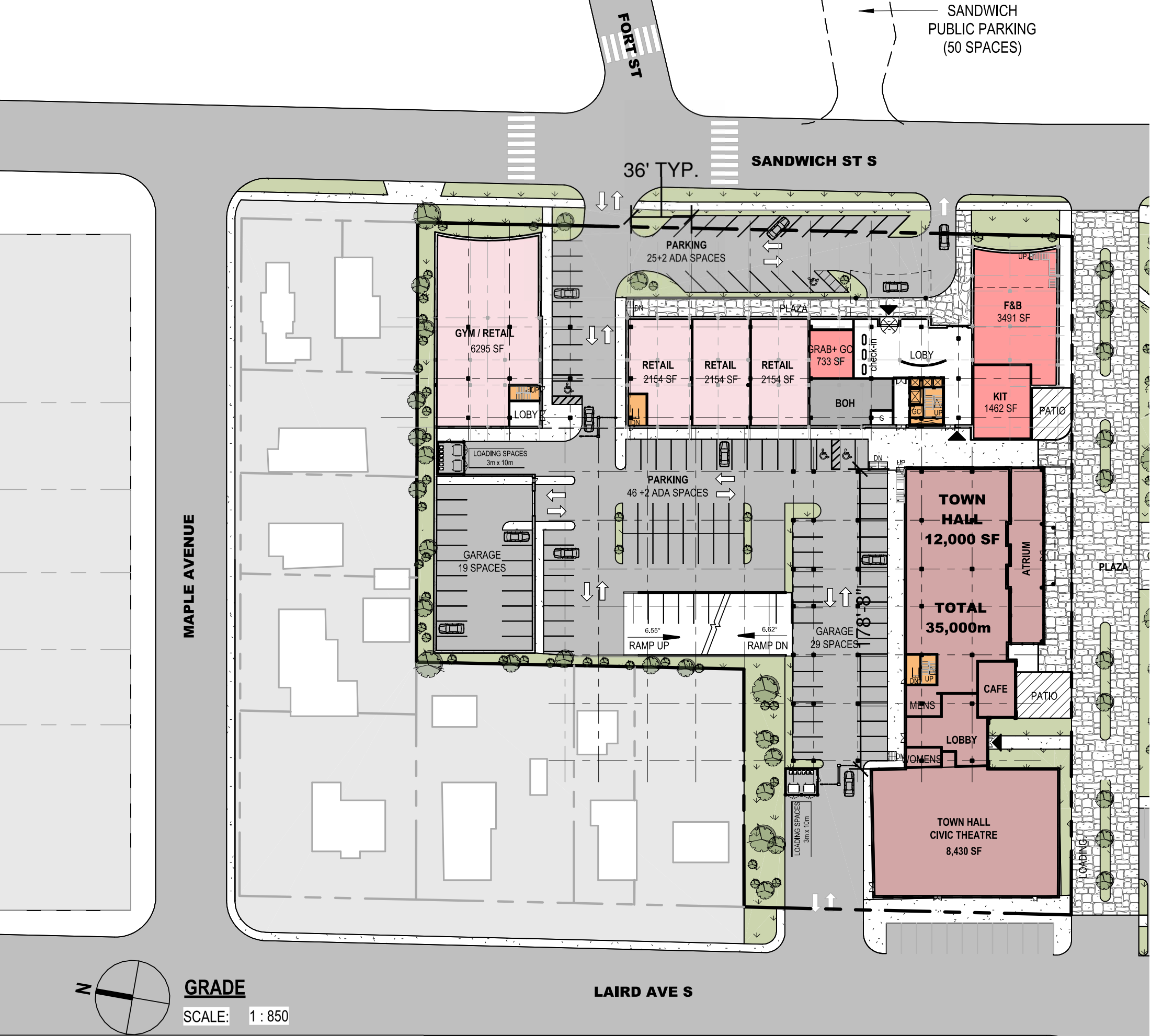














## Emails

**From:** [Tracey Pillon-Abbs](#)  
**To:** [Bryan Atkins](#); [Michael Prue](#)  
**Cc:** [Michael Prue](#); [dpouget@amherstburg.ca](#); [dinearthur@amherstburg.ca](#); [Chris Gibb](#); [councilmailgroup@amherstburg.ca](#)  
**Subject:** RE: New development general amherst  
**Date:** March 17, 2025 9:23:00 AM  
**Attachments:** [Notice FINAL V2.pdf](#)

---

Good Morning Bryan

Please see attached the applicant-led notice of open house. The notice also has a concept plan.

I confirm notices were sent to abutting neighbours 120 m radius of the subject property on February 14, 2025.

Please let me know if you require anything further at this time.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

*Out of office alert: I will be away from the office, working remotely from April 4/25 to April 18/25. I will be checking emails, however my responses may be delayed.*

---

**From:** Bryan Atkins <[atkinsbw@hotmail.com](mailto:atkinsbw@hotmail.com)>  
**Sent:** March 16, 2025 4:43 PM  
**To:** Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>; Michael Prue <[mprue@amherstburg.ca](mailto:mprue@amherstburg.ca)>  
**Cc:** Michael Prue <[mprue@amherstburg.ca](mailto:mprue@amherstburg.ca)>; [dpouget@amherstburg.ca](mailto:dpouget@amherstburg.ca); [dinearthur@amherstburg.ca](mailto:dinearthur@amherstburg.ca); [Chris Gibb <cgibb@amherstburg.ca](mailto:Chris Gibb <cgibb@amherstburg.ca)>; [councilmailgroup@amherstburg.ca](mailto:councilmailgroup@amherstburg.ca)  
**Subject:** New development general amherst

Hello Tracey, Mr Mayor, Molly, Diane, Chris

I am writing to show my disapproval for this development (old high school, general amherst).  
The sandwich street cannot handle the increased traffic that this will cause.

I would like more details where the parking will be located and it's entrances. Could I also have the original public notice to review as well. With the sort notice I will not be able to meet in person as my work requires two weeks notice for time off  
Thank you

Sent from my Bell Samsung device over Canada's largest network.

**From:** [Tracey Pillon-Abbs](#)  
**To:** [garry trupp](#)  
**Subject:** RE: NOTICE OF PUBLIC OPEN HOUSE  
**Date:** March 4, 2025 11:43:00 AM

---

Good Morning Gary

Thank you for your email.

I confirm that there will NOT be any coffee or donuts.

As noted in the notice of open house, all emails will be included in the submission package to the Town of Amherstburg Council and may be part of the public record.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

---

**From:** garry trupp <[gwtrupp@hotmail.com](mailto:gwtrupp@hotmail.com)>  
**Sent:** March 4, 2025 11:39 AM  
**To:** Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>  
**Subject:** NOTICE OF PUBLIC OPEN HOUSE

Hey Tracey, I received your letter regarding the open house on March 20th.  
I will attend, and was wondering if there will be coffee and donuts, preferably chocolate dip, and chocolate glaze?

Garry Trupp 117 Fort St. Amherstburg.



**From:** [Tracey Pillon-Abbs](#)  
**To:** [fortmalden \(PC\)](#)  
**Subject:** RE: Notice of Public Open House - this Thursday  
**Date:** March 17, 2025 9:29:00 AM  
**Attachments:** [Notice FINAL V2.pdf](#)

---

Good Morning Alex

I confirm the open house is scheduled for this Thursday. You are welcome to attend.

Please see attached the applicant-led notice of open house, which was mailed to abutting property owners 120 m radius of the subject property on February 14, 2025.

I do see that the notice was sent to:

PARKS CANADA  
111 WATER STREET EAST  
CORNWALL ON N6H6S3

The notice also has a concept plan.

Please let me know if you require anything further at this time.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

*Out of office alert: I will be away from the office, working remotely from April 4/25 to April 18/25. I will be checking emails, however my responses may be delayed.*

---

**From:** fortmalden (PC) <~~fortmalden@pc.gc.ca~~>  
**Sent:** March 17, 2025 8:48 AM  
**To:** Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>  
**Subject:** Notice of Public Open House - this Thursday

Good Morning Tracey,

We learned that there was a letter sent out to neighbours surrounding the General Amherstburg High School development in Amherstburg, inviting them to attend a public open house this Thursday. Fort Malden National Historic Site is directly across the road and would very possibly be impacted in some way, yet we did not receive this letter.

Can you please confirm that there is indeed an open house this Thursday and if we are welcome to attend?

Thank you kindly.

Alex

Alex Dale

Interpretation Officer, Fort Malden National Historic Site

Parks Canada, Government of Canada

~~[alexander.dale@pc.gc.ca](mailto:alexander.dale@pc.gc.ca) | Tel. 519-736-5416 Mobile: 226-245-9752~~

Agent d'Interprétation, Lieu Historique National du Fort-Malden

Parcs Canada, Gouvernement du Canada

~~[alexander.dale@pc.gc.ca](mailto:alexander.dale@pc.gc.ca) | Tel. 519-736-5416 Mobile: 226-245-9752~~

**From:** [Tracey Pillon-Abbs](#)  
**To:** ~~"mailto@river-towntimes.com";~~ [Pillon Abbs Inc.](#)  
**Subject:** RE: A message from your Pillon Abbs Inc. contact form  
**Date:** March 17, 2025 9:26:00 AM  
**Attachments:** [Notice FINAL V2.pdf](#)

---

Good Morning Ron

I confirm the open house is scheduled for this Thursday.

Please see attached the applicant-led notice of open house, which was mailed to abutting property owners 120 m radius of the subject property on February 14, 2025.

The notice also has a concept plan.

Please let me know if you require anything further at this time.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

---

**From:** Pillon Abbs Inc. <notice@godaddy.com>  
**Sent:** March 16, 2025 5:46 PM  
**To:** Pillon Abbs Inc. <tpillonabbs@gmail.com>  
**Subject:** A message from your Pillon Abbs Inc. contact form

## Pillon Abbs Inc. has received a new message.

**Name**  
Ron Giofu

**Email**

~~[mail@rivertowntimes.com](mailto:mail@rivertowntimes.com)~~

**Message**

Is there a public open house this Thursday evening at the Libro Centre regarding the proposed development of the former General Amherst High School site?

I am seeing posts on social media with your firm's name in it that says eight and 11 storey towers are proposed.

Can you confirm if this is the case?

Thanks,

Ron Giofu

**Device**

mobile

**Language**

en-CA

**Submitted from**

Contact



**From:** [Wanda King](#)  
**To:** [Tracey Pillon-Abbs](#)  
**Subject:** Re: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On  
**Date:** March 10, 2025 10:46:26 AM

---

Good morning Tracey.. Thank you for your response. I do know this is all in the planning stages and appreciate the opportunities to comment and voice concerns as it will have a great impact on my property.  
Have a terrific day  
Wanda King

On Mon, Mar 10, 2025 at 10:41 AM Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)> wrote:  
Good Morning Wanda

I confirm receipt of your email.

Your questions and comments will be reviewed with the development team.

At this time, the site plan is conceptual. The application is for an amendment to the Town's official plan and zoning bylaw. The detailed design of the site will be part of a future site plan control application.

As noted in the open house notice, all emails will be included in the submission package to the Town of Amherstburg Council and may be part of the public record.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

Out of office alert: I will be away from the office, working remotely from Mar 10/25 to Mar 14/25. I will be checking emails, however my responses may be delayed.

-----Original Message-----

From: Wanda King <~~[wandavkeith@gmail.com](mailto:wandavkeith@gmail.com)~~>  
Sent: March 9, 2025 1:45 PM  
To: Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>  
Subject: Proposed Mixed Use development at [130 Sandwich St S Amherstburg, On](#)

Dear Ms Pillon:

I am contacting you in regards to the Valente Property Development as I live at [123 Laird Av S](#) which is directly beside the building. I am aware that I will be impacted on the South and West sides. In viewing the original proposal at the first open house, I knew that there would be a laneway along side of me, as well as a parking lot at the rear of my property. The Architect assured me that there would be a type of sound barrier going the length and across the back. In the proposal it showed the building to go up several stories to accommodate condominiums. My impression of the original drawings were that having the higher areas back away from the rear of my property the idea of having the Amherstburg Town Hall, Civic Centre was positive. Unfortunately with this new development it will greatly impact the home that I have invested much time and money. I will totally lose my privacy in my backyard and will endure the traffic on both the rear and sides as well as my property value.

The new proposed drawing that you mailed does have some changes that causes concern.

1) Unaware of a Underground Parking Garage

- Looks like ramps are directly behind the back of my property
- What is the distance from my lot line to accommodate these ramps
- I have several trees outlining my property, concerned of root system damage with them digging down for the underground garage
- Have an issue with the noise traffic involved with the laneway on the side as well as vehicles going up and down into an underground garage  
accommodating as many units as proposed
- There is chain link fencing as well as my wood fence surrounding my yard, will that be removed?
- There is a marked area on your drawing coming over onto the rear of my and my neighbours yard.. unsure of what that is indicating?

2) Height of two buildings

- In this proposal it states the one building on the Sandwich Street side be eight storeys and the Park Side be eleven storeys which will severely impact my backyard  
privacy but also the sunlight affecting my plants and wildlife.
- There will also be many balconies and a roof top patios overlooking my yard as well
- In Amherstburg, the highest building is eight storeys
- I would ask that the Sandwich St Tower have a maximum of six storeys and the Park side have a max of eight storeys
- Having such tall buildings in a residential neighbourhood, across from the Heritage Fort Malden would impact the area both aesthetically and amount of traffic to  
accommodate that amount of people living in the condos as well as parking for 262 vehicles.

I have conferred with Peter Valente and have been aware of the proposal from the start, which I am not opposed to, but given the impact it will have on my home I do have some concerns and reservations about this updated proposal.

I look forward to your response and can be contacted by email or my phone number is 226-975-3348 where you can leave a message as I don't answer any unfamiliar calls and I will call you in return.

Thanking you in advance



**From:** [Dan Soleski](#)  
**To:** [Tracey Pillon-Abbs](#); [Wanda King](#)  
**Cc:** [\[REDACTED\]](#)  
**Subject:** Re: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On  
**Date:** March 13, 2025 11:11:55 AM  
**Attachments:** [Outlook-gdvar3ml.png](#)  
[Outlook-LinkedIn](#)  
[Outlook-Instagram](#)  
[Outlook-Twitter](#)  
[Outlook-Facebook](#)

---

Hi Wanda, i am just back from some vaca.

Wanted to acknowledge receipt of your comments.

I have responded below as comparative to prior version presented in first town hall.

-Originally east green buffer was 0' wide, now 30' wide. So substantially better.

There will be a solid 6' fence with trees and greenery as additional layering of privacy.

-The ramps where existent on original plan and much closer to your home and property than currently proposed.

There was always hidden parking of 1 partial floor of underground and on 2 nd level under tower to minimize impact of parking at grade.

-The tower is 100' away from your home approximately and that has not changed at 11 storeys proposed.

We have studied shadows and based on results there is very minor impact on you property. The current condition of the school walls actually create arguably more impact than proposed.

We could look at lower but denser trees along east side to keep as much sun on your property as possible.

New trees would provide more shade than building.

-As for height proposed, this is a maximum height at southern end and we are currently exploring moving building eastward slightly as much as possible.

So compared to prior, this will also be improved.

-I'm not sure what you mean by encroaching grey area on neighbour, as there is a continuous fence and green buffer for all residential adjacencies.

Overall we listened to your original comments and made many improvements in relation to impacts on your property.

I can talk thru each of your points on a call as needed. My cell number is below.

Thank You.

**Daniel Soleski** m.arch  
Design Principal



180 Eugenie St. West  
Windsor, Ontario, Canada N8X 2X6

~~C: 519.255.1360~~

~~C: 519.848.8874~~

~~E: [dsoleski@architectura.com](mailto:dsoleski@architectura.com)~~



---

**From:** Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>

**Sent:** Monday, March 10, 2025 10:40 AM

**To:** Wanda King <~~[wanda@smith@gmail.com](mailto:wanda@smith@gmail.com)~~>

**Cc:** Dan Soleski <[dsoleski@architectura.com](mailto:dsoleski@architectura.com)>; [pvalente@valentecorp.com](mailto:pvalente@valentecorp.com) <[pvalente@valentecorp.com](mailto:pvalente@valentecorp.com)>

**Subject:** RE: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On

Good Morning Wanda

I confirm receipt of your email.

Your questions and comments will be reviewed with the development team.

At this time, the site plan is conceptual. The application is for an amendment to the Town's official plan and zoning bylaw. The detailed design of the site will be part of a future site plan control application.

As noted in the open house notice, all emails will be included in the submission package to the Town of Amherstburg Council and may be part of the public record.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
tracey@pillonabbs.ca  
[https://linkprotect.cudasvc.com/url?  
a=https%3a%2f%2fwww.pillonabbs.ca&c=E,1,9bZZkxxXQwUNR7AFMJZxQBmxP8YoCYoVaPvlg9L4cXofOG1YwQ4VYxystzloo8E-8LzDjbe4tV5eD9CyxQ5EQF2TR99nZzR5lcP1dPcFufLZ8O2W25\\_D&typo=1](https://linkprotect.cudasvc.com/url?u=https%3a%2f%2fwww.pillonabbs.ca&c=E,1,9bZZkxxXQwUNR7AFMJZxQBmxP8YoCYoVaPvlg9L4cXofOG1YwQ4VYxystzloo8E-8LzDjbe4tV5eD9CyxQ5EQF2TR99nZzR5lcP1dPcFufLZ8O2W25_D&typo=1)

Out of office alert: I will be away from the office, working remotely from Mar 10/25 to Mar 14/25. I will be checking emails, however my responses may be delayed.

-----Original Message-----

From: Wanda King <~~wanda.king@gmail.com~~>  
Sent: March 9, 2025 1:45 PM  
To: Tracey Pillon-Abbs <tracey@pillonabbs.ca>  
Subject: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On

Dear Ms Pillon:

I am contacting you in regards to the Valente Property Development as I live at 123 Laird Av S which is directly beside the building. I am aware that I will be impacted on the South and West sides. In viewing the original proposal at the first open house, I knew that there would be a laneway along side of me, as well as a parking lot at the rear of my property. The Architect assured me that there would be a type of sound barrier going the length and across the back. In the proposal it showed the building to go up several stories to accommodate condominiums. My impression of the original drawings were that having the higher areas back away from the rear of my property the idea of having the Amherstburg Town Hall, Civic Centre was positive. Unfortunately with this new development it will greatly impact the home that I have invested much time and money. I will totally lose my privacy in my backyard and will endure the traffic on both the rear and sides as well as my property value.

The new proposed drawing that you mailed does have some changes that causes concern.

1) Unaware of a Underground Parking Garage

- Looks like ramps are directly behind the back of my property
- What is the distance from my lot line to accommodate these ramps
- I have several trees outlining my property, concerned of root system damage with them digging down for the underground garage
- Have an issue with the noise traffic involved with the laneway on the side as well as vehicles going up and down into an

underground garage

accommodating as many units as proposed

- There is chain link fencing as well as my wood fence surrounding my yard, will that be removed?
- There is a marked area on your drawing coming over onto the rear of my and my neighbours yard.. unsure of what that is indicating?

2) Height of two buildings

- In this proposal it states the one building on the Sandwich Street side be eight storeys and the Park Side be eleven storeys which will severely impact my backyard

privacy but also the sunlight affecting my plants and wildlife.

- There will also be many balconies and a roof top patios overlooking my yard as well
- In Amherstburg, the highest building is eight storeys
- I would ask that the Sandwich St Tower have a maximum of six storeys and the Park side have a max of eight storeys
- Having such tall buildings in a residential neighbourhood, across from the Heritage Fort Malden would impact the area both

aesthetically and amount of traffic to

accommodate that amount of people living in the condos as well as parking for 262 vehicles.

I have conferred with Peter Valente and have been aware of the proposal from the start, which I am not opposed to, but given the impact it will have on my home I do have some concerns and reservations about this updated proposal.

I look forward to your response and can be contacted by email or my phone number is 226-975-3348 where you can leave a message as I do not answer any unfamiliar calls and I will call you in return.



Thanking you in advance  
Wanda King

**From:** [Tracey Pillon-Abbs](#)  
**To:** [Wanda King](#)  
**Cc:** [Dan Soleski](#); [dvalente@valentecorp.com](mailto:dvalente@valentecorp.com)  
**Subject:** RE: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On  
**Date:** March 10, 2025 10:40:00 AM

---

Good Morning Wanda

I confirm receipt of your email.

Your questions and comments will be reviewed with the development team.

At this time, the site plan is conceptual. The application is for an amendment to the Town's official plan and zoning bylaw. The detailed design of the site will be part of a future site plan control application.

As noted in the open house notice, all emails will be included in the submission package to the Town of Amherstburg Council and may be part of the public record.

Thanks,

Tracey Pillon-Abbs, RPP  
Principal Planner

Pillon Abbs Inc.  
23669 Prince Albert Road,  
Chatham, ON N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)  
[www.pillonabbs.ca](http://www.pillonabbs.ca)

Out of office alert: I will be away from the office, working remotely from Mar 10/25 to Mar 14/25. I will be checking emails, however my responses may be delayed.

-----Original Message-----

From: Wanda King <[wanda.keith@gmail.com](mailto:wanda.keith@gmail.com)>  
Sent: March 9, 2025 1:45 PM  
To: Tracey Pillon-Abbs <[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)>  
Subject: Proposed Mixed Use development at 130 Sandwich St S Amherstburg, On

Dear Ms Pillon:

I am contacting you in regards to the Valente Property Development as I live at 123 Laird Av S which is directly beside the building. I am aware that I will be impacted on the South and West sides. In viewing the original proposal at the first open house, I knew that there would be a laneway along side of me, as well as a parking lot at the rear of my property. The Architect assured me that there would be a type of sound barrier going the length and across the back. In the proposal it showed the building to go up several stories to accommodate condominiums. My impression of the original drawings were that having the higher areas back away from the rear of my property the idea of having the Amherstburg Town Hall, Civic Centre was positive. Unfortunately with this new development it will greatly impact the home that I have invested much time and money. I will totally lose my privacy in my backyard and will endure the traffic on both the rear and sides as well as my property value.

The new proposed drawing that you mailed does have some changes that causes concern.

1) Unaware of a Underground Parking Garage

- Looks like ramps are directly behind the back of my property
- What is the distance from my lot line to accommodate these ramps
- I have several trees outlining my property, concerned of root system damage with them digging down for the underground garage
- Have an issue with the noise traffic involved with the laneway on the side as well as vehicles going up and down into an underground garage
  - accommodating as many units as proposed
- There is chain link fencing as well as my wood fence surrounding my yard, will that be removed?
- There is a marked area on your drawing coming over onto the rear of my and my neighbours yard.. unsure of what that is indicating?

2) Height of two buildings

- In this proposal it states the one building on the Sandwich Street side be eight storeys and the Park Side be eleven storeys which will severely impact my backyard
  - privacy but also the sunlight affecting my plants and wildlife.
- There will also be many balconies and a roof top patios overlooking my yard as well
- In Amherstburg, the highest building is eight storeys
- I would ask that the Sandwich St Tower have a maximum of six storeys and the Park side have a max of eight storeys
- Having such tall buildings in a residential neighbourhood, across from the Heritage Fort Malden would impact the area both aesthetically and amount of traffic to
  - accommodate that amount of people living in the condos as well as parking for 262 vehicles.

I have conferred with Peter Valente and have been aware of the proposal from the start, which I am not opposed to, but given the impact it will have on my home I do have some concerns and reservations about this updated proposal.

I look forward to your response and can be contacted by email or my phone number is 226-975-3348 where you can leave a message as I don't answer any unfamiliar calls and I will call you in return.

Thanking you in advance  
Wanda King

**From:** [Daryll Fogal](#)  
**To:** [Tracey Pillon-Abbs](#)  
**Subject:** General Amherst High School Redevelopment Plans  
**Date:** March 20, 2025 7:00:48 PM

---

Hi Tracey:

Thank you for running the information event. Here's a few thoughts and suggestions - worked up in part with your Architect Dan.

**Managing Traffic on Laird.**

- 40(ish) homes currently are on Laird. When it becomes 215 homes could make a traffic problem on Laird (5x increase)
- Encourage residents and users of the new facility to enter and leave via Sandwich Street
  - Align the porte-cochere with the light to Fort street making it easy to go left and right onto Sandwich. Make it a clean four way intersection. One store might have to be relocated to abut the health club.
  - Reverse the ramp direction so it's easier for people to get straight down to their parking from Sandwich than from Laird. This has no incremental cost.
  - Add traffic calming measures to Laird which would further encourage people to use the Sandwich Street entrance.

**Infrastructure**

- Ensure that the fire department can service an emergency on the top floors
- Ensure that the historically weak sewage and water system on Laird can handle the increased demand
- Ensure that Sandwich can handle the increased load (especially as an emergency egress passage in case of nuclear accident)

I think it's great you spent time talking to us about your project. Parking, historical preservation, mixed use space all seem to be well considered.

Daryll Fogal  
28 Laird Avenue South  
Amherstburg, ON

**From:** [RV Petras](#)  
**To:** [Tracey Pillon-Abbs](#)  
**Cc:** [REDACTED]  
**Subject:** Re: Former General Amherst H S site development proposal  
**Date:** March 21, 2025 9:19:48 AM

---

Ms. Pillon-Abbs,

I offer my concerns wrt this development proposal:

As owner of a commercial property fronting on Sandwich St. S at the foot of North Street (boundary streets of the proposal site), I foresee the additional traffic generated by the occupants and patrons of the proposed structure as exacerbating an already untenable situation. My tenants and their patients have been complaining of severe ingress and egress issues the result of recent main street commercial development wherein the incorporation of traffic control measures has been sorely neglected. This section of Sandwich Street S. will become non-navigable during business hours and rush hour periods unless the developer and the town planners and administration address the inevitable worsened problem and put practical mitigation measures in place.

This town has necessarily had to re-invent itself economically as a heritage tourist destination -- the downtown core being its focus. Placing a modern-looking structure of unprecedented height on the threshold of this heritage zone draws attention from this important area and makes this tower the focus. It does not contribute to an 'old towne' look. Which brings me to my third concern:

Preserving the heritage facing of the original General Amherst High School structure is laudable and necessary to the historic nature of this tourist destination town. However, attempting to shroud it with a reflective, glassed-in portico will only obscure its visibility (I think this being deliberate in intent as it is in conflict architecturally with the modern look of the residential tower). This is an affront to the town's history.

Thank you in advance for any consideration given to my input.

Sincerely,

V. Petras



March 24, 2025

Tracy Pillon-Abbs  
Pillon Abbs Inc.

Re: Development proposal 130 Sandwich St. S. Amherstburg  
(Former General Amherst High School)

Hi Tracey,

I live a short distance from the subject property and attended the developer's open house at the Libro Centre. While I'm supportive of a mixture of commercial, office and residential redevelopment on the property I'm very concerned about the density, the building height and the impact of traffic on Laird Ave.


The neighbourhoods that surround the site are Low Density Residential and Commercial General. The maximum height in the abutting R-1 Zones are 8.5 metres and the CG Zone is 10 metres. The maximum height in a Residential Multiple Zone is 16.7 metres. The building being proposed is likely well over 30 metres high and is incompatible with its surroundings.

The former High School is listed on the Heritage Properties Of Interest, although not designated. If demolished, a designated property would be required to adhere to the same "mass" as the original structure. While it's not designated, the spirit of the heritage element should be considered. In addition, the proposed development is within a few metres of the Fort Malden National Historic site and a new Heritage District.

There was no indication of any plans for traffic calming on Laird Ave or the surrounding streets.

In short, I encourage a reuse and redevelopment of the site but am strongly opposed to the monolithic structure being proposed and the effect it will undoubtedly have on Laird Ave.

Regards,

Phil Kasurak  
59 Laird Ave S  
Amherstburg On.  
N9V-1X6  
~~mb. 519-977-3402~~  
email 

**From:** [Greg Precop](#)  
**To:** [Tracey Pillon-Abbs](#)  
**Subject:** Amherst High School  
**Date:** March 25, 2025 3:21:27 PM

---

Hi Tracey, not sure if this is too late, but wanted to share thoughts on the proposed changes to the old high school location.

First impression was the height of the structure. In this location, it is too high. It becomes the line of sight in the town and takes away from the atmosphere the town now has. If this were on the outskirts of the downtown area, it would be an acceptable height. To keep it closer to the tree line, 6 stories would be more acceptable. There were comments about having a line of sight to the river. Given there are only 2 storey structures between the school and the water, the view is there and not as invasive to the neighbourhood as the current design.

The outer color scheme and materials do not blend with the area. There is a national historic site meters away from this location. the exterior should align with the surrounding environment

While not a direct concern for the site, the traffic load to the core will obviously have an impact on everyone trying to move about the town. A smaller structure would help manage this impact.

I applaud the opportunity to provide new business opportunities and much needed hotel capacity to the town but this should not take away from this being a historic town and vicinity.

regrads

Greg Precop

**From:** [G Bowerman](#)  
**To:** [Tracey Pillon-Abbs](#); [Valerie Critchley](#); [CouncilEmailGroup](#)  
**Subject:** General Amherst  
**Date:** March 26, 2025 1:07:49 PM

---

Your Worship, Councillors and CAO , Corporation of The Town of Amherstburg.

Cc: Tracey Pillon-Abbs, Pillon Abbs Inc

Good Day

Amherstburg is at a crossroads between having a Lowrise Historical Downtown Area or a Highrise Downtown Area.

The choice will ultimately be up to The Board of Directors to decide which direction the Corporation takes. Rest assured whichever direction you choose, your decision will likely be challenged by residents/groups/organizations to the OLT, Provincial and Federal Government, courts and of course at the voting booth in 2026.

However there are many home owners living within the Historical Downtown would see the value of their properties increase, highrise waterfront condos. Others will simply sell their properties or their heirs will liquidate their assets. The fair value residential tax system isn't so wonderful on a fixed income!

Along Sandwich Street, traditional lowrise commercial replaced with commercial general /highrise residential. Great for some, not so great for others. Yes, quite the balancing act between high density and historical heritage.

The following attached is an unabridged and most likely incomplete list of Zoning By-Laws that will need amending to make this project compliant with the current Zoning By-Laws.

The presentation at the Libro Centre was well attended for Amherstburg. (75 + ) Tracey Pillon - Abbs answered questions and made notes of residents concerns, this was much appreciated. However, it should be noted what was shared by the developer is still a artist rendition . At 11 stories with 9 foot ceilings as an average plus rooftop elevator enclosure the total height of the one tower will be in the 130ft range.

This brings up the next concern. The current aerial ladder truck has a 75 foot reach. The cost of a 100 foot as per the recent purchase by our neighbours in LaSalle was \$2.7 million.

Amherstburg does not have by-laws to cover the aspects of Highrise development. CG-8 allows for building at Sandwich/Crownridge at a height of 29 metres (96 ft) . Again the proposed is in the 39 metre range. Another note our neighbours just North of us in Windsor are having to rewrite their by-laws due to social issues, building shadows, and many other issues. Something about Due Diligence etc . I'm sure your Urban Development Specialists will inform you of all the surrounding issues, OMB / OLT recommendations and Municipal responsibilities.

The last issue of course is parking, parking for the proposed town hall, parking for

Auditorium, parking for staff etc etc. The apartments will have one parking spot. Now where do you think resident's will park their second vehicle. We are a commuter community. Glad, I don't live close by as street parking will be at a premium.

This proposed project is not a minor variance, you can find the reference in the OMA and the New 2025 Building Code, as I am sure your Urban Development Specialist have advised you.

Once more details of this project are released, I will take the time to review the heritage and related standards for this area. The actual province perimeters for proximity to Environmental Protection Areas, again interesting reads.

Kindly

Gary Bowerman  
269 Fryer St  
Amherstburg

N9V3G7

Disclaimer: Old man with calculator, half blind, half deaf, dogs, gardening and working on my old boat. Spelling, grammar etc. Something for everyone!

References: only the wording

#### (8) HEIGHT RESTRICTIONS

Unless otherwise specifically provided elsewhere herein, no building or structure anywhere within the zoned area shall exceed 10 metres in height, except that neither this provision nor any other provision of this By-law shall apply to restrict the height of any of the following structures:

- (i) an antenna;
  - (ii) a barn;
  - (iii) grain elevators;
  - (iv) grain dryers;
  - (v) a belfry;
  - (vi) a chimney;
  - (vii) a church spire;
  - (viii) a clock tower;
  - (ix) an elevator or stairway penthouse;
  - (x) a flag pole;
  - (xi) a hydro-electric transmission tower;
  - (xii) an ornamental structure;
  - (xiii) a radio or television antenna;
  - (xiv) a silo;
  - (xv) a steeple or cupola;
  - (xvi) a structure containing heating, cooling, or other mechanized equipment attached to such building;
- 21) PARKING REGULATIONS
- (a) PARKING SPACES REQUIRED

Except as otherwise provided herein, the owner or occupant of any lot, building or structure used or erected for any of the purposes set forth in Clause (b) and Clause (c) of this Subsection, shall provide and maintain, for the sole use of the owner, occupant or other persons entering upon or making use of the said lot, building or structure from time to time, one or more parking spaces in accordance with the provisions of this Subsection. In addition to the parking spaces required by Section 3(21)(b) and 3(21)(c) where the parking requirement for any use is in excess of twenty (20) spaces, one (1) space out of the first twenty (20) spaces required and one additional space out of each additional one hundred (100) spaces or portion thereof, shall be provided near and accessible to the building and clearly marked for the parking of vehicles used by the physically handicapped person or persons. Parking spaces for the physically handicapped shall have a minimum width of 3.7 metres and a minimum length of 6.0 metres.

**(b) PARKING SPACE REQUIREMENTS FOR RESIDENTIAL USES (MINIMA)**

- (i) Apartment Building 1 per unit
- (ii) Boarding Dwelling 0.33 per unit
- (iii) Boarding House See Lodging House
- (iv) Converted Dwelling

**(c) PARKING SPACE REQUIREMENTS FOR NON-RESIDENTIAL USES (MINIMA)**

Agricultural Service Establishment 1 per 30 m<sup>2</sup> (323 sq. ft.)  
Agricultural Supply Establishment 1 per 30 m<sup>2</sup> (323 sq. ft.) for retail showroom, plus 1 per 200 m<sup>2</sup> (2,153 sq. ft.) for warehousing/wholesaling  
Amusement Game Establishment 1 per 25 m<sup>2</sup> (269 sq. ft.)  
Animal Hospital 1 per 45 m<sup>2</sup> (484 sq. ft.)  
Arena (No Seats) 1 per 35 m<sup>2</sup> (376 sq. ft.)  
Arena (With Seats) 1 per 8 seats  
Art Gallery 1 per 50<sup>2</sup> (538 sq. ft.)  
Assembly Hall 1 per 8 seats or 1 per 35 m<sup>2</sup> (376 sq. ft.) whichever is greater  
Auction Establishment 1 per 30 m<sup>2</sup> (323 sq. ft.)  
Auditorium 1 per 8 seats  
Automobile Rental Establishment 1 per 25 m<sup>2</sup> (269 sq. ft.)  
Automobile Sales & Service Establishment See Vehicle Sales and Rental Establishment  
Automobile Service Station 6 per bay  
Automobile Supply Store 1 per 25 m<sup>2</sup> (269 sq. ft.)  
Bak...

**(d) CALCULATION OF PARKING REQUIREMENTS**

- (i) Where a part of a parking space is required in accordance with this By law for a use listed in Clause (b) or Clause (c) of this Subsection, such part shall be considered 1 parking space for the purpose of calculating the total parking requirements for the said use.
- (ii) Where a building, structure or lot accommodates more than one type of use as set out in Clause (b) or Clause (c) of this Subsection, the total parking space requirement for such building, structure or lot shall be the



sum of the requirements for the separate uses thereof.

(iii) Parking spaces required in accordance with this By-law shall not include any parking space used or intended to be used primarily for the storage or parking of vehicles for hire or gain, display or sale.

#### (e) DIMENSIONS OF PARKING SPACES

A parking space required hereby shall have minimum rectangular dimensions of 2.8 metres by 5.5 metres (9 ft. X 18 ft.), except that:

(i) the minimum width of a parking space accessory to a single dwelling shall be 2.5 metres; and

(ii) where the principal access to a parking space is provided on the longest dimension of such parking space, the minimum dimensions of the said parking space shall be 2.5 metres by 6.7 metres.

#### 4) SIGHT TRIANGLES/DAYLIGHT CORNERS

##### (a) PROHIBITION OF OBSTRUCTIONS

Notwithstanding any other provisions hereof to the contrary, within any area defined herein as a sight triangle, no building or structure shall be erected, no vehicle shall be parked, no land shall be graded and no landscaping materials shall be permitted to grow above the height of 0.6 metres above the elevation of the centreline of the said street, in such manner as to impede or obstruct the vision of persons driving vehicles on an abutting street.

##### (b) EXTENT OF SIGHT TRIANGLES

For the purpose of calculating the extent of a sight triangle, the distance between the point of intersection of the two lot lines and their respective points of intersection with the line constituting the third side of the triangle shall be 6 metres and 23 metres where a street intersects a railway right-of-way at grade in an area with speed limits of 50 kilometres per hour or less and 50 metres where a street intersects a railway right of way at grade in an area with speed limits greater than 50 kilometres per hour, or such greater distance as may be required from time to time by the Canadian Transportation Commission.

Purpose : To ensure that development and redevelopment will not take place until the necessary mitigating measures have been undertaken to the Town and to the Ministry of the Environment's satisfaction including the demolition of the existing factory structures. In addition, prior to the finalization of any site plan for development the Town is satisfied that a drainage study has been completed by a qualified hydrologist, that archeological reports have been completed, and that any necessary traffic studies

##### (x) Compound Zone

Notwithstanding the regulations of Section 3(15), 4(7)(a) or 4(7)(b) to the contrary, lands zoned as "CH-8/RM2-4" on Schedule "A" to this By-law shall only be used in accordance with one of the permitted zones and the

selected zone regulations shall apply.

(xi) Site Plan Agreement

Approval of the site plan shall be to Council's satisfaction and shall include details on fencing, landscaping and building materials to be used adjacent to the abutting apartment building and adjacent to Pickering Street as well as all other matters contained in Section 41 of the Planning Act.

(xii) All other appropriate regulation for the use of land and the character, location and use of buildings and structures shall conform to the regulations of Highway Commercial Zone and all other general provisions or regulations of By-law 1999-52, as amended, from time to time.

(By-law 2005-90)

(i) CH-9 (HOLD FOR FUTURE USE)

(j) CH-10 (HOLD FOR FUTURE USE)

(k) CH-11 (SPECIALT

CN-10

Notwithstanding the provisions of this By-law to the contrary, within any area zoned CN-10 on Schedule "A" hereto, the following special provisions shall apply:

(i) Uses Permitted

1. Fitness Centre

2. Any use permitted in the CN Zone.

SECTION 17 COMMERCIAL NEIGHBOURHOOD (CN) ZONE

155

(ii) Regulation

1. Commercial Gross Floor Area may exceed the 140 square meters per use restriction of Section 17(3)(j) for the fitness centre.

No mention in Zoning By-Laws

When a structure is built in a town or city, it has to be approved by a 'zoning board'. Certain areas are zoned for commercial or residential buildings only and so forth. They also dictate what can be built, to what dimensions and so on. If your neighbor wants to put an extension on their house, for instance, they have to obtain zoning or planning permission from the relevant office in City or Town Hall.

The first thing that happens is that a notice is put up outside the property advising the neighbors of the planned build. If there are any objections, people can lodge them with the Zoning Board at that time. Since your issue involves a residential area, issues such as blocking sun are deemed very serious since it affects your enjoyment of your own home and may even affect its value. If it is too close, that is an issue you should raise with the zoning board asap, since they will have given your neighbor strict directions on how far they can build.

You should look up and contact your local Zoning Board (or Planning Board depending on where you are) and inform them of this situation. Were you aware that a house was being built next to yours? Either way, even if you did not object prior to the build, they are violating general zoning laws if they are detrimentally impacting your property (blocking the light and

being too close). Privacy is another common cause of complaint where someone wishes to build on top of their house, extending it. Neighbors can successfully bar them from doing this if it would impair their privacy, such as looking over their back yard or into the next house.

#### ii) Zone Requirements

##### 1. Assembly Hall

For the purposes of this Zone, an assembly hall shall mean a building in which facilities are provided for such purposes as meetings for civic, educational, political, religious or social purposes and may include a private club or fraternal organizations.

##### 2. Interior Side Yard Width (Minimum)

3 m or half the height of the building, whichever is the greater.

##### 3. Landscaped Open Space (Minimum) 15%

#### (b) RM2-2

Notwithstanding any provisions of this By-law to the contrary, within any area design

#### Heritage

##### j) Height

Parapet line for buildings located on a corner: The top of the highest projection along the facade may be no more than 50 cm higher than the highest parapet line along the block in which the building is situated. Any new building replacing a damaged building should be built to the height of the original building.

Parapet line for buildings located between two other buildings: The top of the highest projection along the facade may be no more than 50 cm higher than the higher parapet line of the two adjacent buildings.

Roof line: If a roof is flat, it shall be located lower than the parapet. If a roof is sloped, its ridge shall be parallel to the street and shall be no higher than the highest ridge or parapet on the block on which the building is situated.

Chimneys are not included in these height restrictions.

##### (k) Additions

No additions shall be constructed in the front yard or exterior side yard but shall be restricted to the rear and interior side yards.

##### (l) Replacement

If a building or structure that is designated as a Heritage Building is demolished, removed, or destroyed, the new building or structure to occupy the lot must be of the same height, volume, floor area, general form, mass, and external design as the original building or structure.

(m) Accessory Use, Parking, Home Occupation, etc. in accordance with the provisions of Section 3 thereof.

#### (4) SPECIAL PROVI

#### Commercial Heritage

##### ) Heritage Buildings

If a building or structure that is designated as a Heritage Building is demolished, removed or destroyed, any new building or structure to occupy the lot must be of the same height, volume, floor area, general form, mass, and external design as the original building or structure.

##### (j) Ope

-8 (Sandwich at Crownridge)

(i) The following special provisions shall apply to lands zoned (CG-8):

Height (Maximum) 29 metres (96 ft)

Maximum residential density 50 units

Maximum hotel units 70 bedroom units

All other provisions under Subsection 15(3) Zone Regulations shall apply to lands zoned (CG-8).

(By-law 20

## **Comment Sheets**



# COMMENT FORM

NAME Anne McMurdie

ADDRESS 422 Dalhousie St

PHONE NUMBER [REDACTED]

EMAIL [REDACTED]

COMMENTS 1) poor presentation - 3 & depiction would have been helpful - a presentation w/ question period would have been helpful -

2) height of towers inappropriate for complementing the town.  
3) handling of traffic - there will be a study but no details to us.

4) other studies (shadow study, environmental impact?)  
5) what happens to space if town doesn't rest space.

Please return to: 6) impact on park south side of school?

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)

# COMMENT SHEET

NAME Catherine Cristofaro Rivertown Dance Academy

ADDRESS 364 Texas Rd | 258 Sandwich St. S.

PHONE NUMBER 519 544 9734 | 519 330 1811

EMAIL d.cristofaro@gmail.com / 1-800-361-1811

COMMENTS As a patron of the arts and the Director  
of Rivertown Dance Academy with my sister Laura Dufour,  
we are excited to see the "FLEX" space as a Civic  
Theater included in the plans. We have been part  
of the Amherstburg Community for 20 yrs and  
we have contributed hundreds of thousands of  
dollars to other municipalities in order to  
give our dancers the opportunity to perform.

Please return to:

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)

Amherstburg is rich in  
culture and artistic talent!

Musicians, actors, dancers  
etc. We should have a place

to call home. Amherstburg has potential  
to become the next Stratford! Let's Go!

As a professional and proud member of  
the Arts Community in Amherstburg, I would be happy  
to get involved in the planning & facilitating!

# COMMENT SHEET

NAME Dane Weaver

ADDRESS 13 Atlantic court

PHONE NUMBER [REDACTED]

EMAIL [REDACTED]

COMMENTS \_\_\_\_\_

open house lacks significant detail and  
info. However, building looks nice.  
Please don't compromise on height.  
Build! Build! Build!

**Please return to:**

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)

# COMMENT FORM

NAME ED DEBEVC

ADDRESS 30 LAIRD AVE N

PHONE NUMBER \_\_\_\_\_

EMAIL [REDACTED]

COMMENTS - TOO HIGH 5-6 STORY MAX.

- TRAFFIC ON SANDWICH IS VERY POOR NOW.

- TRAFFIC ON LAIRD WILL INCREASE SIGNIFIKANT  
REQUIRE TRAFFIC CALMING KIT FOR THE AREA

- TOWN SHOULD BUY IT OWN BUILDING ELSEWHERE  
(LIBRO)

- EXCESSIVE PARKING ALL AROUND THE AREA

Please return to:

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)



# COMMENT FORM

NAME E.P. Chant

ADDRESS 323 Brian Ridge Ave

PHONE NUMBER [REDACTED]

EMAIL [REDACTED]

COMMENTS ① None of the artist's conceptions clearly depicted the height of the towers - a 3-D model would have been helpful ② Park/baseball diamonds are Crown/public land and should not be rolled into this project ③ 8 and especially 11 storeys are simply too high for this area of town. ④ Traffic will be a nightmare unless lanes and stoplights are added.

**Please return to:**

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)



# COMMENT SHEET

NAME Gina De Santis

ADDRESS 724 Second Concession North

PHONE NUMBER [REDACTED]

EMAIL [REDACTED]

COMMENTS I'm quite pleased that the people of Amherstburg were given the opportunity to see the proposed development and ask questions. I feel all my questions were answered by the knowledgeable people running the event.

Thank you

**Please return to:**

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)

# COMMENT FORM

NAME Jim Thacker

ADDRESS 227 Crystal Bay

PHONE NUMBER [REDACTED]

EMAIL [REDACTED]

COMMENTS Love the design - the investment  
please consider traffic - collect with  
the bus to get one way streets  
and angled parking aimed Fort McCloud drive  
flow of traffic - love Amherst  
development

Please return to:

Tracey Pillon-Abbs, RPP, Principal Planner  
Pillon Abbs Inc.  
23669 Prince Albert Road  
Chatham, ON, N7M 5J7  
226-340-1232  
[tracey@pillonabbs.ca](mailto:tracey@pillonabbs.ca)

## **Sign-in Sheet**

# OPEN HOUSE

## SIGN IN SHEET

Date: March 20, 2025 Time: 5-7 pm

Location: Libro Centre Topic: 130 Sandwich St S.  
Amherstburg

NAME

ADDRESS

EMAIL

Ben + Marilee Agostinis 9341 County Rd. 18  
Amherstburg [REDACTED]

Jack + Randi Zirkler 51 Elm [REDACTED]  
Amherstburg

Gina DeSantis 724 2nd Con. N [REDACTED]

Sue + Rodney Hudson 646 Dalhousie St.

Pam Bondy Holmes 79 North St [REDACTED]

Maggie Newlove 416 Gold Coast Dr [REDACTED]

Val Henderson 237 Crystal Bay Dr.

Anne McMurdie 422 Dalhousie St [REDACTED]

Trish Shenker 50 Almost Amherstburg

Fred Kehl 7 Laird Av N Amherstburg

Nancy Tynski 354 Cedar Ridge

John Tynski Amherstburg

# OPEN HOUSE

## SIGN IN SHEET

Date: March 20 / 25 Time: 5-7 pm

Location: \_\_\_\_\_ Topic: \_\_\_\_\_

NAME	ADDRESS	EMAIL
------	---------	-------

MIKE CHARE	131 NUNFAMANT DRICCA, NUAL	[REDACTED]
------------	----------------------------	------------

D Fogel	28 Laird Ave S	[REDACTED]
---------	----------------	------------

Matt & Michele Bodde	3973 Conc 3 N,	[REDACTED] com
----------------------	----------------	----------------

SHARON COLMAN	1426 FRONT RDS.	[REDACTED]
---------------	-----------------	------------

ALEX DALC	FORT MALDEN NHS	[REDACTED]
-----------	-----------------	------------

CORRINE ROSS	Fort Malden NHS	[REDACTED]
--------------	-----------------	------------

ED DEBEVC	30 LAIRD AVEN	[REDACTED]
-----------	---------------	------------

PHIL KABURAK	39 LAIRD AVE S	[REDACTED] com
--------------	----------------	----------------

DIANE DOUGET		[REDACTED] egec
--------------	--	-----------------

Chris Gibb	299 Stone Ridge	[REDACTED] CA
------------	-----------------	---------------

Phyllis Chant	323 Briar Ridge	[REDACTED]
---------------	-----------------	------------

PAUL GUILMETTE	83 NORTH ST	
----------------	-------------	--

JAMES MARCOW	57 North St	
--------------	-------------	--

Greg Precop	84 tofflemire Cst	[REDACTED]
-------------	-------------------	------------

Susan Garrett	" " "	
---------------	-------	--



p93  
cont'd

# OPEN HOUSE

## SIGN IN SHEET

Date: March 20/25 Time: 5-7pm

Location: \_\_\_\_\_ Topic: \_\_\_\_\_

NAME

ADDRESS

EMAIL

Pam BADIUK 33 LAIRD AVE N. [REDACTED]

Heather Deberc 30 LAIRD AVE N. [REDACTED]

Molly Allaire 606 Richmond St. [REDACTED]

KAREN GYORGY 51 NORTH ST. [REDACTED]

CAROL ASPILA TOWN OF ANNEBURG [REDACTED]

Yvonne & Marie Greeman 718 Grant Rd. N. [REDACTED]

Dil O'Neil 1131 Fraser Rd S [REDACTED]

M & J. Buchanan 600 Bastien [REDACTED]

Cathy McGuire 694 Richmond St [REDACTED]

E.P. Chant 323 Briar Ridge Ave. [REDACTED]

Vicki Petras 6027 CONC & N [REDACTED]

MARLENE BRISEBOIS 93 NORTH [REDACTED]

Kent Wagle 57 North [REDACTED]

Catherine Cristofaro 364 Texas rd [REDACTED]

Maria & Mary Margaret Munier [REDACTED]

pg 4  
contd

# OPEN HOUSE

## SIGN IN SHEET

Date: March 20 / 25 Time: 5-7pm

Location: \_\_\_\_\_ Topic: \_\_\_\_\_

NAME	ADDRESS	EMAIL
RENÉE THAKSHER	227 CRYSTAL BAY	[REDACTED]
Bill Petroniak	140 Duff Ave	billpetroniak@rogers.com
Denise Adam	" "	[REDACTED]
Sheeley Kottan		[REDACTED]
John Hall	120 PARKERING A'BURG	[REDACTED]
Jen + Justin DeLuca	105 Laird Ave S.	[REDACTED]
Tim Ackerson	39 North ST	[REDACTED]
Rob Trought	437 Pearson St.	[REDACTED]
GARY BOVERMAN	269 KAYIN	
John McEwen		[REDACTED]
M. Weaver		[REDACTED]
Jeremy Warnock	45 North	[REDACTED]
Valerie Barnett		
David Cozens	480 Dalhousie St	[REDACTED]
M. PRUE	386 CRISTAL BAY DR	[REDACTED]
Grace Yu	56 hairo Avenue	[REDACTED]
	A-Burg Ent	

<u>NAME</u>	<u>ADDRESS</u>	<u>EMAIL</u>
LARRY AMLIN	531 GOLFVIEW	[REDACTED]
Christina Giles	345 Stone Ridge	[REDACTED]
BETTY FEDERICO	12 TEXAS RD	
Lia Federico	"	
Kristie Friars	11 WILKINSON	
Wanda King	123 Laird Ave S.	[REDACTED]
Gino Giudice	2160 SUZANNE	[REDACTED]
Dan Hansen	521 Welsh Ave	
Mel Mancini	501 Alma	[REDACTED]
Anthony Leardi	124 Links Drive NAV 323	anthonyleardi [REDACTED]
PETER LEARDI	164 GOLFWOODS	[REDACTED]
SUZANNE MC MURPHY	39 NORTH ST	[REDACTED]@com
Michelle Dupuis	27 Laird N	[REDACTED]
Mackenzie James	115 Laird S	[REDACTED]
TINO RIEGO	816 FRYER	[REDACTED]



**Functional Servicing Report**  
**for**  
**Re-development of General Amherst High School**  
**130 Sandwich Street South, Amherstburg, Ontario**

By

D.C. McCloskey Engineering Ltd.

Certification of Authorization No. 11557479



Project No: M24-290

16 January 2025

Revised 07 April 2025



**FUNCTIONAL SERVICING REPORT FOR**  
**Re-development of General Amherst High School**  
**130 Sandwich Street South, Amherstburg Ontario**

**TABLE OF CONTENTS**

LIST OF FIGURES .....	ii
LIST OF TABLES .....	ii
LIST OF APPENDICES .....	ii
1.0 Property and Development Description .....	1
1.1 Report References .....	1
2.0 Municipal Service Requirements .....	2
2.1 Sanitary Sewer .....	2
2.2 Domestic Water Demand.....	7
3.0 Stormwater Management Plan .....	8
4.0 Assessment Conclusions .....	9





## **LIST OF FIGURES**

Figure 1. Municipal Services Plan

## **LIST OF TABLES**

Table 1. Existing plumbing fixtures

Table 2. Current fixture units in building

Table 3. Plumbing fixtures in proposed re-development

Table 4. Estimated fixture units in proposed re-development

Table 5. Allowable flow rate and detention storage proportions

## **LIST OF APPENDICES**

Appendix A: Site and Floor Plans of Proposed Development

Appendix B: Plan and Profile As-constructed Servicing Plans

Appendix C: Existing Building Floor Plans

Appendix D: Stormwater Allowable Flow Rate to Sandwich Street Storm Sewer

Appendix E: Required Detention Storage



## **1.0 Property and Development Description**

The former General Amherst High School, located at 130 Sandwich Street South in the Town of Amherstburg, Ontario is proposed to be re-developed to include the new location of the Town of Amherstburg municipal offices, a hotel, residential condominiums, a fitness centre, several commercial retail units, and surface and underground parking lots.

The development program and floor plans in Appendix A proposes the following:

- Municipal offices: 35,000 ft<sup>2</sup> (3,252 m<sup>2</sup>)
- Retail: 12,000 ft<sup>2</sup> (1,189 m<sup>2</sup>)
- Restaurant: 5,600 ft<sup>2</sup> (520 m<sup>2</sup>)
- Residential units: 144 (residential or hotel units total)

The re-development of the 1.17 hectare property will maintain parts of the school building, with the central section of the school removed to accommodate the surface and underground parking lots. This study will review the available capacity of the municipal domestic and fire protection water supply, sanitary conveyance, and storm sewers to determine if there is adequate capacity to support this development without having a negative impact on the municipal systems and surrounding neighbourhood properties.

### **1.1 Report References**

The following drawings and standards were referenced in the preparation of this report:

- Plan of Survey prepared by Verhaegen Land Surveyors dated May 10, 2024
- House Service Location sheet provided by the Town of Amherstburg
- Sandwich Street Watermain (as-constructed) prepared by R.C. Spencer Associates, dated April 3, 2009 (sheet 15 of 35 and 26 of 36) (Appendix B)
- Laird Avenue South Watermain (as-constructed) prepared by R.C. Spencer Associates, dated January 30, 2009 (Appendix B)
- Sandwich and Fort Streets Plan and Profile sheets (2,3 and 7 of 9) prepared by LaFontaine, Cowie, Buratto & Associates Limited, dated December 1974 (Appendix B)
- Fort Street Plan and Profile (as-constructed) sheet 8 of 13 prepared by Hanna, Ghobrial and Spencer Limited, dated December 1974 (Appendix B)



- General Amherst High School building drawings prepared by J.P. Thomson Associates Architects (sheets A-2, A10 – A12), dated April 21, 1966 (Appendix C)
- Town of Amherstburg Development Manual (May 2009; refer to Town website for document)
- Ministry of Environment, Conservation and Parks (MECP) Stormwater Management Design Guidelines
- MECP Design Criteria for Sewers and Force mains (2019)
- MECP Design Criteria for Sanitary Sewers, Storm Sewers and Force mains for Alterations Authorized under Environmental Compliance Approval (draft November 2019)

## **2.0 Municipal Service Requirements**

The following sections of this report will develop a comparison of the demand on municipal services from the former high school and the proposed development. The objective of this report is to evaluate the increased water demand, higher wastewater flows, and to provide the design criteria for the stormwater management.

### **2.1 Sanitary Sewer**

The former high school, according to the plot plan in Appendix C and Figure 1, was serviced by the following sanitary sewers connected to the combined sewers on Sandwich Street and Laird Avenue:

- a. 200mm transite pipe connected to the 500mm x 600mm combined sewer on Sandwich Street on the north end of the property (from the proposed gym / retail building).
- b. 200mm transite pipe connected to the 550mm x 700mm combined sewer located at the southerly end of the property (near the main entrance).

The 200mm sewer described in (b) appears to service most of the high school, with the exception of the building addition on the north side, completed in 1966.

An evaluation of the sanitary wastewater discharged to the Sandwich Street sanitary sewer assessed both the current high school and the new development probable drainage rates using the plumbing fixtures in each building. The plumbing fixture units for the high school building were determined from the existing building floor plans in Appendix C, and summarized in tables 1 and 2. The plumbing fixture units





in the proposed development is based on the preliminary floor plans prepared by Architectura in Appendix A, and summarized in tables 3 and 4.

**Table 1. Existing building plumbing fixtures**

Location	Water Closet	Urinal	Sink	Drinking Fountain	Clothes Washer	Washroom Group
Shop Wing (dwg. A-12)	2	4	5	1	0	2
Basement, Academic Wing (dwg A-9)	9	2	6	2	0	2
First Floor, Academic Wing (dwg A-10)	11	4	7	2	0	2
Second Floor, Academic Wing (dwg. A-11)	9	4	6	2	1	3
First Floor, Gym & Shop (dwg. A-8)	2	0	4	0	0	4
<b>Total:</b>	<b>33</b>	<b>14</b>	<b>28</b>	<b>7</b>	<b>1</b>	<b>13</b>

**Table 2. Existing building fixture units**

Fixture	No. of Fixtures	Hydraulic Load (Fixture Units) Per Fixture <sup>1</sup>	Total Fixture Units
Water closet (direct flush)	33	6	198
Urinal	14	2	28
Sink	28	1.5	42
Drinking fountain	7	0.5	3.5
Clothes washer	1	1	1
Washroom group	13	8	104
<b>Total Fixture Units (Current):</b>			<b>376.5</b>

<sup>1</sup> – Fixture units per fixture referenced from Ontario Building Code (OBC) table 7.4.9.3

**Table 3. Plumbing fixtures in proposed development**

Location	Water Closet	Urinal	Sink	Drinking Fountain	Clothes Washer	Washroom Group
Lobby / Meeting Rooms	4	2	2	0	0	0
Back of House (laundry)	0	0	3	0	4	0
Gym	0	0	1	0	0	2
Retail (3 Units)	0	0	0	0	0	3
Residential (144 Units)	0	0	0	0	144	144
Town Hall	6	4	4	0	0	4
<b>Total:</b>	<b>10</b>	<b>8</b>	<b>10</b>	<b>0</b>	<b>148</b>	<b>153</b>

Note: Dishwashers in residential units connected to the domestic sink, and therefore no load is added (ref. Ontario Building Code (OBC) table 7.4.9.3).





**Table 4. Estimated fixture units in proposed development**

Fixture	No. of Fixtures	Hydraulic Load (Fixture Units) Per Fixture	Total Fixture Units
Water closet (direct flush)	10	6	60
Urinal	8	2	16
Sink	10	1.5	15
Drinking fountain	0	0.5	0
Clothes washer	148	1	148
Washroom group	153	8	1,224
<b>Total Fixture Units (Proposed):</b>			<b>1,463</b>

The maximum probable flow from the high school for 377 fixture units, based on fixture unit type (table 7.4.10.5 in the Ontario Building Code) is 93 USGPM (5.9 L/s), and the proposed development, with 1,471 fixture units, has a maximum probable flow rate of 215 USGPM (13.5 L/s).

The peak flow from the former high school is determined using the above design criteria and calculated using the following formula:

$$Q_{\text{peak}} = P \times q \times M + IA \text{ (L/s)}$$

where,  $P$  = population of 690 people  
 $p$  = population (thousands) = 0.69 people  
 $q$  = average water consumption per capita per day (70 - 140 L/day [ref. Table 1 for school common sewage flow rates in MECP Design Criteria for Sanitary Sewers, Storm Sewers, and Forcemains])  
 Use  $q$  = 130 L/day based on fixtures not being low water usage  
 $M$  = Harmon Peaking Factor =  $1 + \frac{14}{4 + p^{0.5}} = 3.9$   
 $I$  = infiltration (extraneous flow) = 0.2 L/s/ha  
 $A$  = property area (ha) = 1.17

$$Q_{\text{peak}} = \frac{P \times q \times M + IA \text{ (L/s)}}{86,400 \text{ s/day}}$$

$$Q_{\text{peak}} = 4.3 \text{ L/s}$$



The peak flow for the proposed development is determined using the above design criteria and calculated using the following formula:

$$Q_{\text{peak}} = P \times q \times M + IA \text{ (L/s)}$$

where,  $q$  (residential units) = 450 L/day/person  
 $q$  (municipal office/retail/gym) = 80 L/day/person  
Office/retail/gym equivalent residential flow (ESF) based on a non-residential population of 120 persons is calculated as:

$$ESF = 120 \times 80 / 450 = 22 \text{ persons}$$

$$\text{Total residential population (P)} = 360 + 22 = 382 \text{ persons}$$

$$p = \text{population (thousands)} = 0.4$$

$$M = \text{Harmon Peaking Factor} = 1 + \frac{14}{4 + p^{0.5}} = 4.0$$

$$I = \text{infiltration (extraneous flow)} = 0.2 \text{ L/s/ha}$$

$$A = \text{property area (ha)} = 1.7$$

$$Q_{\text{peak}} = \frac{P \times q_{\text{residential}} \times M}{86,400 \text{ s/day}} + IA \text{ (L/s)}$$

$$Q_{\text{peak}} = 8.3 \text{ L/s}$$

The assessment of the increase in the probable flow rate and peak flow rates from the proposed development considered the following:

- Lower water usage from the new fixtures compared to the school.
- Duration and time of peak flow occurrence.
- School enrollment of 645 students (2019), with approximately 45 teachers and support staff (total population of 690 persons).
- Proposed development population estimated as:
  - Municipal Building: 80 employees
  - Retail (5 units): 10 employees
  - Gym (estimated occupancy): 30 persons
  - Residential units (2.5 persons / unit x 144 units): 360 persons
  - Total population: 480 persons



The probable and peak wastewater flow rates from the proposed development are each two times the rates of the former high school. However, the peak flows from the proposed development, with the majority of wastewater flow from the residential units, likely occur in the early morning and late evening, as opposed to the former high school peak flow rates occurring between 9:00AM and 3:30PM. The peak flow rate during the weekends would be higher from the new development, however the flow rate in the municipal sewer from industrial and commercial businesses would typically be much lower than during the work week.

The assessment of the wastewater peak flow increase of 4.3 L/s to 8.3 L/s concluded that this peak flow is not expected to have a measurable impact on the available conveyance capacity of the 550mm x 700mm combined sewer (this sewer may have been separated since the as-constructed drawing date of April 2009). In pre-consultation with the Town of Amherstburg Engineering Department, our office was advised that there are no known sanitary sewer conveyance issues, and the wastewater treatment plant has adequate capacity to support new developments.

## ***2.2 Domestic Water Demand***

The domestic water demand is calculated using an average of 250 L/day/person, a peak factor of 2.0, and an equivalent residential population (calculated in the previous section) of 382 persons:

$$Q = 382 \text{ persons} \times 250 \text{ L/day/person} \times 2.0 / 1,000 = 193 \text{ m}^3/\text{day}$$

The Town of Amherstburg advised during our pre-consultation meeting that the Town's consultant, Stantec, will evaluate the proposed development's water demand on the municipal water distribution network.

The fire protection flow demand for the proposed development will be at or below the flow demand for the high school, considering the change in building classifications, and the separation of the school into three (3) buildings (i.e. small fire compartments).



### 3.0 Stormwater Management Plan

This conceptual stormwater management plan will define the design criteria for the lot grading, storm sewers, and detention storage volume required for the re-development of the property. The conceptual design is in accordance with the Windsor/Essex Region Storm water Management Standards Manual (WERSMSM), the Town of Amherstburg Development Manual, and the MECP Stormwater Management Design Guidelines.

The allowable stormwater release rate from the property to the municipal storm sewer has been established at 113 L/s based on the assessment completed in the memorandum in Appendix D that has been approved by the Town of Amherstburg Engineering Department in December 2024.

The Modified Rational Method analyzed the post-development site conditions (pervious and impervious areas) to determine the stormwater detention storage for the 5-year and 100-year storm events. The results of this analysis concluded a minimum detention storage volume of 131m<sup>3</sup> and 331m<sup>3</sup> is required for the 5- and 100-year storm events, respectively (refer to Appendix E for the analysis calculations). A review of the plot plan prepared by J.P. Thomas (dwg. A-12 in Appendix B) indicates this storm connection to Sandwich Street (the northerly connection has subsequently been disconnected), and a small catchment area of approximately 1300m<sup>2</sup> (11% of the property area) drains to the Laird Avenue storm sewer, as highlighted on Figure 1. To maintain the same drainage area to the Laird and Sandwich Street storm sewers, the allowable release rate and required detention storage volume will be proportional, as shown in table 5 below.

**Table 5.** Allowable flow rate and detention volume proportions

Outlet Location	% of Property Area	Allowable Release Rate (L/s)	Minimum Detention Storage Volume (m <sup>3</sup> )
Sandwich Street	89	101	294
Laird Avenue	11	12	37



The proposed site plan, including the underground parking, limits the use of temporary parking lot flooding for detention storage, and therefore Stormtech underground retention systems, located on the east and west sides of the property as shown in Fig. 1, will provide the total minimum detention storage.

Treatment of the stormwater effluent will use Stormtech isolation rows that filter the runoff through a geotextile fabric wrapped around the Stormtech units. The isolation rows are sized to meet a minimum 70% TSS removal efficiency (normal protection).

#### **4.0 Assessment Conclusions**

This functional servicing report and assessment has concluded that the proposed re-development of the former General Amherst property will not have a measurable impact on the municipal domestic water, sanitary sewers, or storm sewers. The following is a summary of the assessment and requirements to be incorporated into the final building design for each municipal service:

##### Sanitary sewer

- The 4 L/s increase in the proposed development's peak flow will not have a measurable impact on the sanitary sewer conveyance capacity.
- The wastewater treatment plant has adequate treatment capacity.
- CCTV all building sewers, including all private drain connections (PDCs) to determine pipe conduction and determine if re-lining or replacement may be necessary.
- Abandon all redundant PDCs by capping and grouting the PDC from the property to the mainline sewer.

##### Water

- Peak domestic water demand of 193 m<sup>3</sup>/day to be evaluated by the Town of Amherstburg consultant.





- Fire protection water demand for the development can be supplied by the 300mm municipal watermain on Sandwich Street, with no impact to the water distribution network.
- Flow tests to be completed on the 300mm watermain on Sandwich Street.
- The existing 100mm domestic water service from the Sandwich Street watermain is to be replaced with a new 200mm PVC connection to the property, with a 200mm fire protection main into each of the two (2) buildings. The gym building does not require fire protection.
- A water meter pit is to be installed at the property line with a 150mm domestic water service to the condominium building, and a 50mm domestic water service to the municipal and gym buildings.

#### Stormwater Management

- The reconstruction of the new development's allowable release rate of 113 L/s, with 110 L/s into the Sandwich Street sewer and 12 L/s into the Laird Avenue sewer will not increase the current flow rate from the high school.
- The lot grading and site servicing will improve the lot level controls to effectively convey all runoff into the storm sewer system and Stormtech underground detention systems.
- Water quality treatment of the runoff is incorporated into the stormwater management design (former high school has no water quality treatment).

**END OF REPORT**



## **APPENDIX A**

### **Site and Floor Plans of Proposed Development**



AMHERSTBURG  
EST. 1796

# AMHERSTBURG TOWN CENTRE

Preserving our past, while forging our future

PARK SIDE BLOCK UNITS SUMMARY

CATEGORY	UNITS AREA (SF)	UNIT COUNT
<b>LEVEL 3-4-5-6</b>		
- 2 BEDROOM UNITS	1080 SF	28
- 2+1 BEDROOM UNITS	1290 SF	8
- 1 BEDROOM UNITS	860 SF	4
<b>LEVEL 7-8</b>		
- 2 BEDROOM UNITS	1080 SF	6
- 3 BEDROOM UNITS	1500 SF	6
- 3 BEDROOM PREMIUM UNITS	1720 SF	2
<b>LEVEL 9-10</b>		
- 3 BEDROOM UNITS	1500 SF	4
- 3 BEDROOM PREMIUM UNITS	1720 SF	2
- 3+1 BEDROOM LUX UNITS	1935 SF	2
- 3+1 BEDROOM SUPER UNITS	2580 SF	2
<b>LEVEL 11</b>		
- PRIVATE SUITE	3000 SF	1

PARK SIDE BLOCK UNITS SUMMARY

CATEGORY	UNITS AREA (SF)	UNITS COUNT
- 1 BEDROOM UNITS	860 SF	4
- 2 BEDROOM UNITS	1080 SF	34
- 2+1 BEDROOM UNITS	1290 SF	8
- 3 BEDROOM UNITS	1500 SF	10
- 3 BEDROOM PREMIUM UNITS	1720 SF	4
- 3+1 BEDROOM LUX UNITS	1935 SF	2
- 3+1 BEDROOM SUPER UNITS	2580 SF	2
- PENTHOUSE SUITE	3000 SF	1
<b>TOTAL UNITS</b>		<b>68</b>

SANDWICH BLOCK UNITS SUMMARY

CATEGORY	UNITS AREA (SF)	UNITS COUNT
<b>LEVEL 2-3</b>		
- 1 BEDROOM UNITS	860 SF	28
- 2 BEDROOM UNITS	1080 SF	1
<b>LEVEL 4-5-6</b>		
- 1 BEDROOM UNITS	860 SF	15
- 2 BEDROOM UNITS	1080 SF	10
- 2+1 BEDROOM UNITS	1290 SF	6
- 3 BEDROOM UNITS	1500 SF	1
<b>LEVEL 7-8</b>		
- 1 BEDROOM UNITS	860 SF	6
- 2 BEDROOM UNITS	1080 SF	4
- 2+1 BEDROOM UNITS	1290 SF	4
- 3 BEDROOM UNITS	1500 SF	4

SANDWICH BLOCK TOTAL UNITS SUMMARY

CATEGORY	UNITS AREA (SF)	UNITS COUNT
- 1 BEDROOM UNITS	860 SF	49
- 2 BEDROOM UNITS	1080 SF	15
- 2+1 BEDROOM UNITS	1290 SF	10
- 3 BEDROOM UNITS	1500 SF	5
<b>TOTAL UNITS</b>		<b>79</b>
<b>TOTAL PROJECT UNITS :</b>		<b>144</b>

PARK SIDE BLOCK UNITS SUMMARY

CATEGORY	UNITS AREA (SF)
- BASEMENT AND GARAGE	71,112 SF
- FIRST FLOOR	51,548 SF
- 2nd FLOOR	36,850 SF
- 3rd FLOOR	27,884 SF
- 4th FLOOR	27,420 SF
- 5th FLOOR	27,420 SF
- 6th FLOOR	26,720 SF
- 7th FLOOR	25,145 SF
- 8th FLOOR	25,145 SF
- 9th FLOOR	16,096 SF
- 10th FLOOR	12,352 SF
- 11th FLOOR	6,090 SF
<b>TOTAL AREA</b>	<b>353,782 SF</b> <b>32,867 m²</b>

PARKING SUMMARY

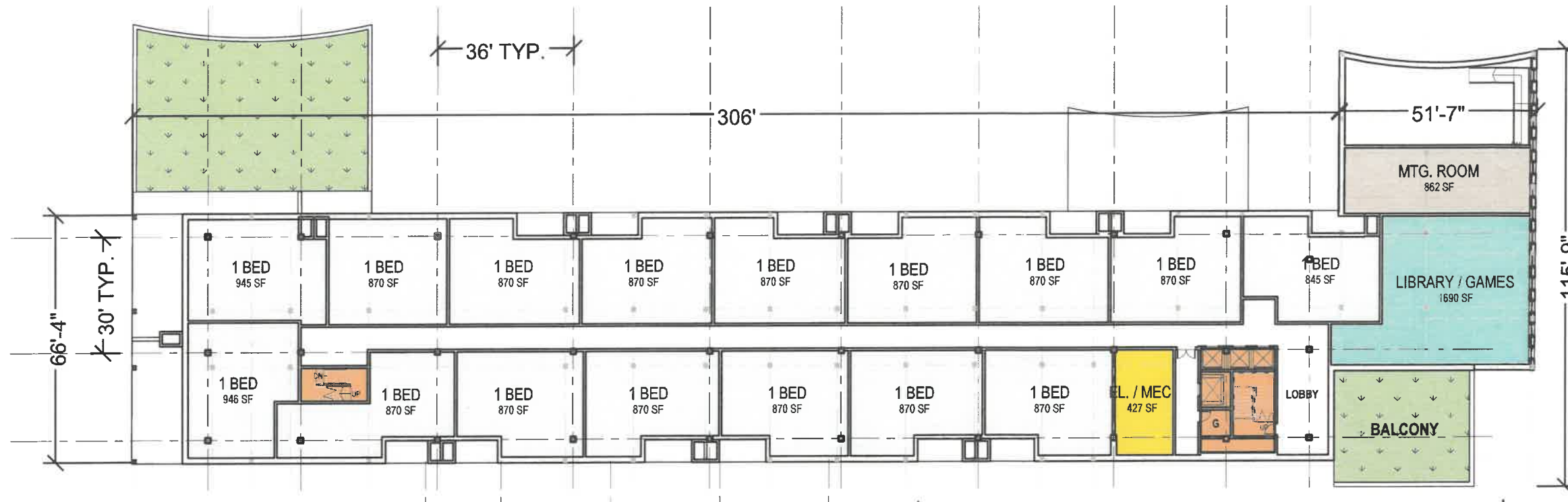
CATEGORY	PARKING COUNT
<b>PROVIDED PARKING</b>	
- Level 01	100 + 4 ADA
- Level 02	31
- VIP Garage	19
- Level -1 (Underground Garage)	106 + 2 ADA
<b>TOTAL PROVIDED PARKING</b>	<b>262</b>
<b>REQUIRED PARKING</b>	
- Residential Units (144 x 1.25)	180
- Retail Area (12,800 SF ÷ 269 SF)	47
- Restaurant (5,600 SF ÷ 161 SF)	35
<b>TOTAL REQUIRED PARKING</b>	<b>262</b>
TOWN HALL municipa parking (35,000 SF ÷ 376 SF)	93





**GRADE**  
SCALE: 1:800





#### SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

#### PARK SIDE BLOCK UNIT SUMMARY

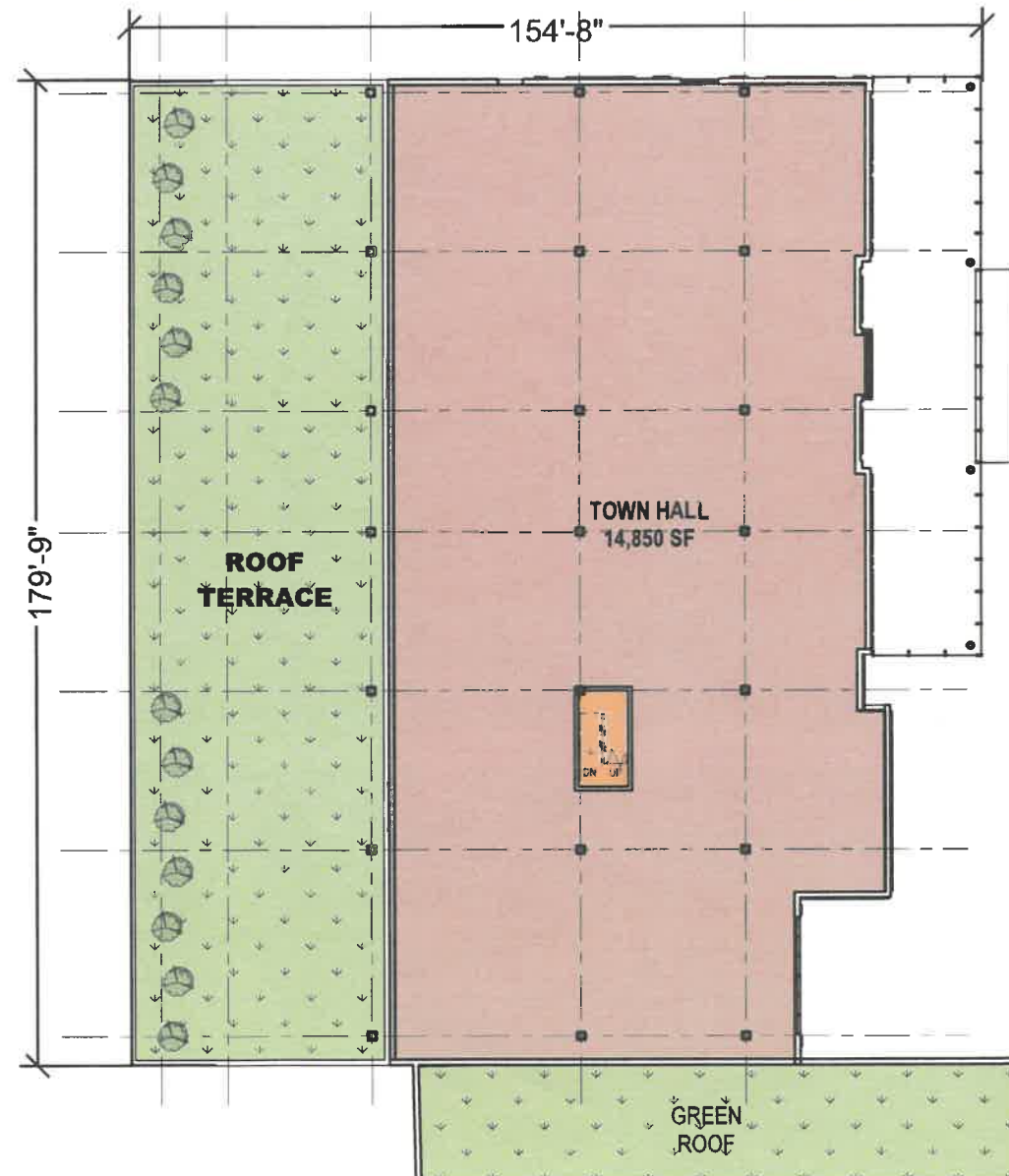
CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>

#### Room Legend

- 1 BED
- EL. / MEC.
- LIBRARY / GAMES
- MTG. ROOM

#### FLOOR AREA SUMMARY

TOWNHALL:	14,850 SF
RESIDENTIAL:	14,358 SF
OTHER:	7,642 SF
<b>TOTAL:</b>	<b>36,850 SF</b>



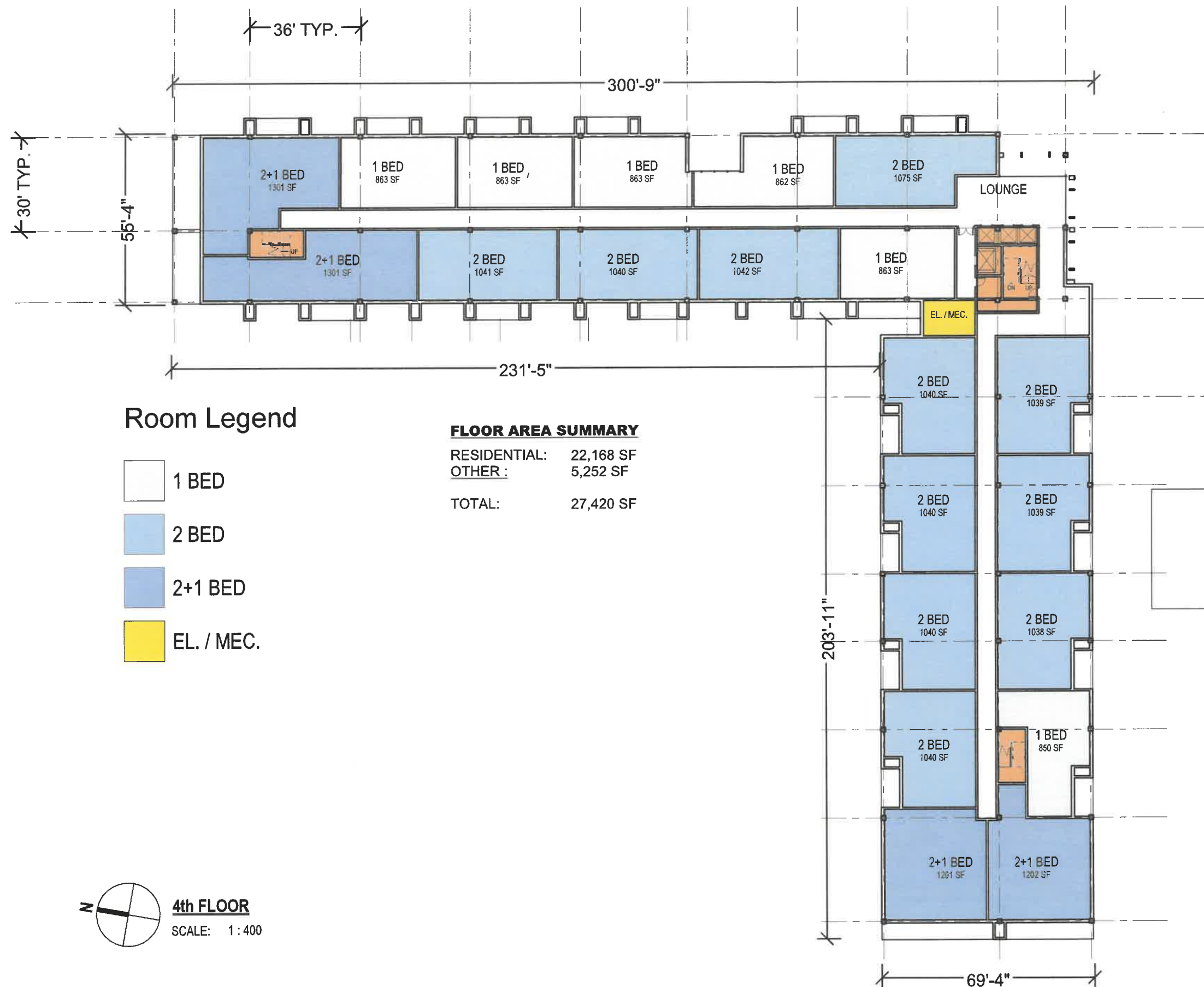


### SANDWICH BLOCK UNIT SUMMARY

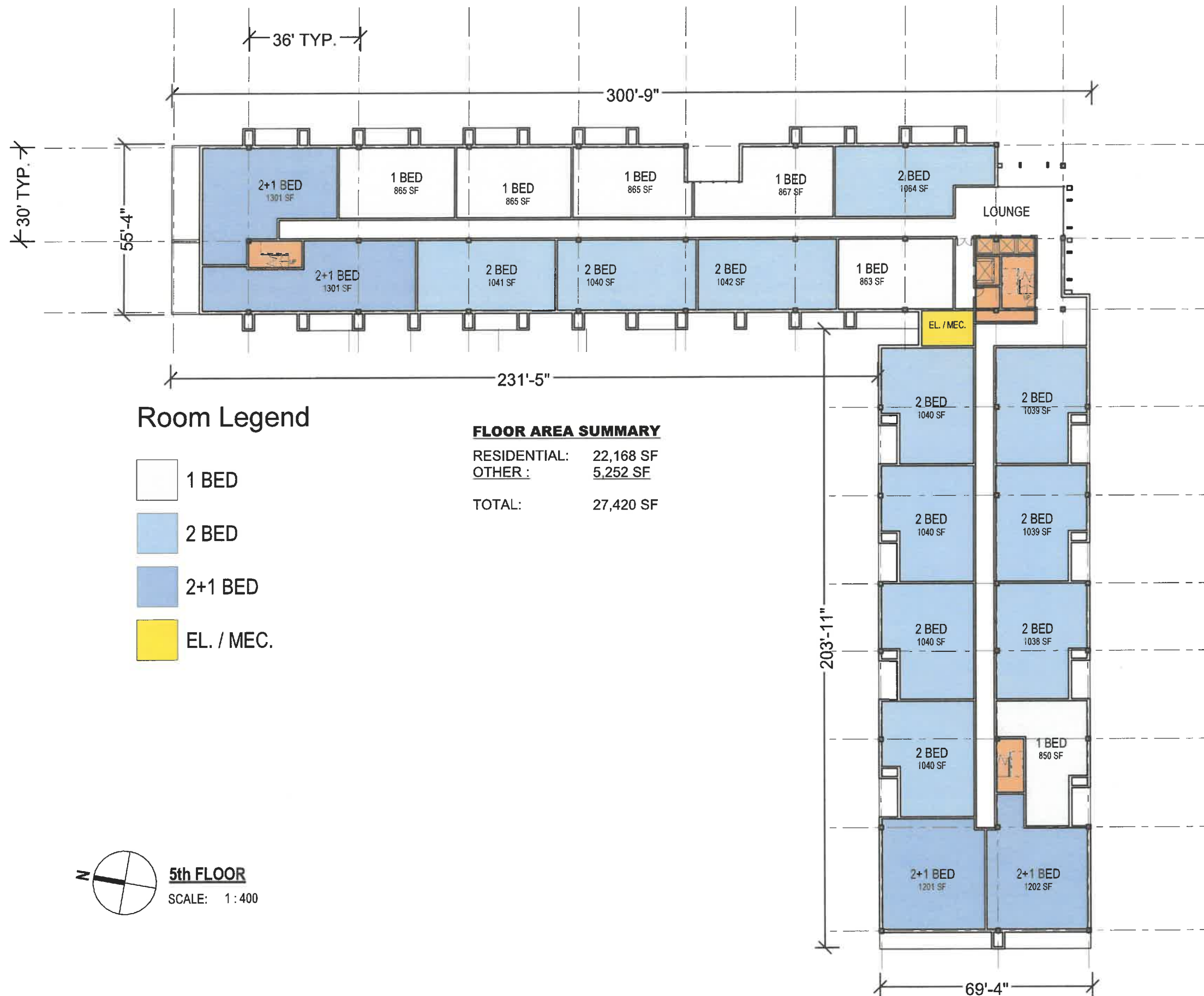
CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

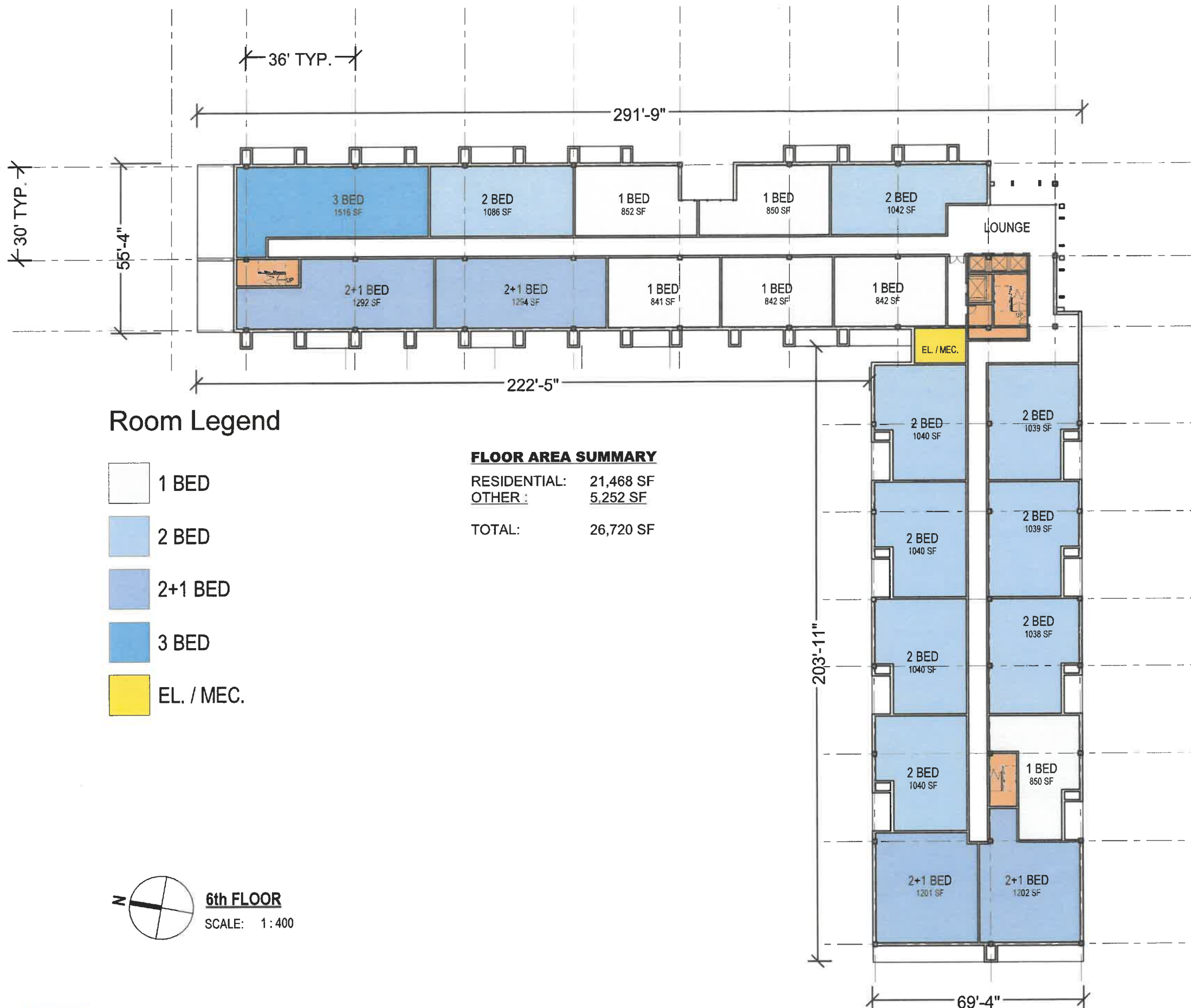
### PARK SIDE BLOCK UNIT SUMMARY

CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>









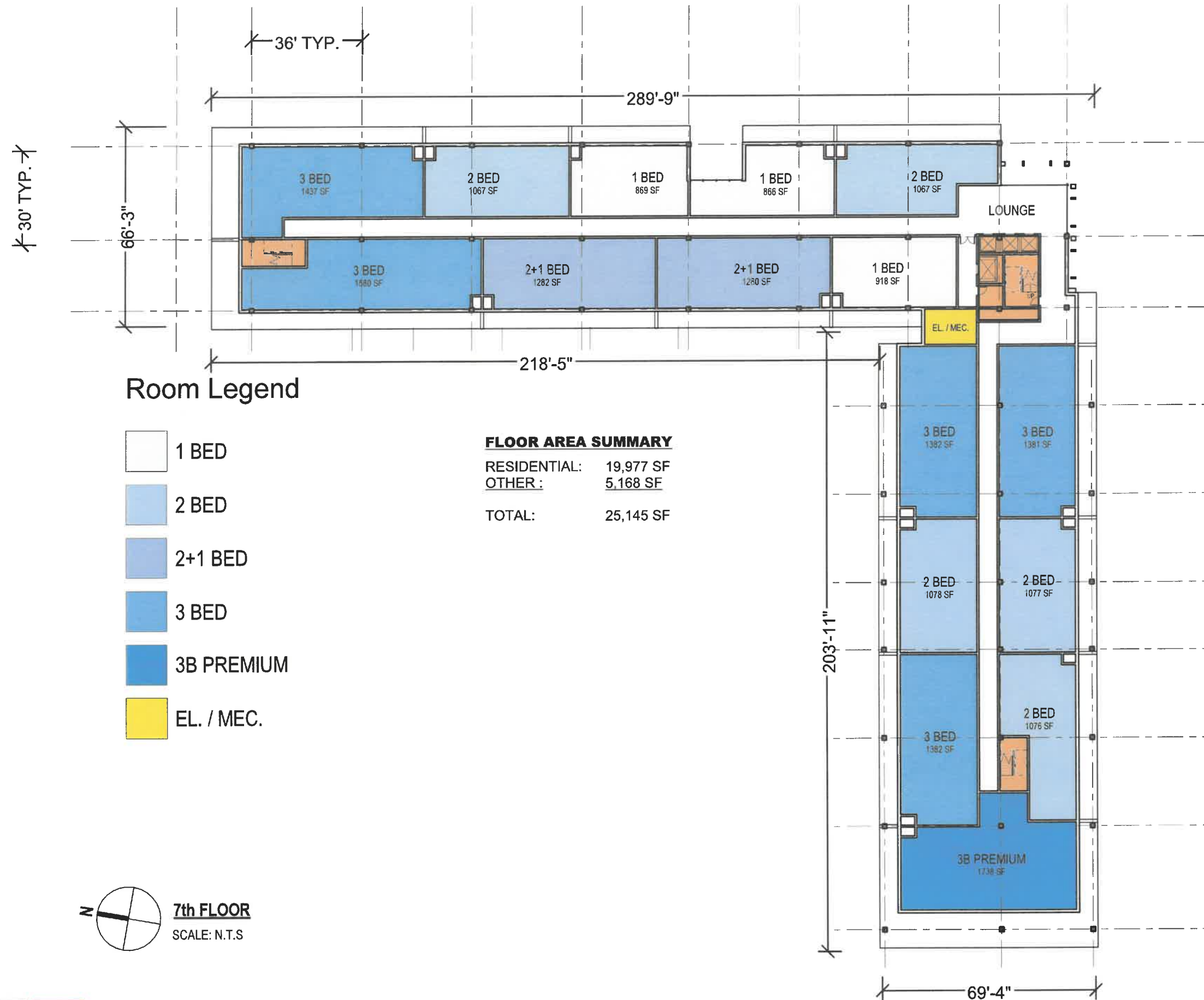
#### SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

#### PARK SIDE BLOCK UNIT SUMMARY

CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>





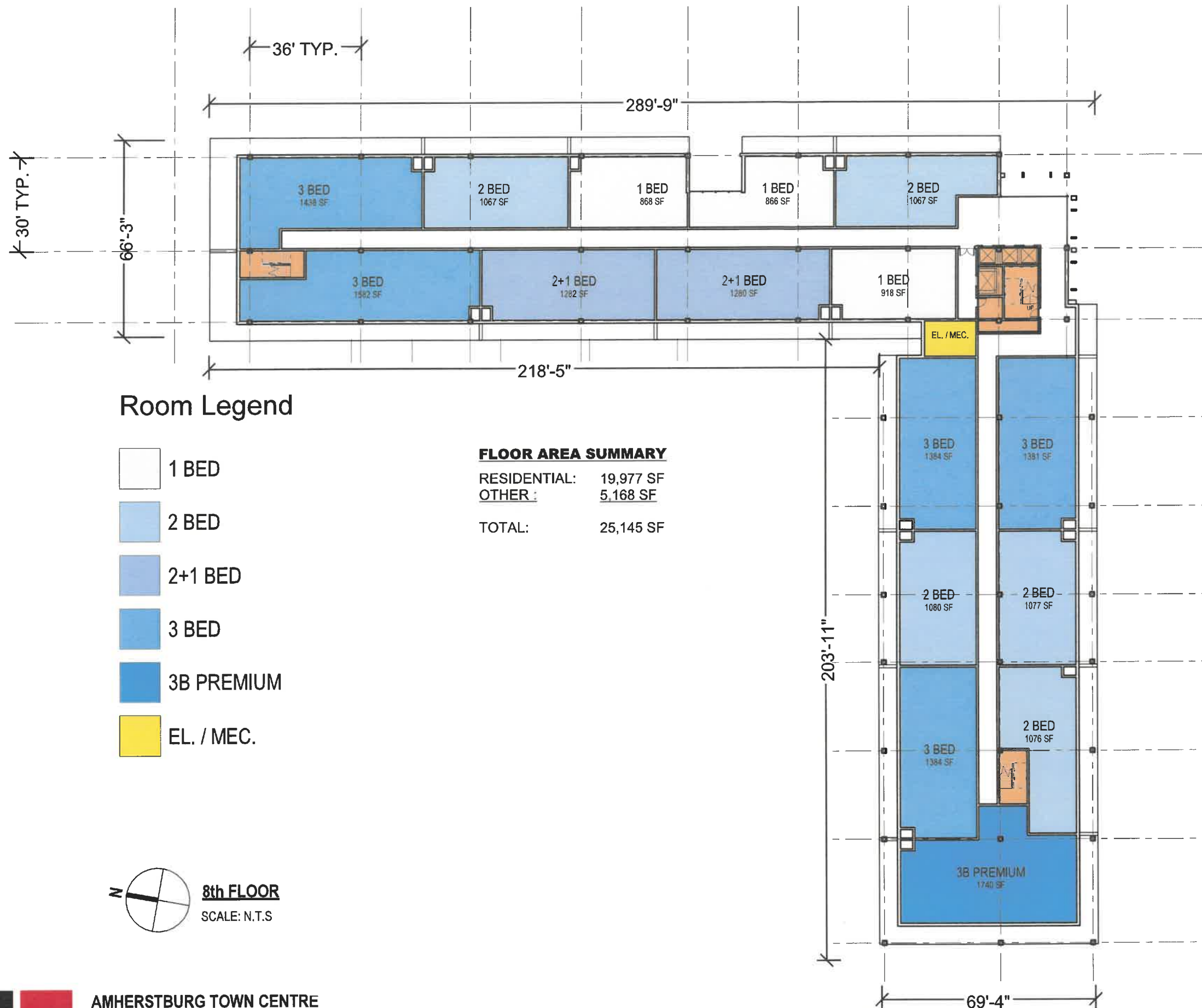
### SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

### PARK SIDE BLOCK UNIT SUMMARY

CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>



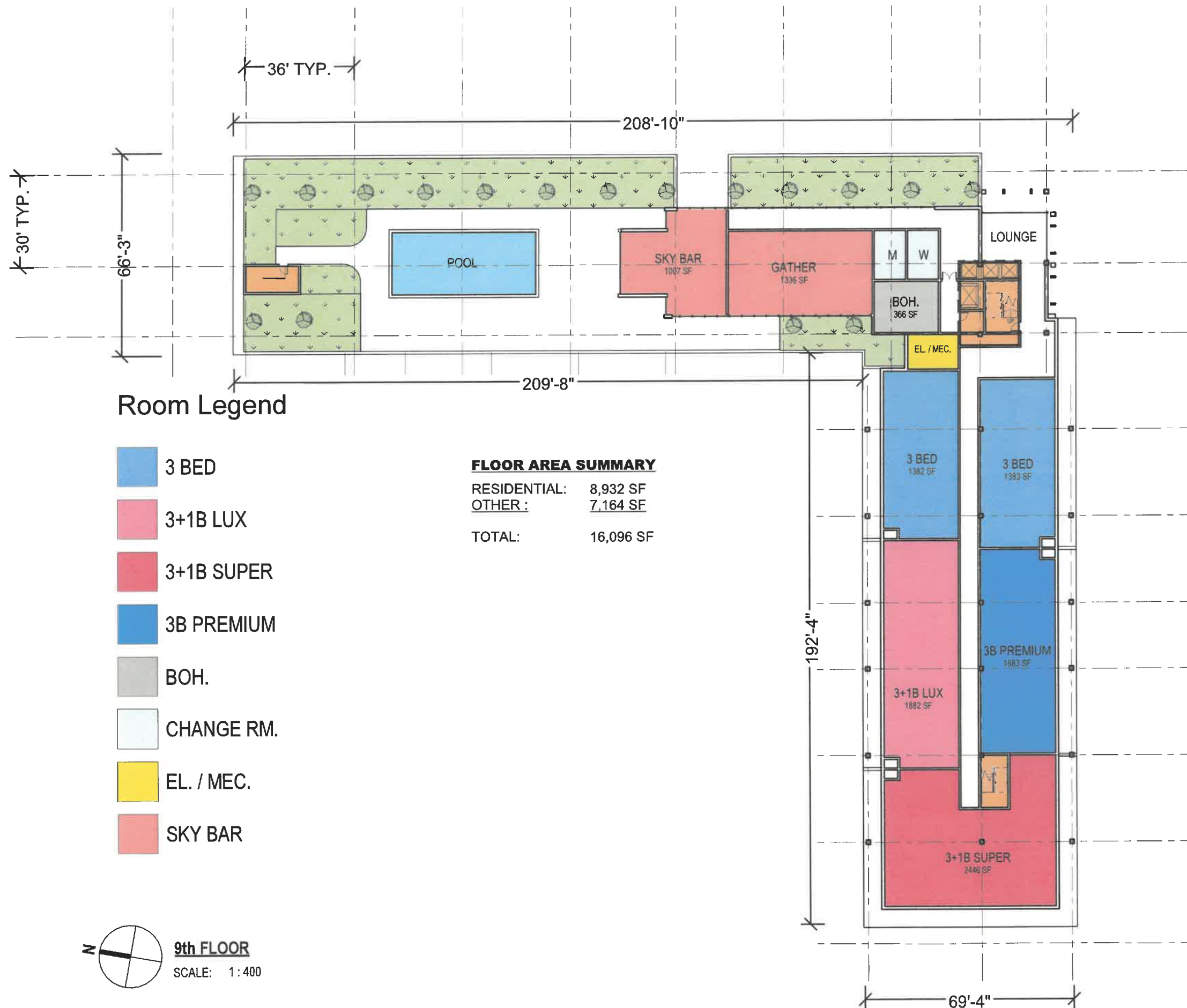


### SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

### PARK SIDE BLOCK UNIT SUMMARY

CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>



### SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
<b>LEVEL 2-3</b>	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
<b>LEVEL 4-5-6</b>	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
<b>LEVEL 7-8</b>	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
<b>TOTAL UNITS</b>	<b>79</b>

### PARK SIDE BLOCK UNIT SUMMARY

CATEGORY	UNIT COUNT
<b>LEVEL 3-4-5-6</b>	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
<b>LEVEL 7-8</b>	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
<b>LEVEL 9-10</b>	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
<b>LEVEL 11</b>	
- PRIVATE SUITE	1
<b>TOTAL UNITS</b>	<b>68</b>

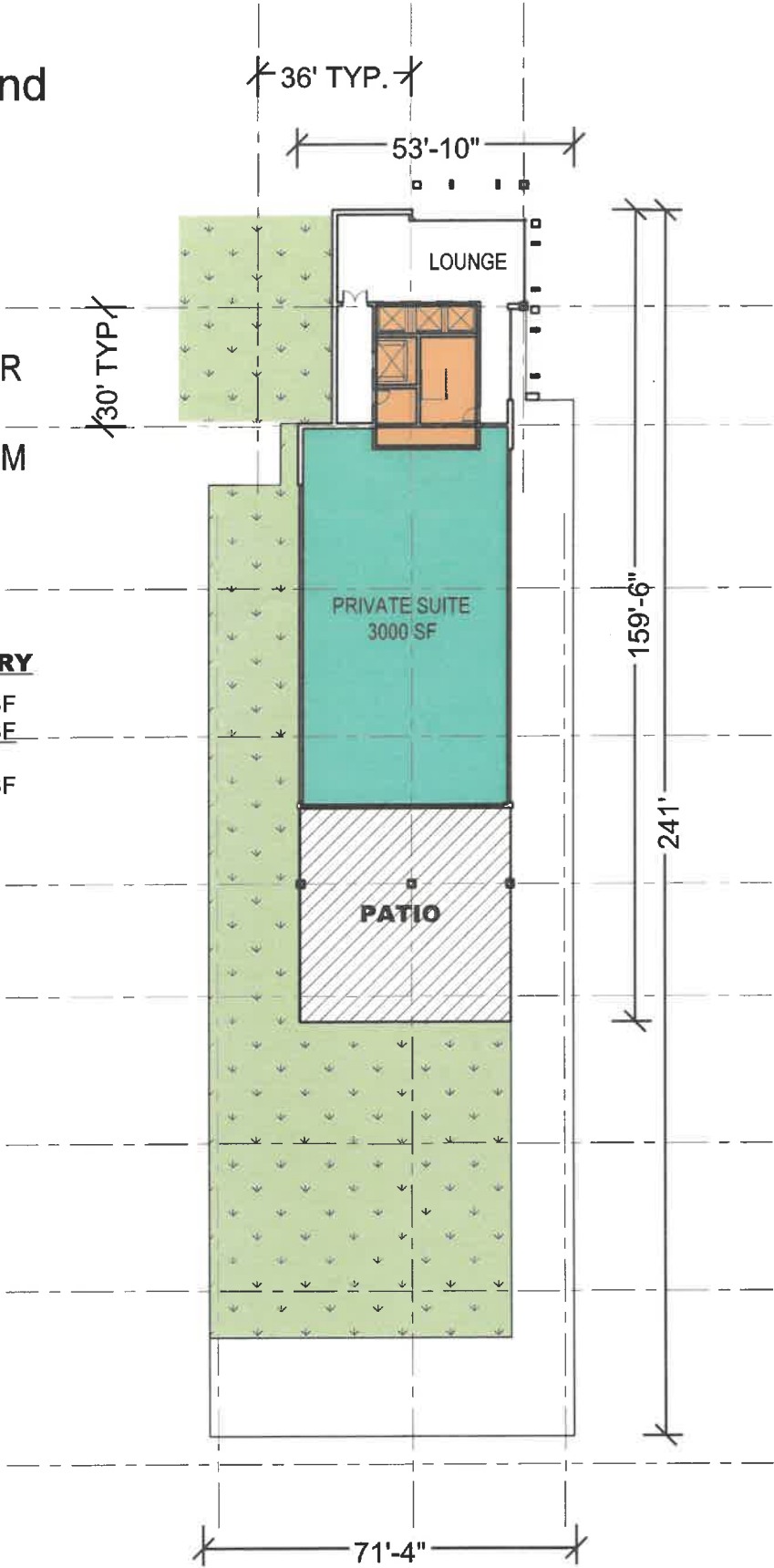


Room Legend

- 3 BED
- 3+1B LUX
- 3+1B SUPER
- 3B PREMIUM
- EL. / MEC.

FLOOR AREA SUMMARY

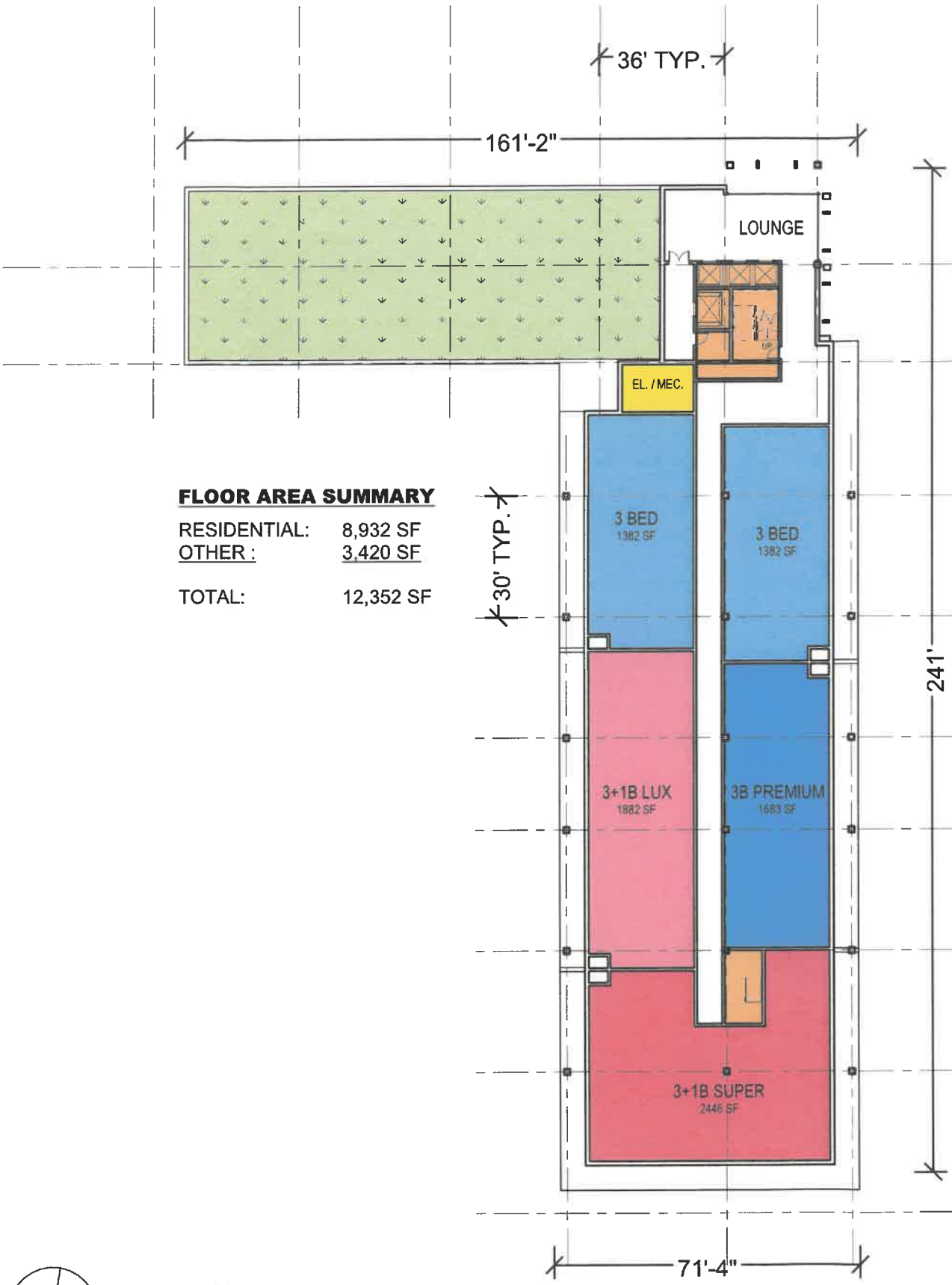
RESIDENTIAL:	3,000 SF
OTHER :	3,090 SF
TOTAL:	6,090 SF



11th FLOOR  
SCALE: 1:400

FLOOR AREA SUMMARY

RESIDENTIAL:	8,932 SF
OTHER :	3,420 SF
TOTAL:	12,352 SF



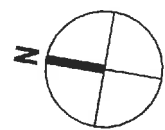
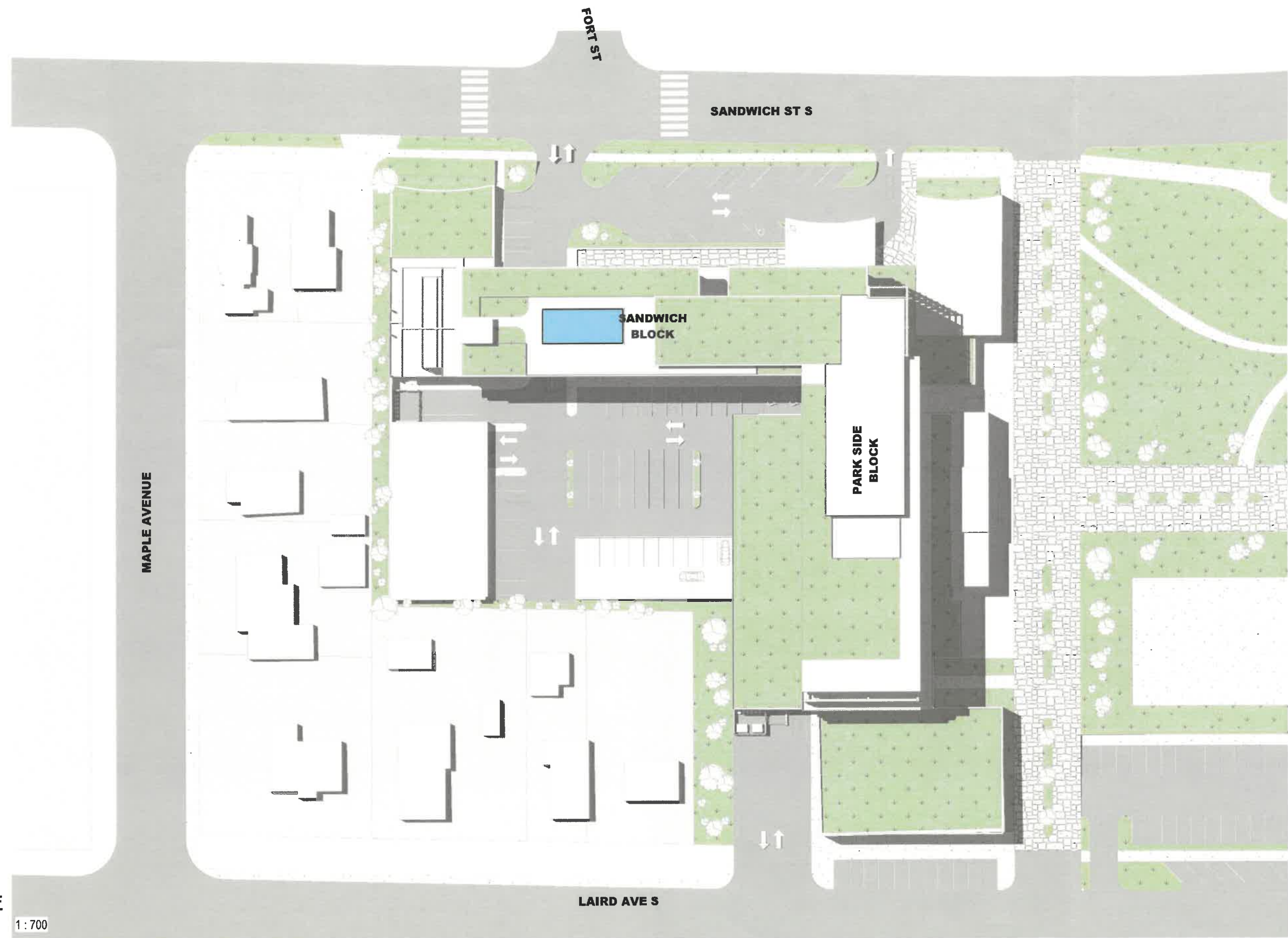
10th FLOOR  
SCALE: 1:400

SANDWICH BLOCK UNIT SUMMARY

CATEGORY	UNITS COUNT
LEVEL 2-3	
- 1 BEDROOM UNITS	28
- 2 BEDROOM UNITS	1
LEVEL 4-5-6	
- 1 BEDROOM UNITS	15
- 2 BEDROOM UNITS	10
- 2+1 BEDROOM UNITS	6
- 3 BEDROOM UNITS	1
LEVEL 7-8	
- 1 BEDROOM UNITS	6
- 2 BEDROOM UNITS	4
- 2+1 BEDROOM UNITS	4
- 3 BEDROOM UNITS	4
TOTAL UNITS	79

PARK SIDE BLOCK UNIT SUMMARY

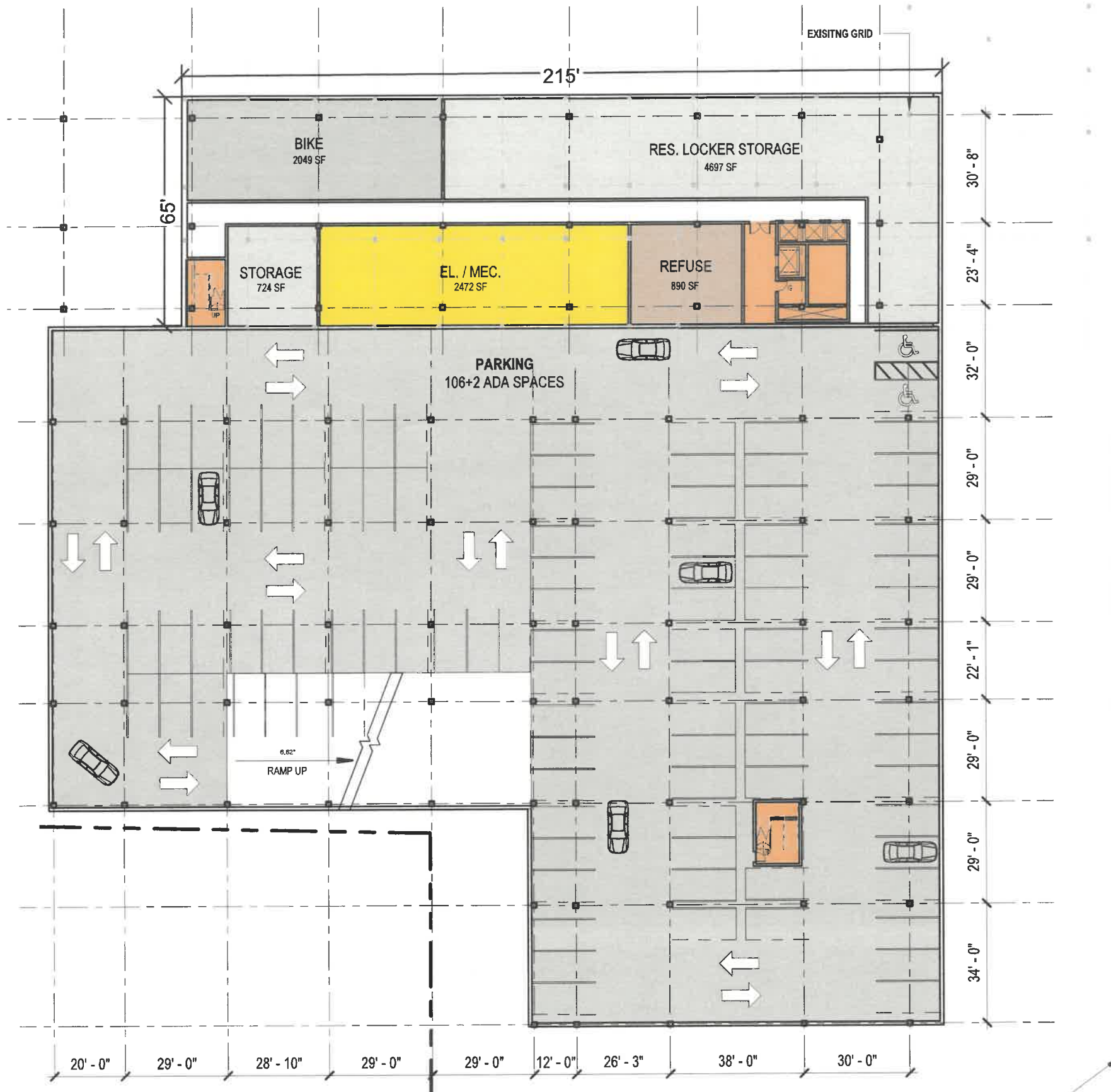
CATEGORY	UNIT COUNT
LEVEL 3-4-5-6	
- 2 BEDROOM UNITS	28
- 2+1 BEDROOM UNITS	8
- 1 BEDROOM UNITS	4
LEVEL 7-8	
- 2 BEDROOM UNITS	6
- 3 BEDROOM UNITS	6
- 3 BEDROOM PREMIUM UNITS	2
LEVEL 9-10	
- 3 BEDROOM UNITS	4
- 3 BEDROOM PREMIUM UNITS	2
- 3+1 BEDROOM LUX UNITS	2
- 3+1 BEDROOM SUPER UNITS	2
LEVEL 11	
- PRIVATE SUITE	1
TOTAL UNITS	68



**ROOF**

SCALE: 1 : 700





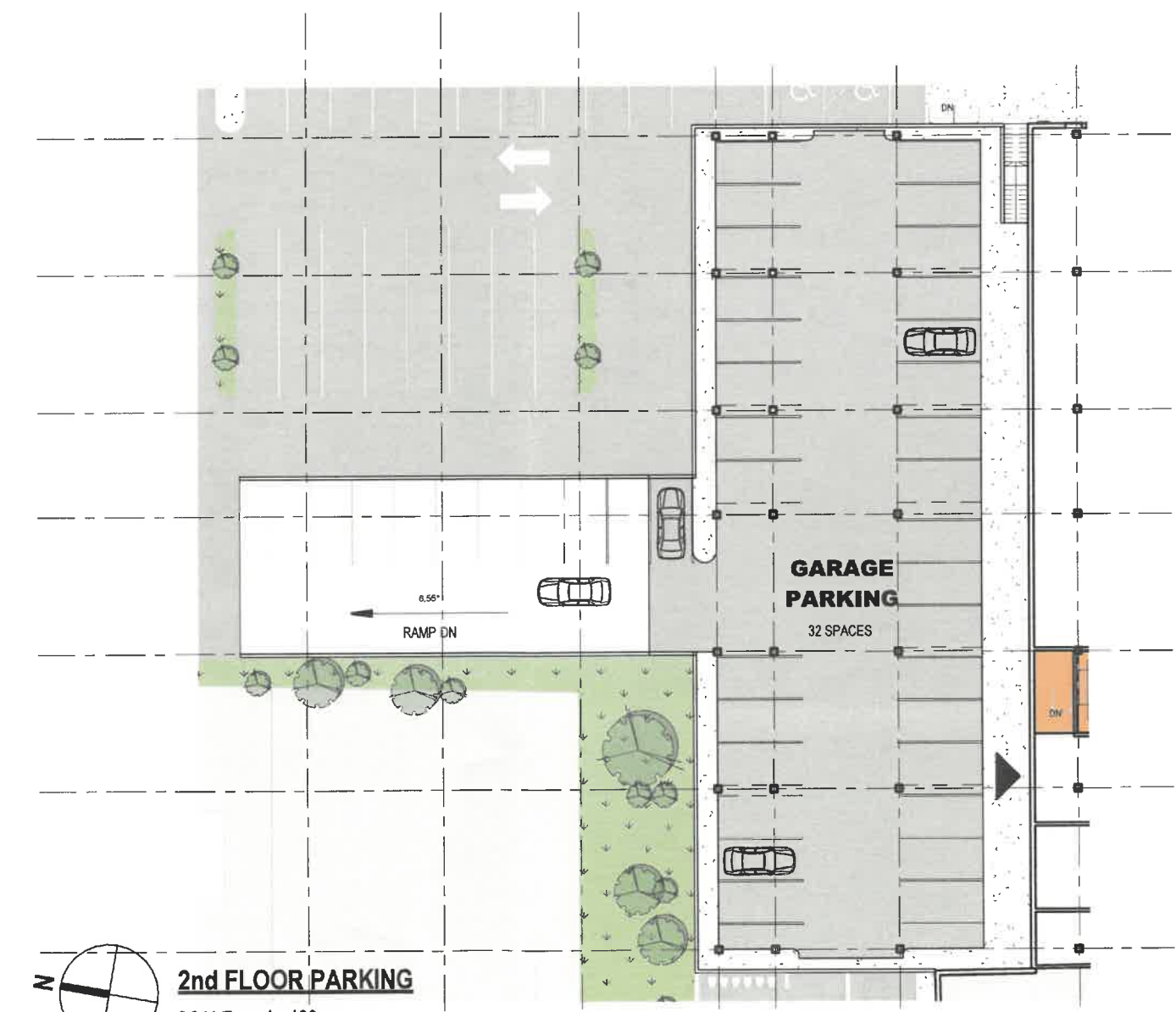
**U/G PARKING**  
SCALE: 1:400

**FLOOR AREA SUMMARY**

PARKING:	40,814+16,050 SF
STR :	724 SF
LOCKER :	4,697 SF
EL./MEC. :	10,832 SF
BIKE :	2,049 SF
OTHER :	4,054 SF
<b>TOTAL :</b>	<b>71,112 SF</b>

**PARKING SUMMARY**

CATEGORY	PARKING COUNT
<b>PROVIDED PARKING</b>	
- Level 01	100 + 4 ADA
- Level 02	31
- VIP Garage	19
- Level -1 (Underground Garage)	106 + 2 ADA
<b>TOTAL PROVIDED PARKING</b>	<b>262</b>
<b>REQUIRED PARKING</b>	
- Residential Units (144 x 1.25)	180
- Retail Area (12,800 SF + 269 SF)	47
- Restaurant (5,600 SF + 161 SF)	35
<b>TOTAL REQUIRED PARKING</b>	<b>262</b>
<b>TOWN HALL municipa parking (35,000 SF + 376 SF)</b>	<b>93</b>

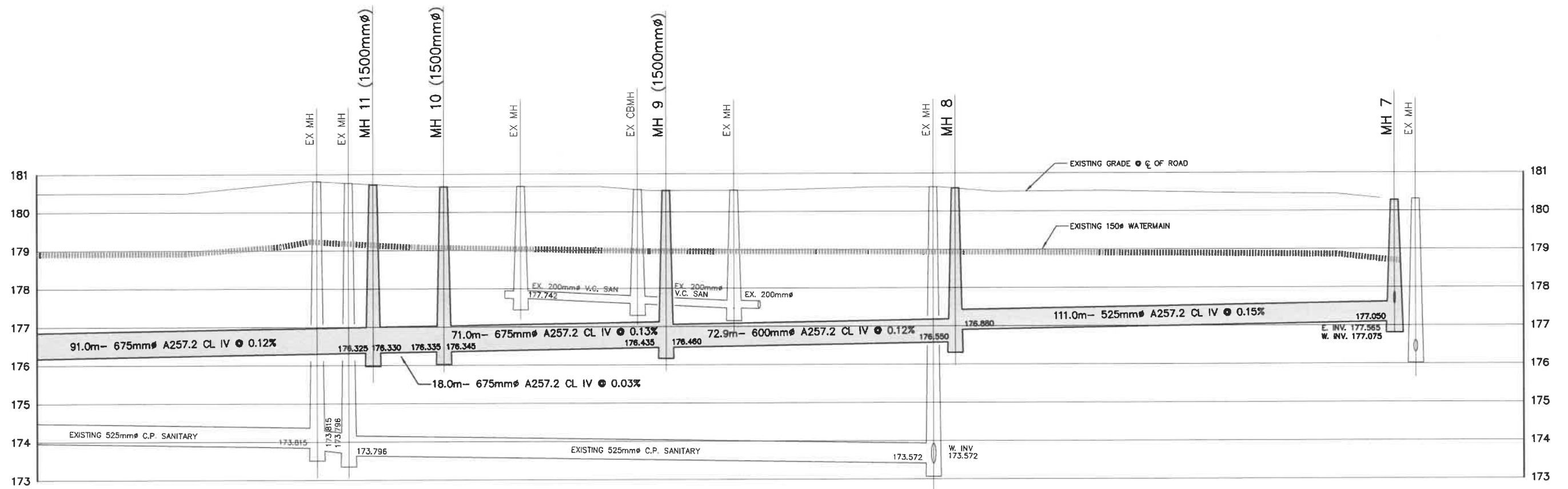
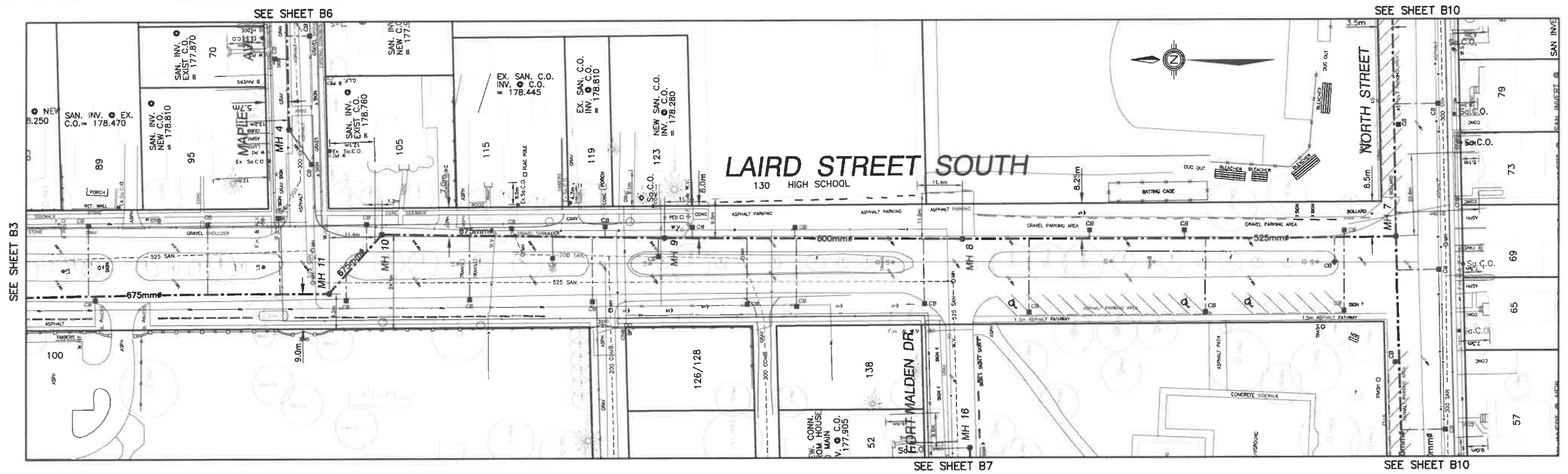


**2nd FLOOR PARKING**  
SCALE: 1:400

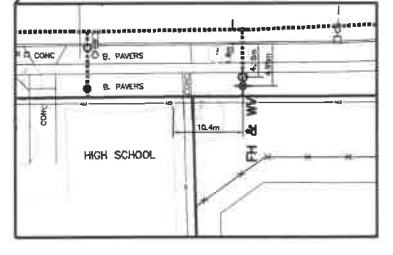
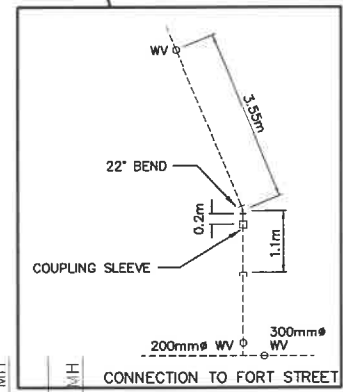
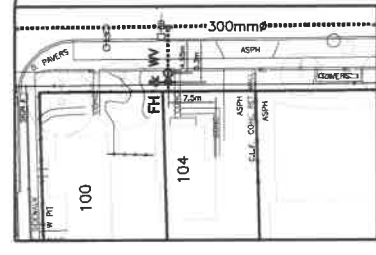
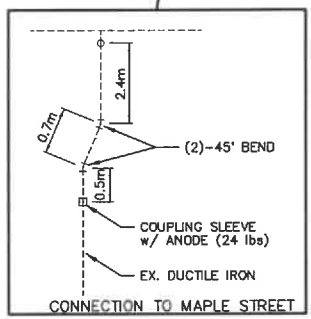
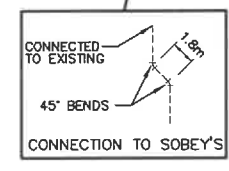
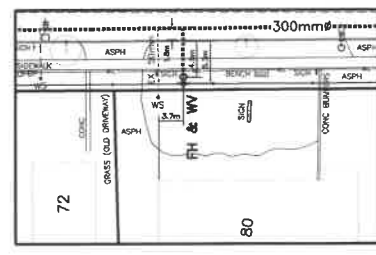
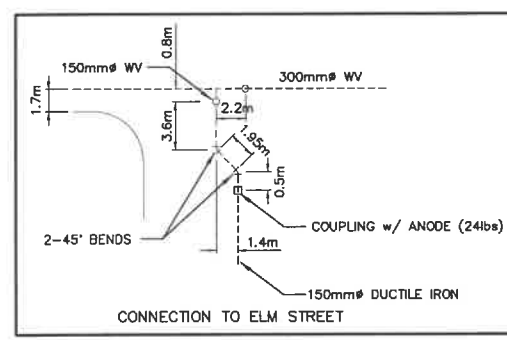
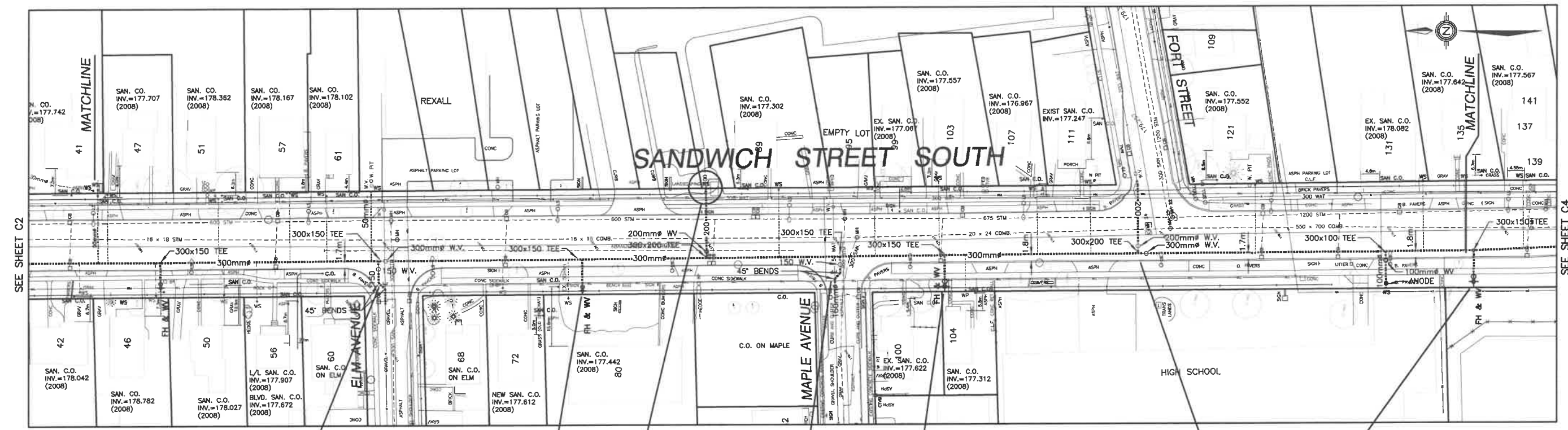


## **Appendix B**

### **Plan and Profile As-constructed Servicing Plans**

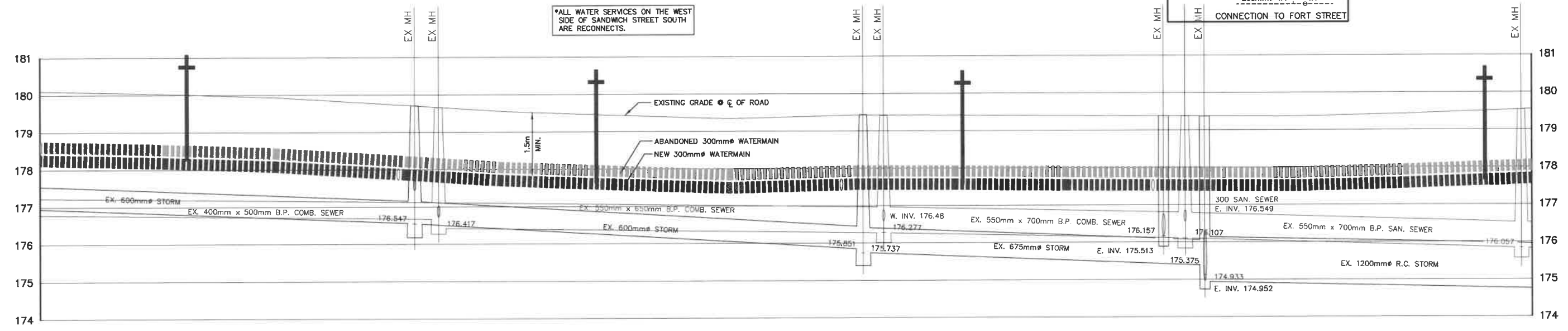


		<table border="1"> <tr> <td>7. AS CONSTRUCTED</td> <td>APR 3, 2009</td> <td>A.A.H.</td> <td rowspan="5"> <b>AMHERSTBURG SEWER SEPARATION</b>  <b>PART 'B'</b>  <b>PLAN AND PROFILE</b>  <b>LAIRD AVENUE SOUTH</b>  <b>AS CONSTRUCTED</b> </td> <td>PROJECT NO.</td> </tr> <tr> <td>6. REVISED STORM LAYOUT</td> <td>MAR. 17, 2008</td> <td>D.M.A.</td> <td>C108-1440</td> </tr> <tr> <td>5. ISSUED FOR CONSTRUCTION</td> <td>FEB 28, 2008</td> <td>D.M.A.</td> <td>DESIGN</td> <td>SHEET NO.</td> </tr> <tr> <td>4. ADDENDUM No. 4</td> <td>FEB 15, 2008</td> <td>D.M.A.</td> <td>CHECKED</td> <td>B4 of B12</td> </tr> <tr> <td>3. ADDENDUM No. 3</td> <td>FEB 12, 2008</td> <td>D.M.A.</td> <td>DRAWN</td> <td>SHEET NO.</td> </tr> <tr> <td>2. ISSUED FOR TENDER</td> <td>FEB 1, 2008</td> <td>D.M.A.</td> <td>CHECKED</td> <td>15 of 35</td> </tr> <tr> <td>1. ISSUED FOR MUNICIPAL REVIEW</td> <td>JAN 18, 2008</td> <td>D.M.A.</td> <td>DATE</td> <td></td> </tr> <tr> <td>NO.</td> <td>REVISION</td> <td>DATE</td> <td>BY</td> <td>SCALE</td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>1:50 VERT.</td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>1:500 HORIZ.</td> <td></td> </tr> </table>				7. AS CONSTRUCTED	APR 3, 2009	A.A.H.	<b>AMHERSTBURG SEWER SEPARATION</b> <b>PART 'B'</b> <b>PLAN AND PROFILE</b> <b>LAIRD AVENUE SOUTH</b> <b>AS CONSTRUCTED</b>	PROJECT NO.	6. REVISED STORM LAYOUT	MAR. 17, 2008	D.M.A.	C108-1440	5. ISSUED FOR CONSTRUCTION	FEB 28, 2008	D.M.A.	DESIGN	SHEET NO.	4. ADDENDUM No. 4	FEB 15, 2008	D.M.A.	CHECKED	B4 of B12	3. ADDENDUM No. 3	FEB 12, 2008	D.M.A.	DRAWN	SHEET NO.	2. ISSUED FOR TENDER	FEB 1, 2008	D.M.A.	CHECKED	15 of 35	1. ISSUED FOR MUNICIPAL REVIEW	JAN 18, 2008	D.M.A.	DATE		NO.	REVISION	DATE	BY	SCALE						1:50 VERT.						1:500 HORIZ.	
		7. AS CONSTRUCTED	APR 3, 2009	A.A.H.	<b>AMHERSTBURG SEWER SEPARATION</b> <b>PART 'B'</b> <b>PLAN AND PROFILE</b> <b>LAIRD AVENUE SOUTH</b> <b>AS CONSTRUCTED</b>	PROJECT NO.																																																			
6. REVISED STORM LAYOUT	MAR. 17, 2008	D.M.A.	C108-1440																																																						
5. ISSUED FOR CONSTRUCTION	FEB 28, 2008	D.M.A.	DESIGN	SHEET NO.																																																					
4. ADDENDUM No. 4	FEB 15, 2008	D.M.A.	CHECKED	B4 of B12																																																					
3. ADDENDUM No. 3	FEB 12, 2008	D.M.A.	DRAWN	SHEET NO.																																																					
2. ISSUED FOR TENDER	FEB 1, 2008	D.M.A.	CHECKED	15 of 35																																																					
1. ISSUED FOR MUNICIPAL REVIEW	JAN 18, 2008	D.M.A.	DATE																																																						
NO.	REVISION	DATE	BY	SCALE																																																					
				1:50 VERT.																																																					
				1:500 HORIZ.																																																					



ALL WATER SERVICES ON THE EAST SIDE OF SANDWICH STREET SOUTH ARE BORED UNDER THE STREET.

ALL WATER SERVICES ON THE WEST SIDE OF SANDWICH STREET SOUTH ARE RECONNECTS.

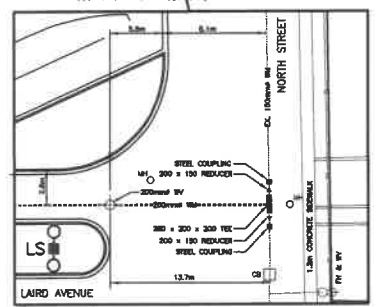
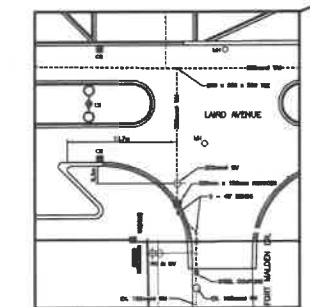
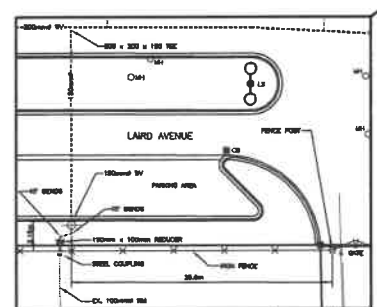
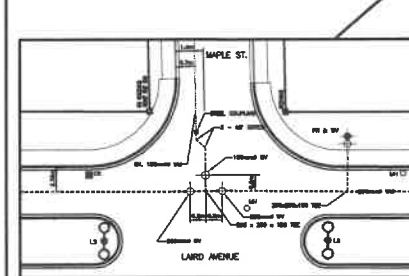
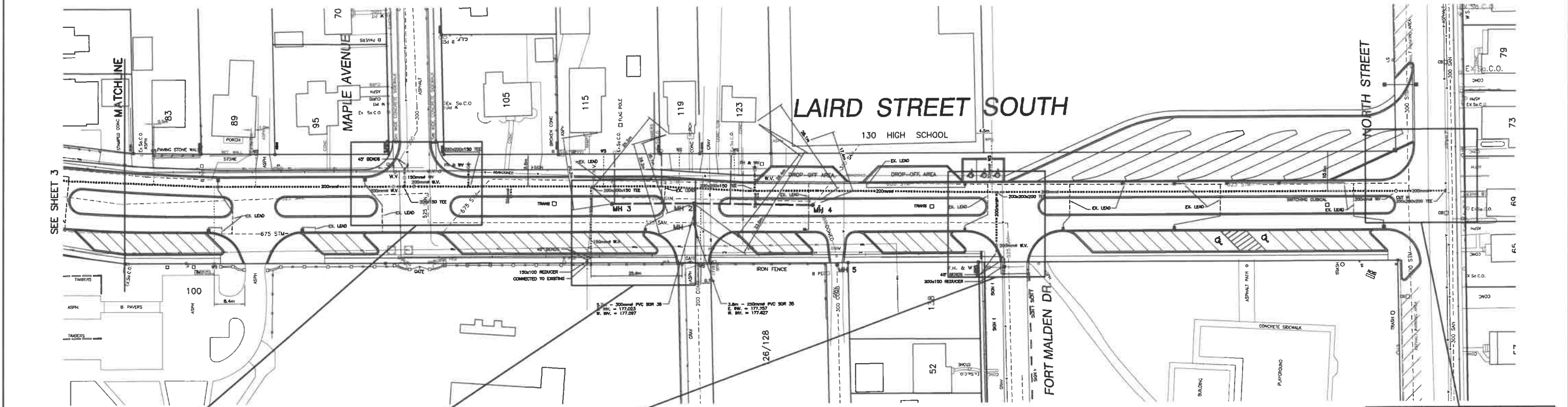


**hes** LIMITED  
Consulting Engineers  
WINDSOR, ONTARIO

5.	AS CONSTRUCTED	APR 3, 2009	D.L.	DESIGN	D.M.A.
4.	REVISED RUNNING LINE	MAY 27, 2008	D.M.A.	CHECKED	R.C.S.
3.	ISSUED FOR CONSTRUCTION	FEB 26, 2008	D.M.A.	DRAWN	H.M.K.
2.	ISSUED FOR TENDER	FEB 1, 2008	D.M.A.	CHECKED	R.C.S.
1.	ISSUED FOR MUNICIPAL REVIEW	JAN 18, 2008	D.M.A.	DATE	NOV 2007
NO.	REVISION	DATE	BY	SCALE	1:500

SANDWICH STREET WATERMAIN PART 'C'		PROJECT NO. C108-1440
PLAN AND PROFILE SANDWICH STREET SOUTH AS-CONSTRUCTED		SHEET NO. C3 of C6
		SHEET NO. 26 of 36

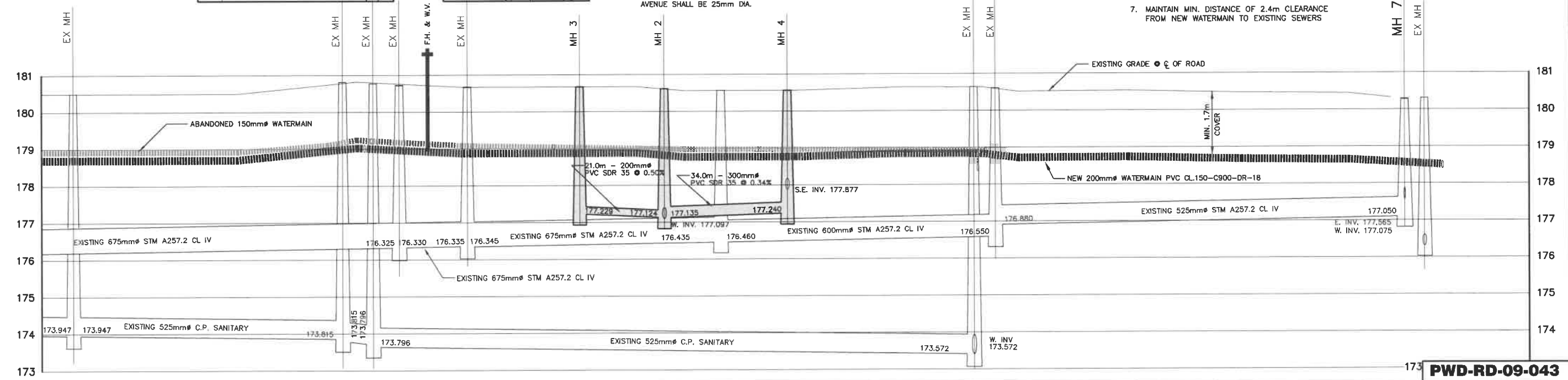




- NOTES:**
1. ANY 15mm# SERVICES OR GALVANIZED SERVICES TO BE REPLACED WITH 20mm# TYPE K SOFT COPPER TO PROPERTY LINE
  2. ANY EXISTING WATER METER PITS TO BE REPLACED WITH PLASTIC PITS TO TOWN OF AMHERSTBURG STANDARDS
  3. ANY EXISTING METER PITS WITH JUMPERS ARE TO BE REPLACED WITH CURB STOP, BOX AND ROD.
  4. ALL METER PITS TO HAVE NEW CURB STOP INSTALLED ONE FOOT IN FRONT OF PIT ON MAIN SIDE.
  5. NO COUPLERS ALLOWED IN LAIRD AVE. R.O.W. WATER SERVICES THAT NEED TO BE EXTENDED SHALL BE REPLACED FROM PROPERTY LINE TO NEW MAIN. WATER SERVICES TO BE 3/4" COPPER.
  6. ALL REMOVED EXISTING VALVE BOXES, VALVE CHAMBER PITS, FIRE HYDRANTS AND WATER VALVES TO BE RETURNED TO AMHERSTBURG PUBLIC WORKS DEPARTMENT
  7. COUPLERS WILL BE REQUIRED ON THE WEST SIDE OF LAIRD AVE. THE COUPLER LOCATION SHALL BE WEST OF THE CENTER ISLAND LOCATION. ALL WATER SERVICES ON THE WEST SIDE OF LAIRD AVENUE SHALL BE 25mm DIA.

- LEGEND:**
- WS DENOTES LOCATION OF WATERSERVICE
  - WP DENOTES LOCATION OF WATERMETER PIT

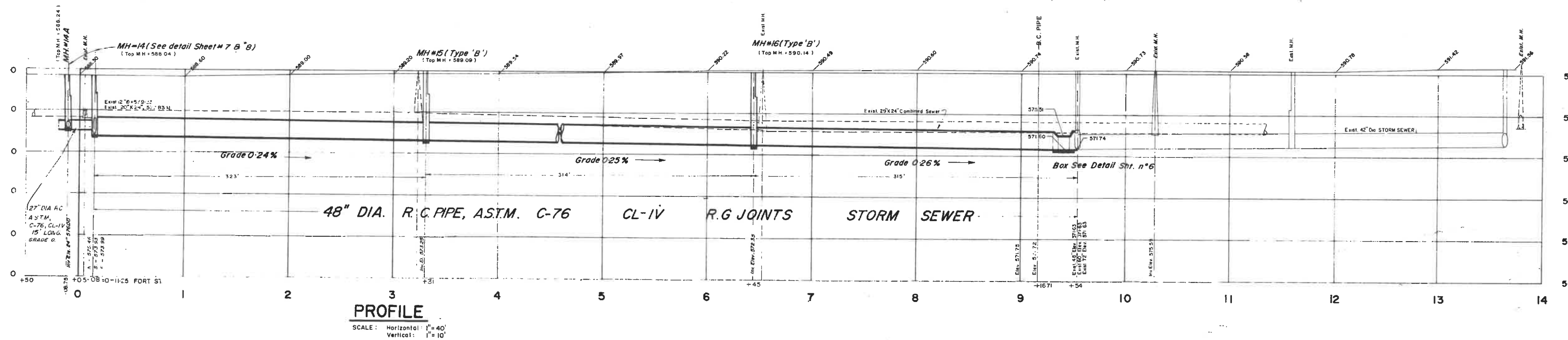
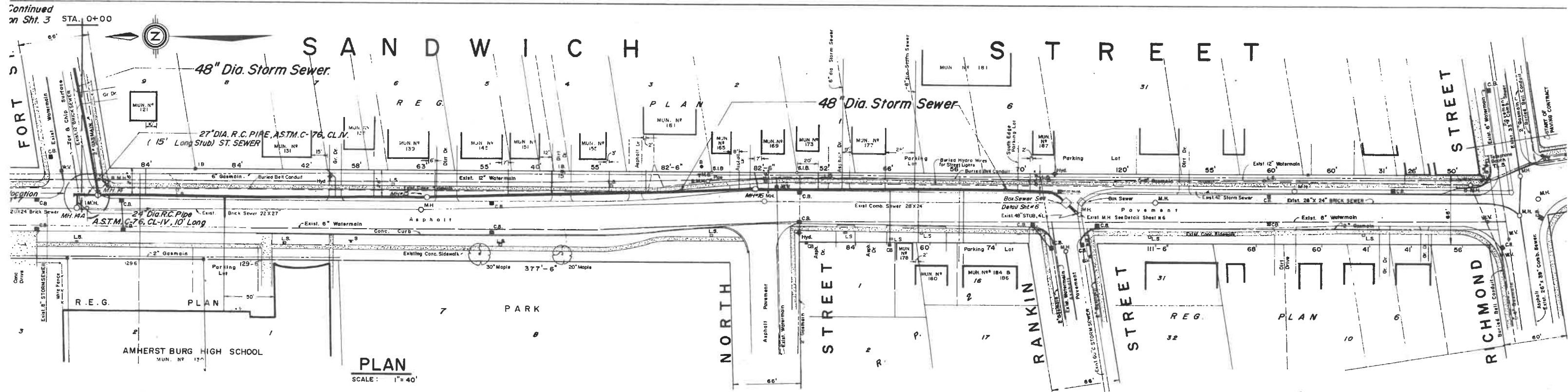
- GENERAL NOTES:**
1. CONTRACTOR TO PERFORM ALL WORK TO TOWN OF AMHERSTBURG STANDARDS
  2. NEW WATERMAIN TO HAVE MIN. 1.7m OF COVER
  3. CONTRACTOR TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION
  4. CONTRACTOR TO SUPPORT ALL EXISTING HYDRO POLES AS REQUIRED DURING CONSTRUCTION
  5. ALL EXISTING HOUSE SERVICES TO BE EXTENDED TO NEW WATERMAIN. CONTRACTOR RESPONSIBLE TO LOCATE ALL HOUSE SERVICES EVEN IF NOT SHOWN ON DRAWINGS.
  6. SERVICES WITH \* DENOTE LOCATION IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE FIELD DETERMINED.
  7. MAINTAIN MIN. DISTANCE OF 2.4m CLEARANCE FROM NEW WATERMAIN TO EXISTING SEWERS



1.	ISSUED FOR M.O.E. APPROVAL	SEPT. 9, 2009	H.M.K.	D.M.A.	6.	REVISED WATERMAIN	OCT. 8, 2009	H.M.K.	D.M.A.	DESIGN	D.M.A.
2.	ISSUED FOR TENDER	SEPT. 16, 2009	H.M.K.	D.M.A.	7.	ADDED SANITARY SEWER ON ALMA STREET	OCT. 13, 2009	H.M.K.	D.M.A.	CHECKED	R.C.S.
3.	ADDENDUM 1	SEPT. 22, 2009	H.M.K.	D.M.A.	8.	GRADES, LIGHTS AND BOLLARDS ON PARKING LOT	OCT. 16, 2009	H.M.K.	D.M.A.	DRAIN	D.L./ G.S.
4.	ISSUED FOR CONSTRUCTION	OCT. 1, 2009	H.M.K.	D.M.A.	9.	BUS LAYBY ISLANDS ALL 3.0m WIDE	NOV. 4, 2009	H.M.K.	D.M.A.	CHECKED	B.R.
5.	ISSUED FOR CONSTRUCTION	OCT. 8, 2009	H.M.K.	D.M.A.	10.	AS-CONSTRUCTED	JAN. 30, 2010	A.R./C.H.	D.M.A.	DATE	JANUARY 2010
NO.	REVISION	DATE	BY	APP.	NO.	REVISION	DATE	BY	APP.	SCALE	1:50 VERT. 1:500 HORIZ.






LAIRD AVENUE SOUTH RECONSTRUCTION		PROJECT NO. 09-30
LAIRD AVENUE SOUTH WATERMAIN		SHEET NO. 4
		OF 17



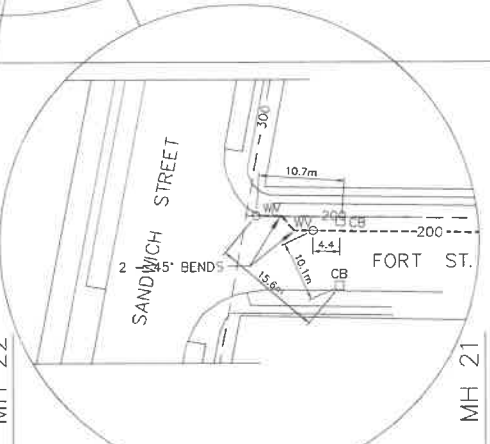
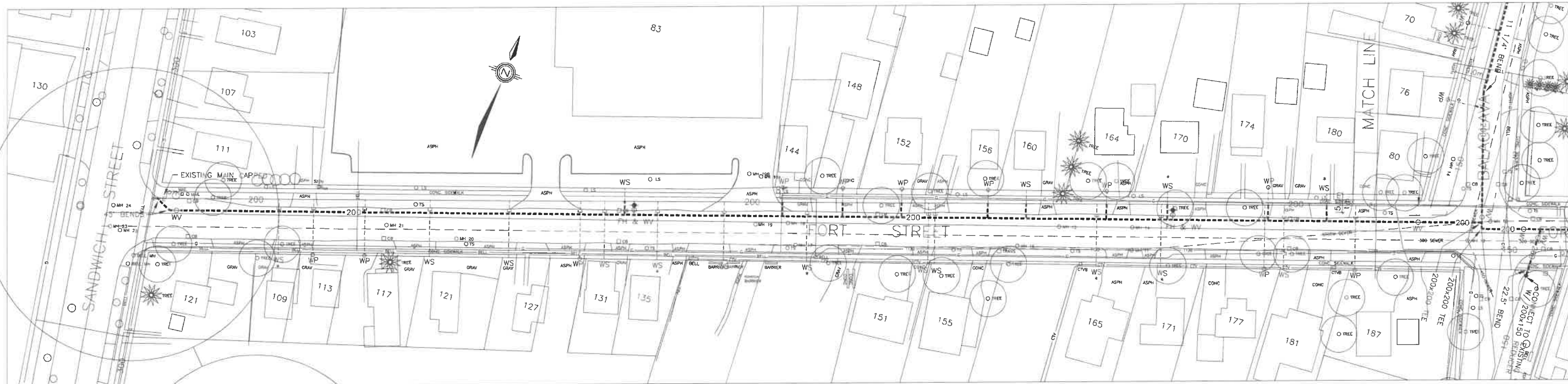


Sta. 14+00  
36" Ø Storm Sewer



 <b>LA FONTAINE, COWIE, BURRITO &amp; ASSOCIATES</b> Consulting Engineers		Winds
<b>TOWN OF AMHERST</b> <b>STORM RELIEF</b>		
<u>Phase I B</u>		
<b>PLAN &amp; PROFILE ON FORT</b>		
	DRAWN A.S. & P.T.	APPROVED 
	CHECKED	SCALE 
	OFFICE FILE NO. AB-129-73	
SHEET NO.		DRAWING NO.
<b>3 of 9</b>		





**GENERAL NOTES:**

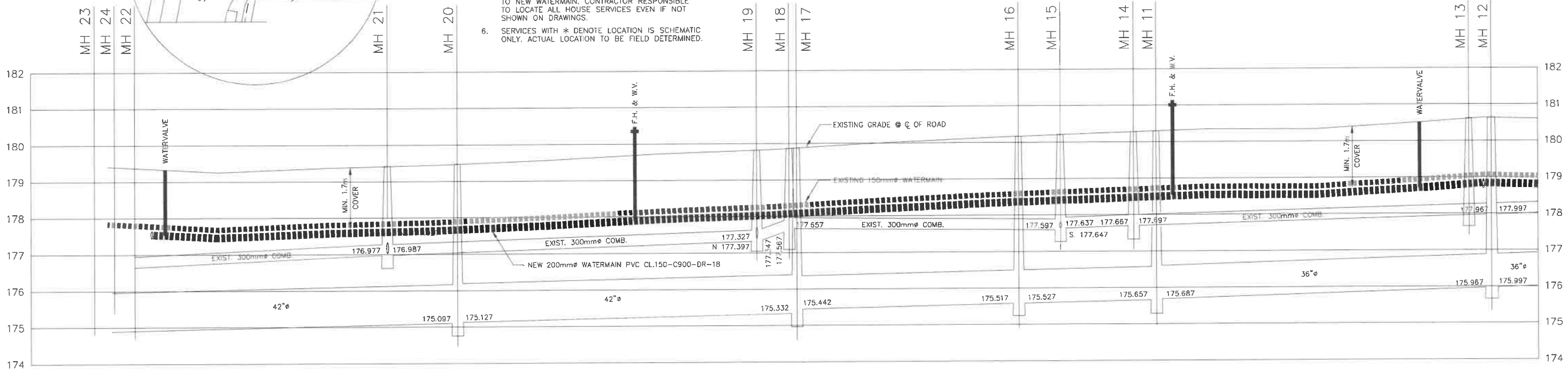
1. CONTRACTOR TO PERFORM ALL WORK TO TOWN OF AMHERSTBURG STANDARDS
2. NEW WATERMAIN TO HAVE MIN. 1.7m OF COVER
3. CONTRACTOR TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION
4. CONTRACTOR TO SUPPORT ALL EXISTING HYDRO POLES AS REQUIRED DURING CONSTRUCTION
5. ALL EXISTING HOUSE SERVICES TO BE EXTENDED TO NEW WATERMAIN. CONTRACTOR RESPONSIBLE TO LOCATE ALL HOUSE SERVICES EVEN IF NOT SHOWN ON DRAWINGS.
6. SERVICES WITH \* DENOTE LOCATION IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE FIELD DETERMINED.

**NOTES**

1. ANY 5/8" SERVICES OR GALVANIZED SERVICES TO BE REPLACED WITH 3/4" TYPE K SOFT COPPER TO PROPERTY LINE
2. ANY EXISTING WATER METER PITS TO BE REPLACED WITH PLASTIC PITS TO TOWN OF AMHERSTBURG STANDARDS
3. ANY EXISTING METER PITS WITH JUMPERS ARE TO BE REPLACED WITH CURB STOP, BOX AND ROD.
4. ALL METER PITS TO HAVE NEW CURB STOP INSTALLED ONE FOOT IN FRONT OF PIT ON MAIN SIDE.

**LEGEND**

- WS DENOTES LOCATION OF WATERSERVICE
- WP DENOTES LOCATION OF WATERMETER PIT
- DISCONNECT EXISTING WATERSERVICE FROM EXISTING WATERMAIN AND RECONNECT TO NEW WATERMAIN
- DISCONNECT EXISTING WATERSERVICE AND EXTEND EXISTING WATERSERVICE AND RECONNECT TO NEW WATERMAIN



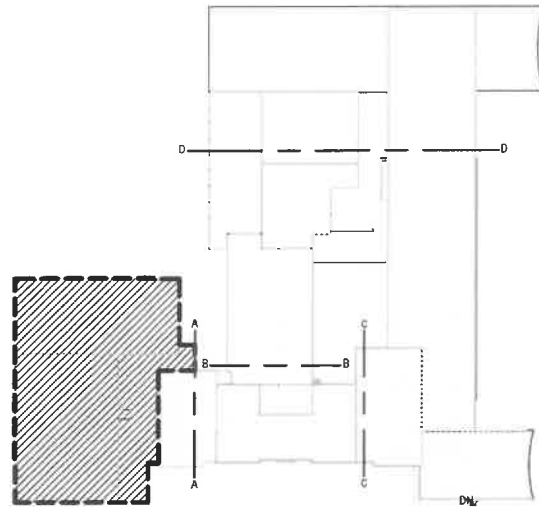
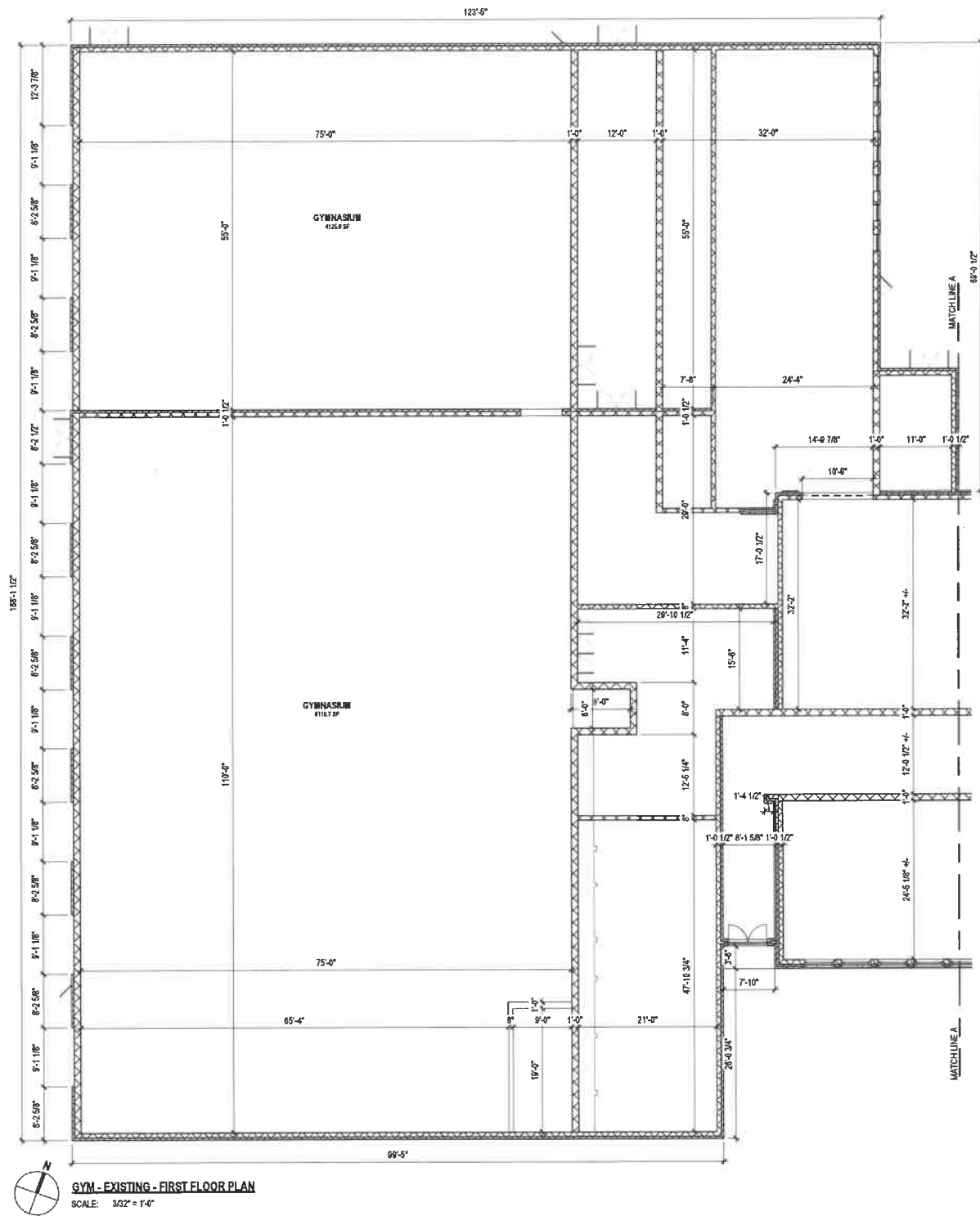
7. AS-BUILTS	SEPT. 11 2008	J.R.	DESIGN	D.M.A.	AMHERSTBURG WATERMAIN REPLACEMENT - 2005	PROJECT NO.
6. REVISED FORT ST. WATERMAIN LOCATION	FEB. 23, 2006	D.M.A.	CHECKED	R.C.S.		A105-1245
5. ISSUED FOR CONSTRUCTION	DEC. 13, 2005	D.M.A.	DRAWN	H.M.K.		SHEET NO.
4. REISSUED FOR TENDER	OCT. 31, 2005	D.M.A.	CHECKED	R.C.S.		8
3. ISSUED FOR TENDER	SEPT. 15, 2005	D.M.A.	DATE	JULY, 2005	PLAN AND PROFILE FORT STREET	OF
2. REVISED AS PER TOWN COMMENTS	SEPT. 7, 2005	D.M.A.	SCALE	1:500		13
NO.	REVISION	DATE	BY	SCALE		



## **Appendix C**

### **Existing Building Floor Plans**





Client  
**AMHERST HIGH SCHOOL  
RENOVATION**  
Street Address, City, Ontario XXX XXX

Drawn By  
AJ  
Project No  
-  
Sheet No  
-

Checked By  
AJ  
Tender No  
-

SHEET NAME  
**FLOOR PLAN - EXISTING - GYM**

Revision Schedule  
Description

Date

No.

Issued For (YYYYMMDD)

This drawing is not to be used for construction  
unless it is accompanied by the Project  
Approval

architectura  
a+e  
188 Eglinton Street West  
Toronto, ON M6E 1C5  
416.251.1789

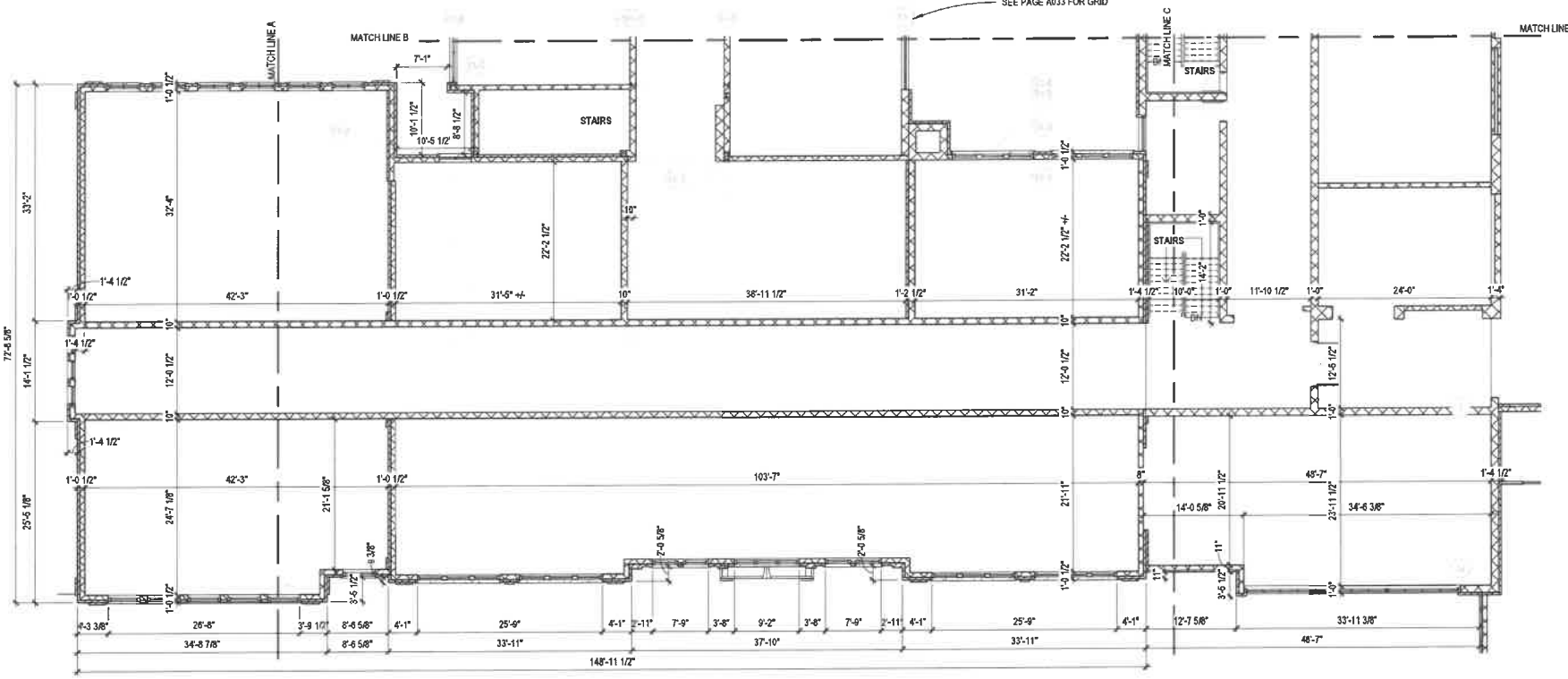
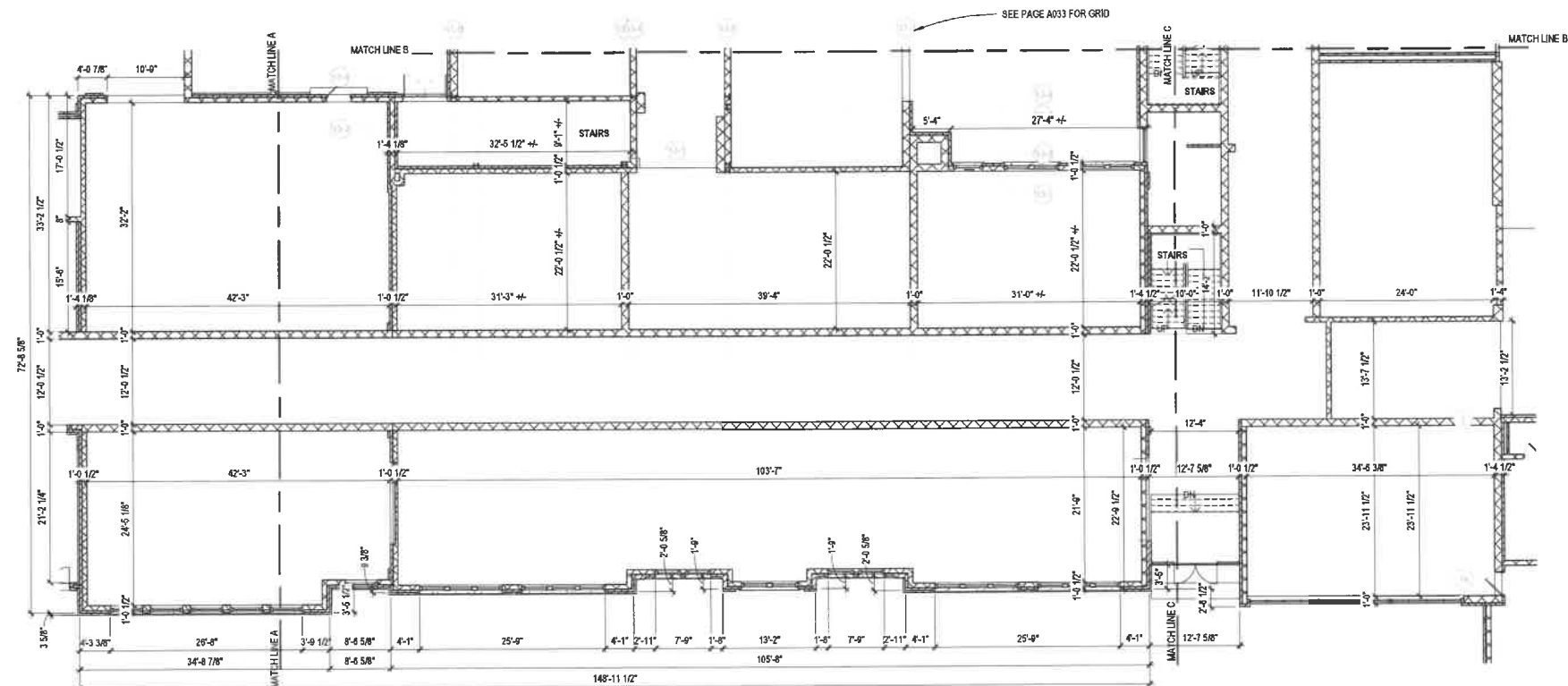
C:\Users\lisa71\Documents\2024\ARCH-288\RE-AMT-01  
2024-1-17 1:52:55 PM



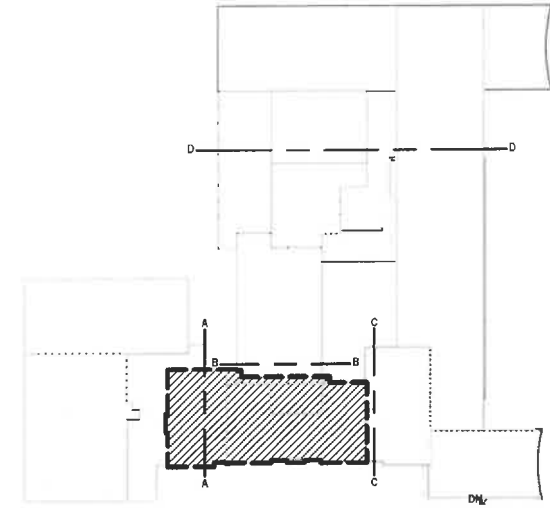
ORIGINAL - EXISTING - SECOND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



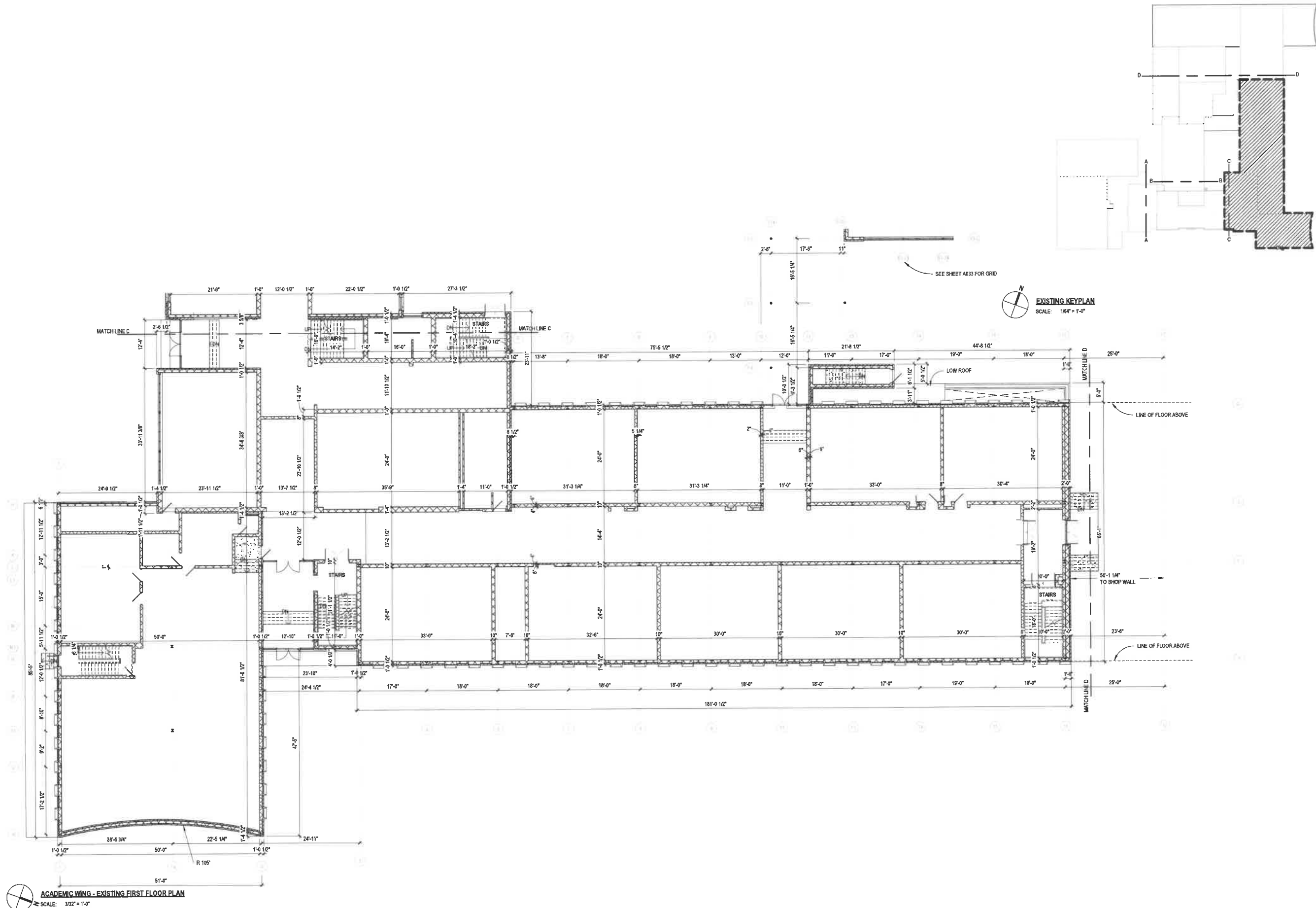
ORIGINAL - EXISTING - FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



EXISTING KEYPLAN  
SCALE: 1/8" = 1'-0"



C:\Users\jbs\OneDrive\Documents\A030 Acad Wing - RENEW.rvt  
2024.1.17 1:52:53 PM



Revision Schedule	Description	No.

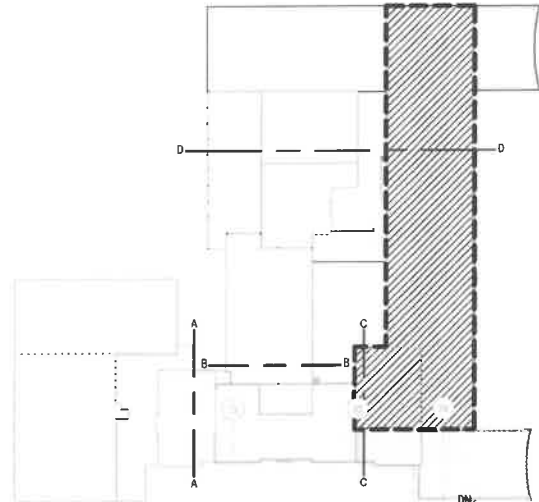
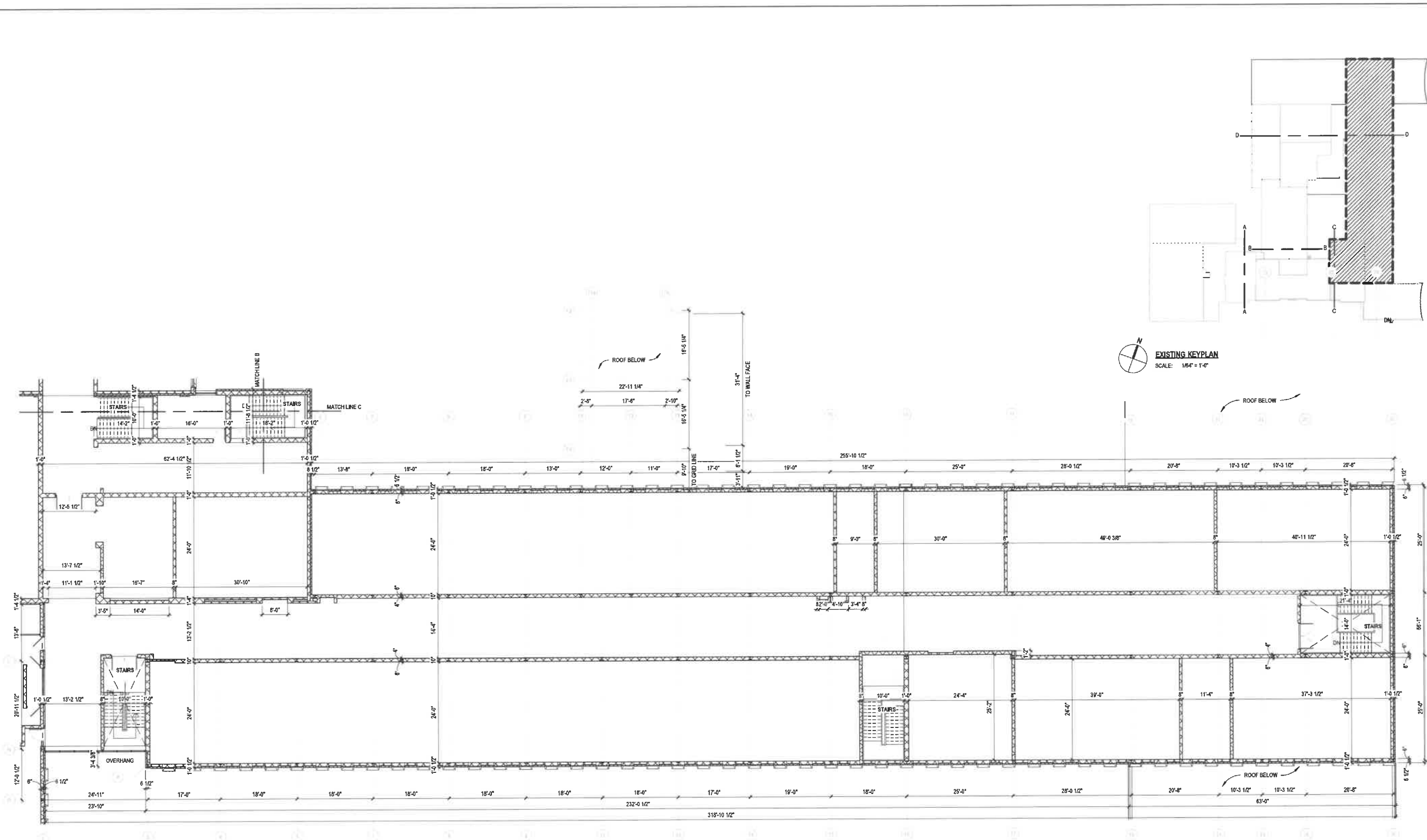
SHEET NAME  
FLOOR PLAN - EXISTING - ACADEMIC  
WING

Client  
**AMHERST HIGH SCHOOL  
RENOVATION**  
Street Address, City, Ontario XXX XXX

Drawn By	Checked By
AI	AI
Project No	Tender No
-	-

Sheet No  
**A030**

2024.12.17 1:53:13 PM User:alr-ar\Documents\2420 ARCH-2302b-REVIE-rt



architectura  
a+e  
139 Exeter Street West  
Windsor, ON N6K 2J8  
519.241.1204

The drawing is not to be used for construction  
unless it is countersigned by the Project  
Architect

Issued For: (PVT)ALR23

Revision Schedule

No.	Description
-----	-------------

SHEET NAME

FLOOR PLAN - EXISTING - ACADEMIC  
WING

Client

AMHERST HIGH SCHOOL  
RENOVATION  
Steel Address, City, Ontario XXX XXX

Drawn By

AI

Checked By

AI

Project No

-

Tender No

-

Sheet No

A031

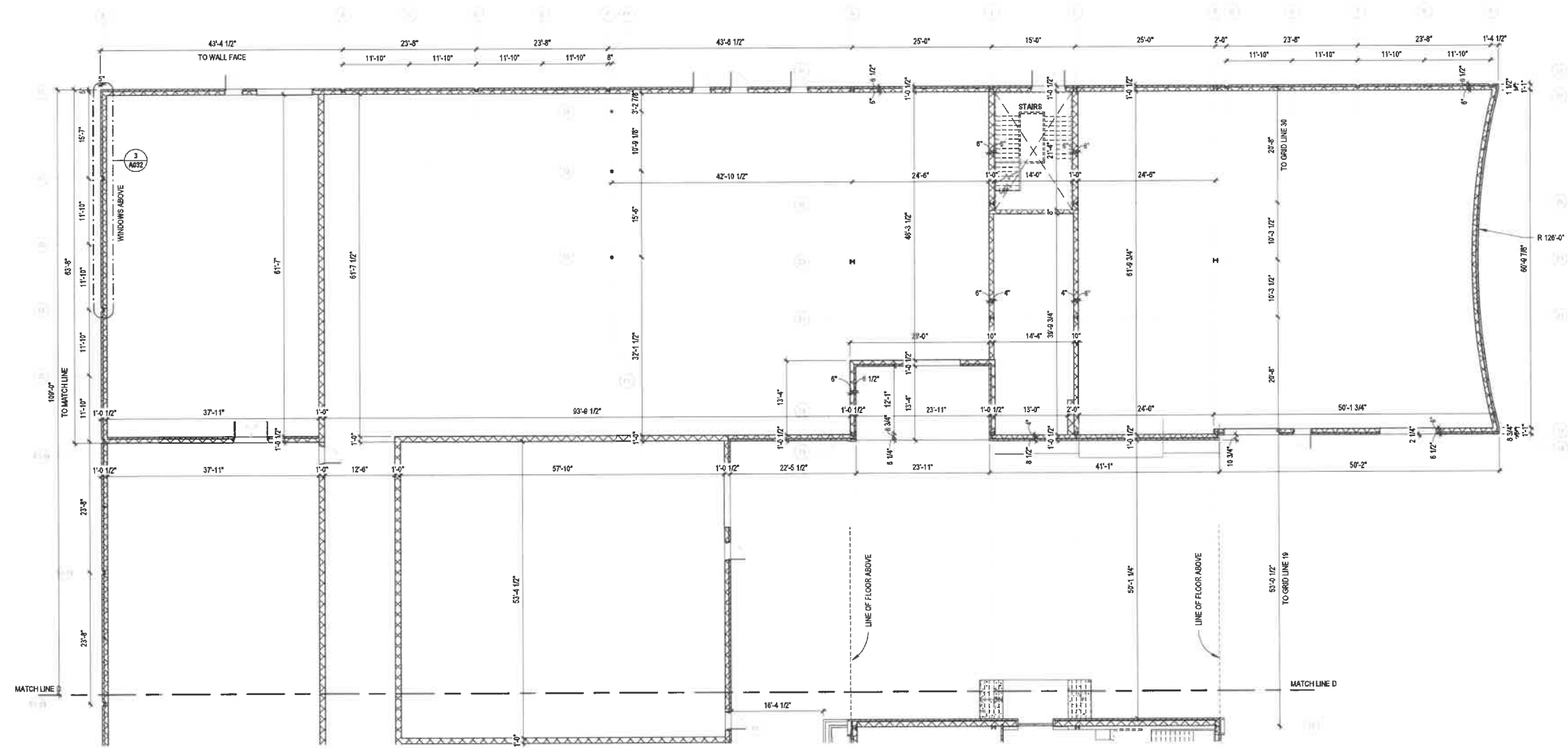
THIS DRAWING SHEET IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHITECTURA INC. ARCHITECTS. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF ARCHITECTURA INC. ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHITECTURA INC. ARCHITECTS. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF ARCHITECTURA INC. ARCHITECTS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM ARCHITECTURA INC. ARCHITECTS.

Page214

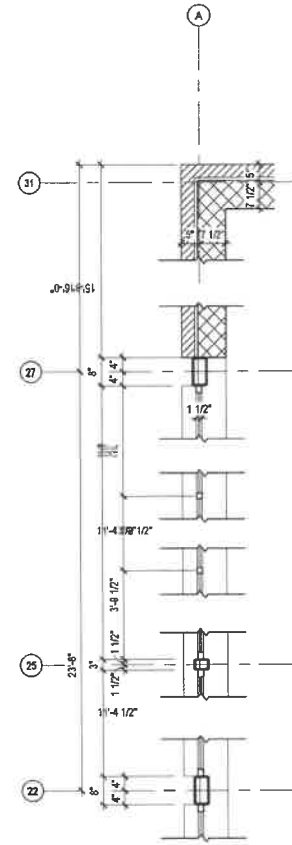
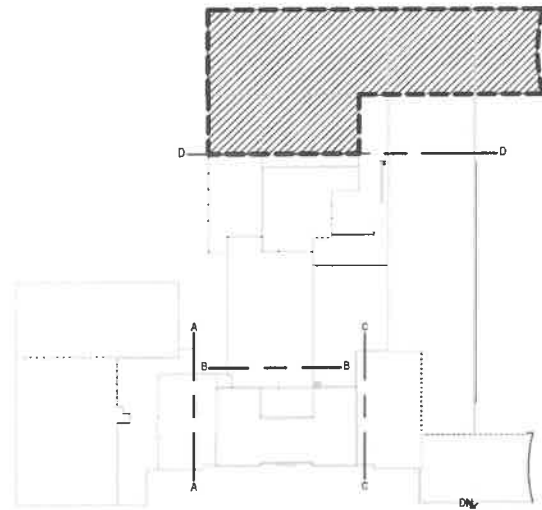
C:\Users\designer1\Documents\2431 ARCH - 2431s - REVITE.rvt 3/24/2017 1:53:46 PM



SHOP - EXISTING - FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



EXISTING KEYPLAN  
SCALE: 1/64" = 1'-0"



3  
A032

DETAIL PLAN VIEW - SHOP WINDOWS  
SCALE: 1/2" = 1'-0"

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

Drawn By

AJ

Project No

-

Sheet No

-

Checked By

AJ

Tender No

-

Date

Revision Schedule

Description

No.

SHEET NAME

FLOOR PLAN - EXISTING - SHOP

Client

AMHERST HIGH SCHOOL  
RENOVATION

Street Address, City, Ontario XXX XXX

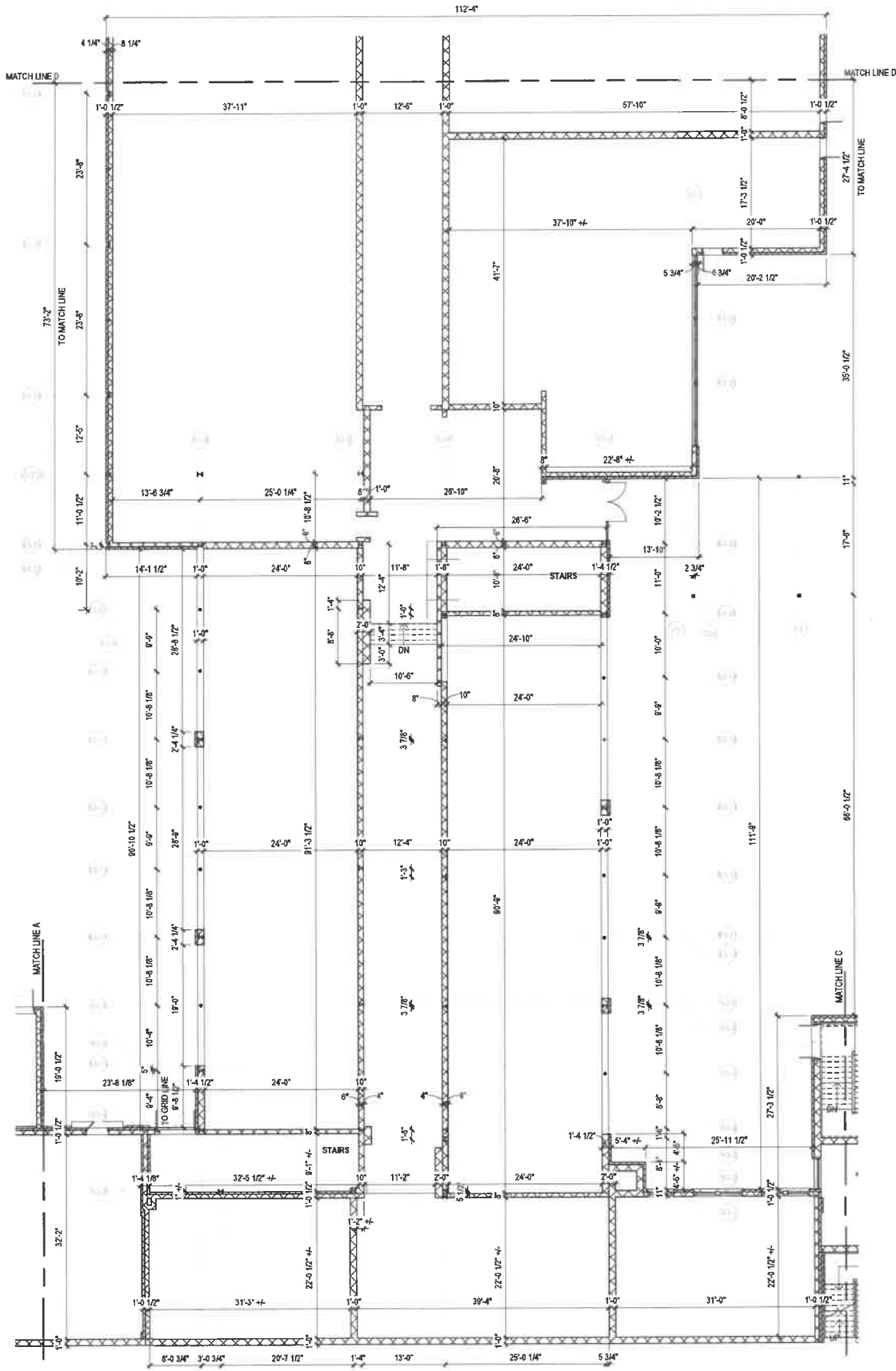
Drawn By

AJ

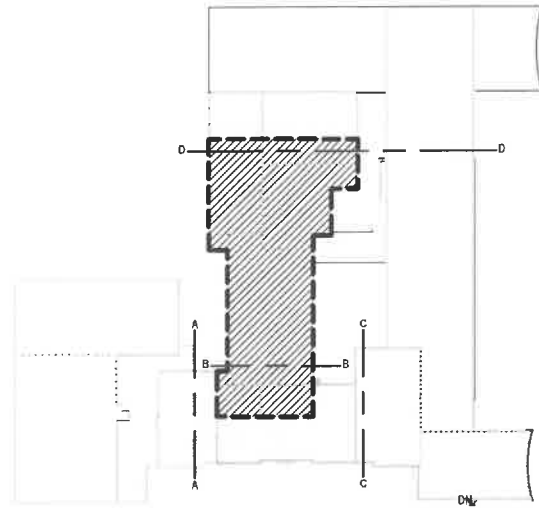


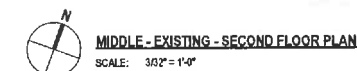


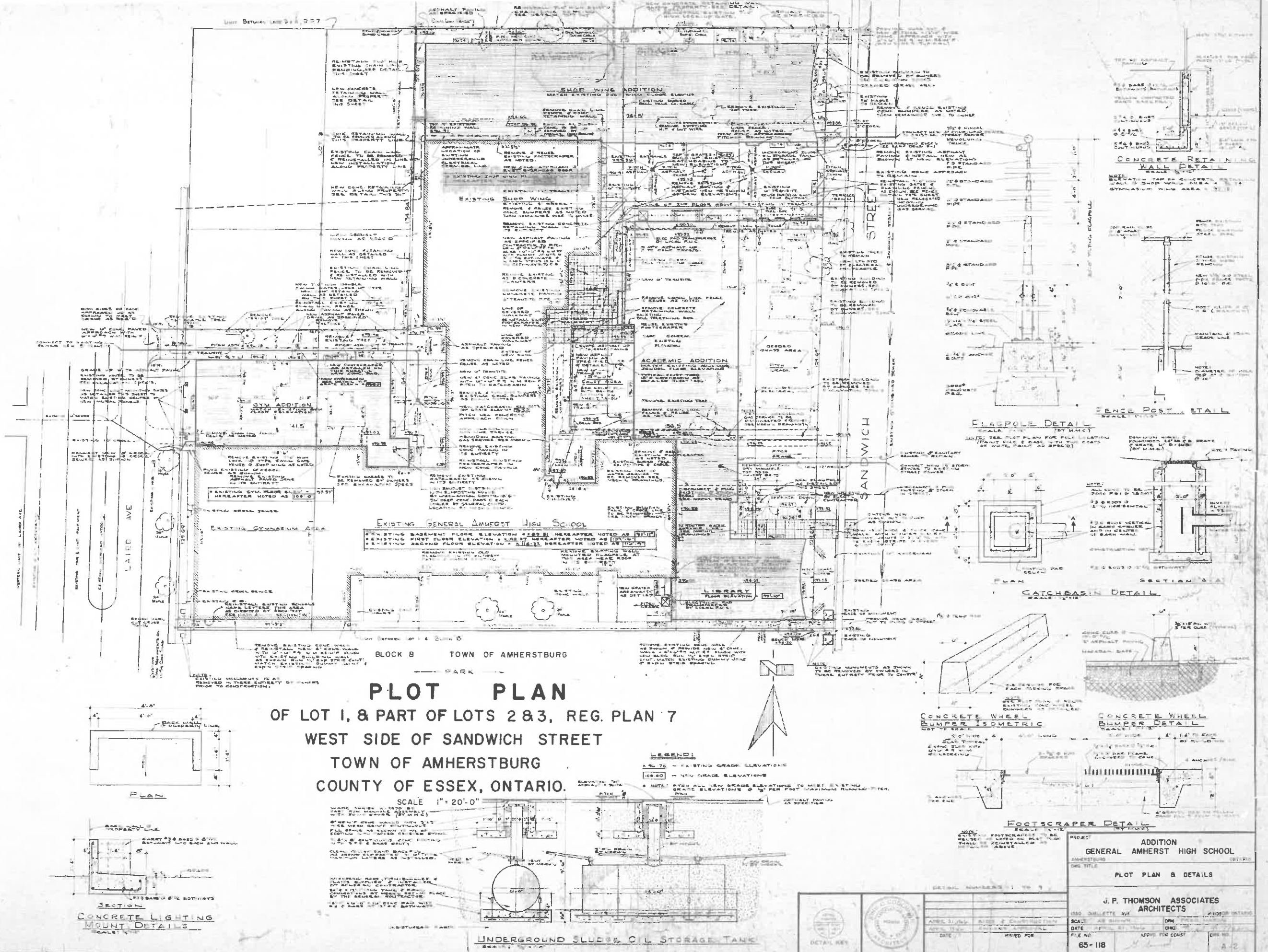
MIDDLE - EXISTING - FIRST FLOOR PLAN  
SCALE: 3/32" = 1'-0"



EXISTING KEY PLAN  
SCALE: 1/64" = 1'-0"



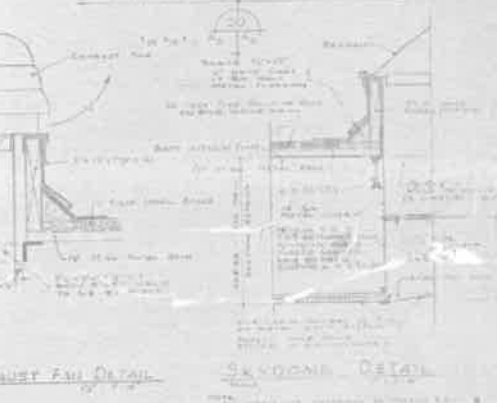
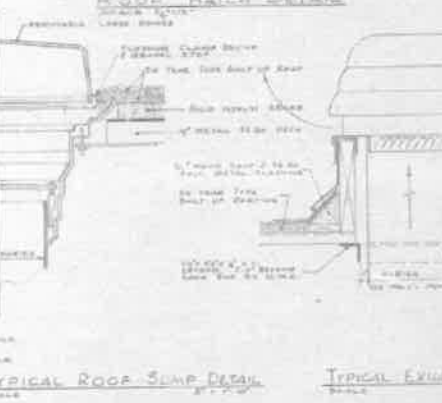
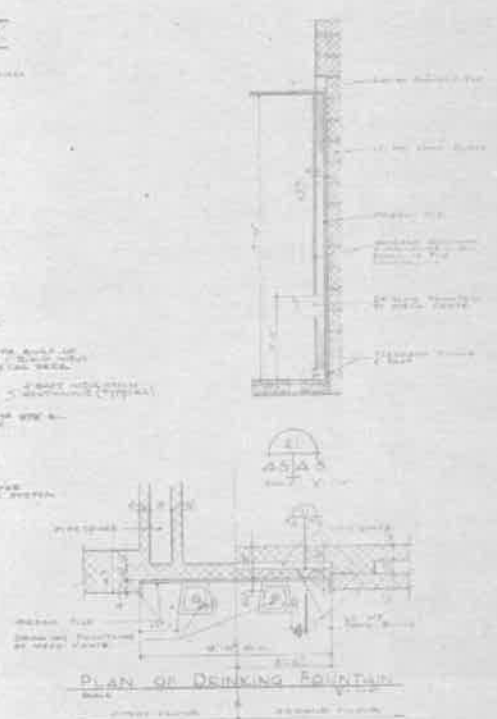
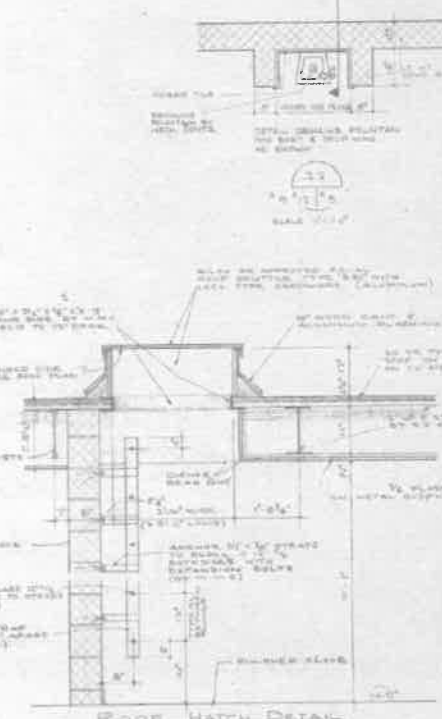
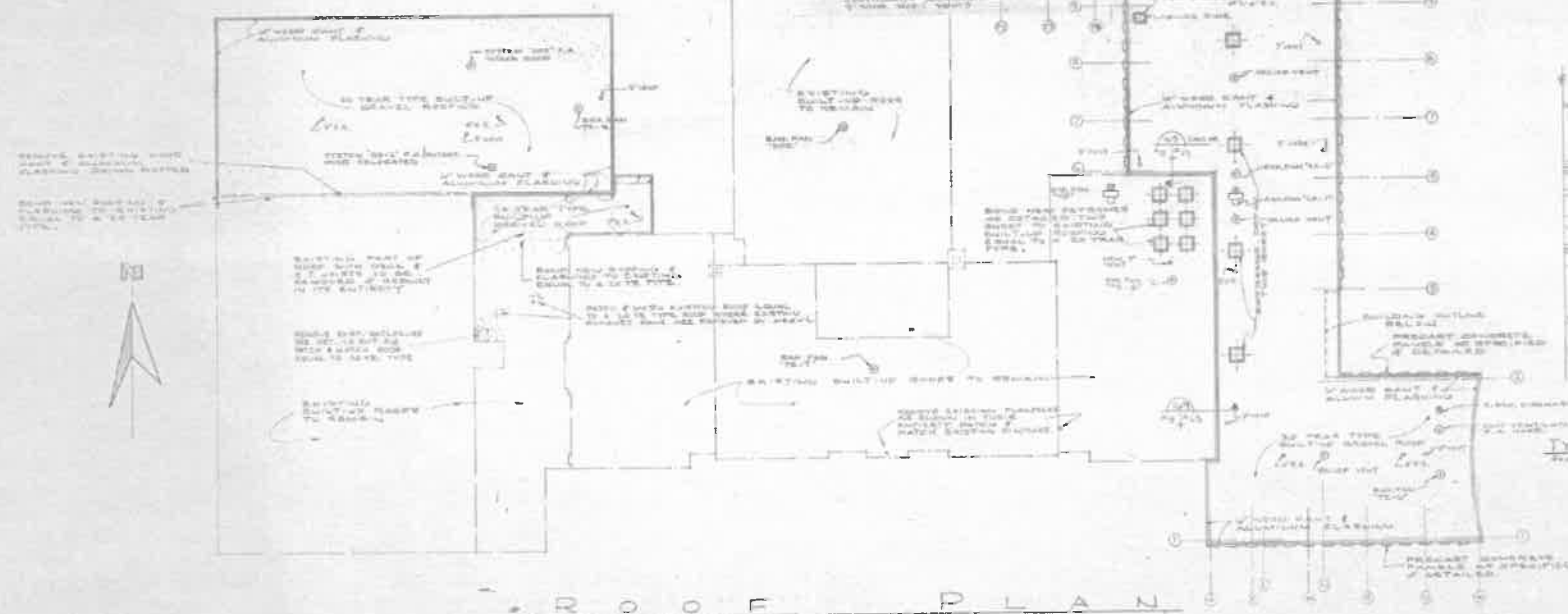
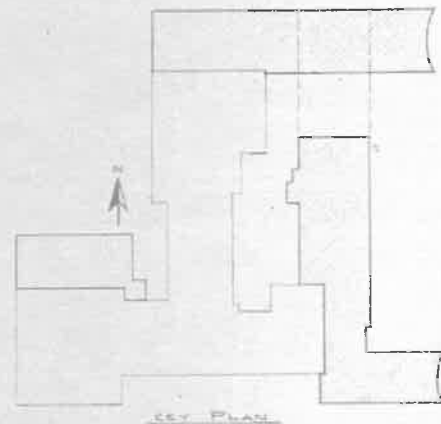
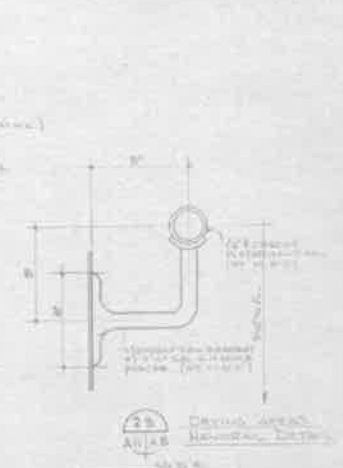
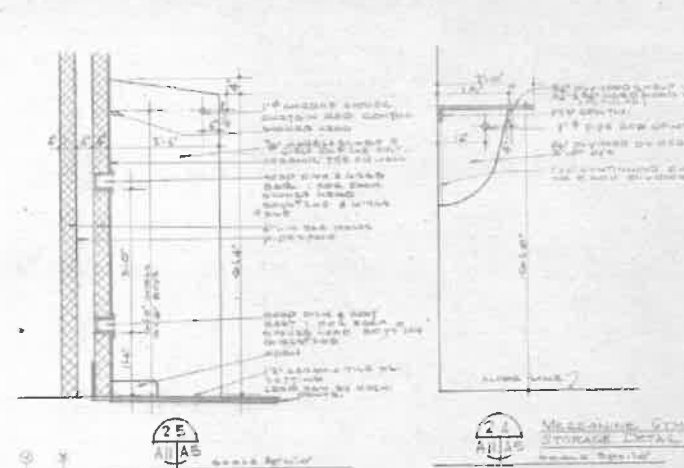
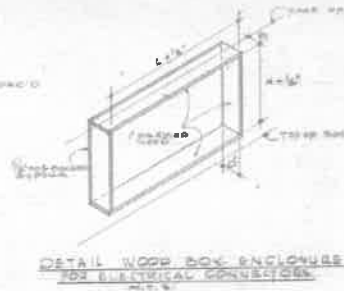
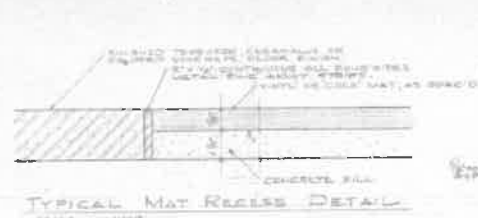
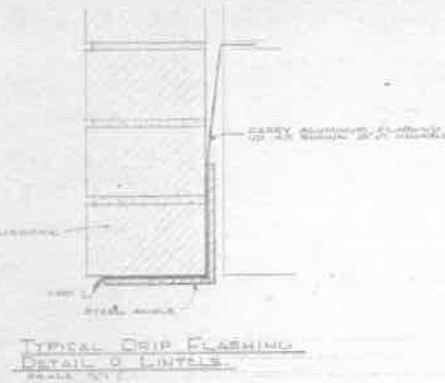




**PLOT PLAN**  
OF LOT 1, & PART OF LOTS 2 & 3, REG. PLAN 7  
WEST SIDE OF SANDWICH STREET  
TOWN OF AMHERSTBURG  
COUNTY OF ESSEX, ONTARIO.

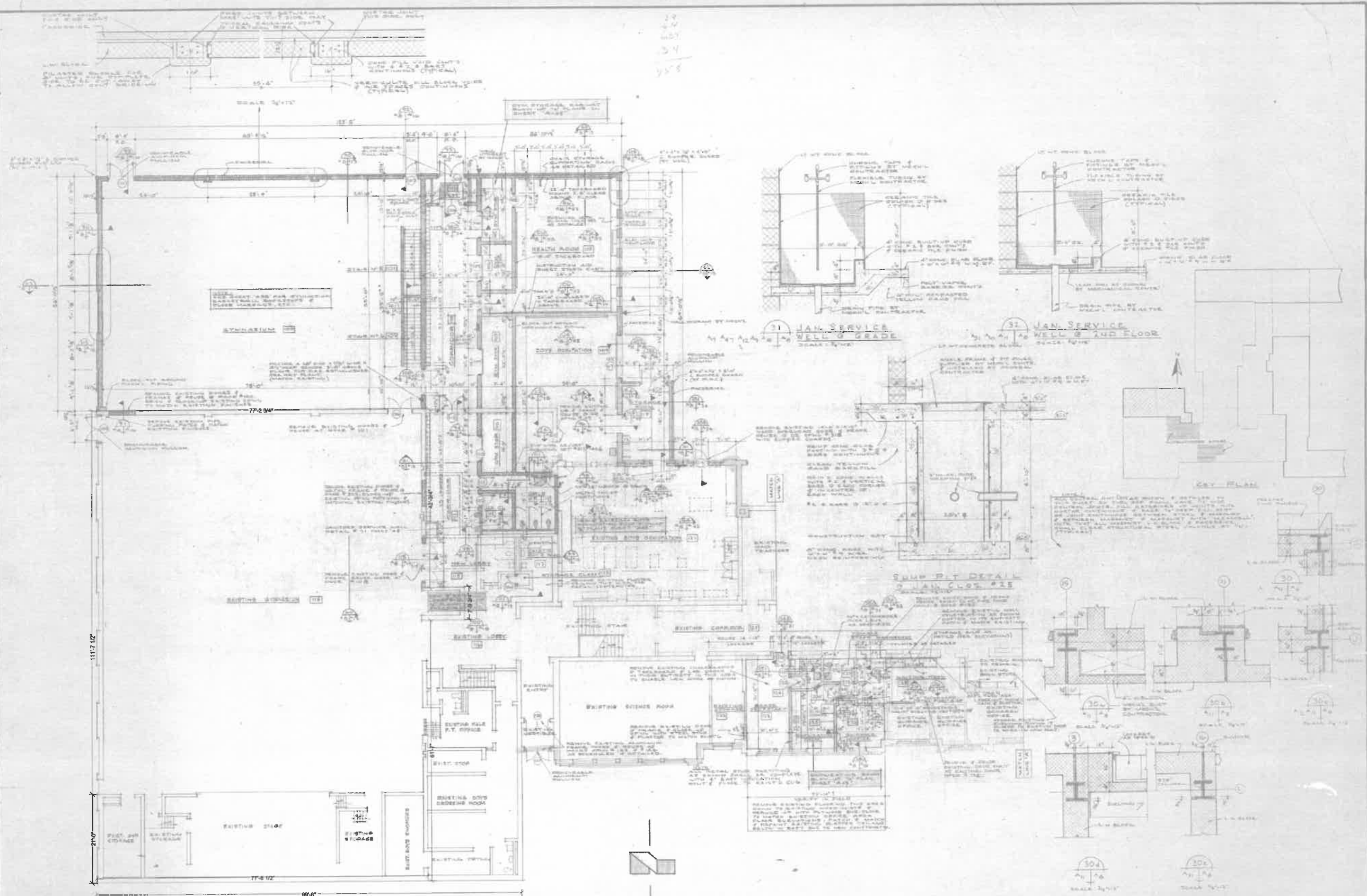
SCALE 1" = 20'-0"

UNDERGROUND SLUDGE OIL STORAGE TANK



PROJECT		ADDITION GENERAL AMHERST HIGH SCHOOL	
ARCHITECT		J.P. THOMSON ASSOCIATES ARCHITECTS	
DATE		NOV 1978	
SCALE		AS SHOWN	
FILE NO.		65-118	
SHEET NO.		A-5	



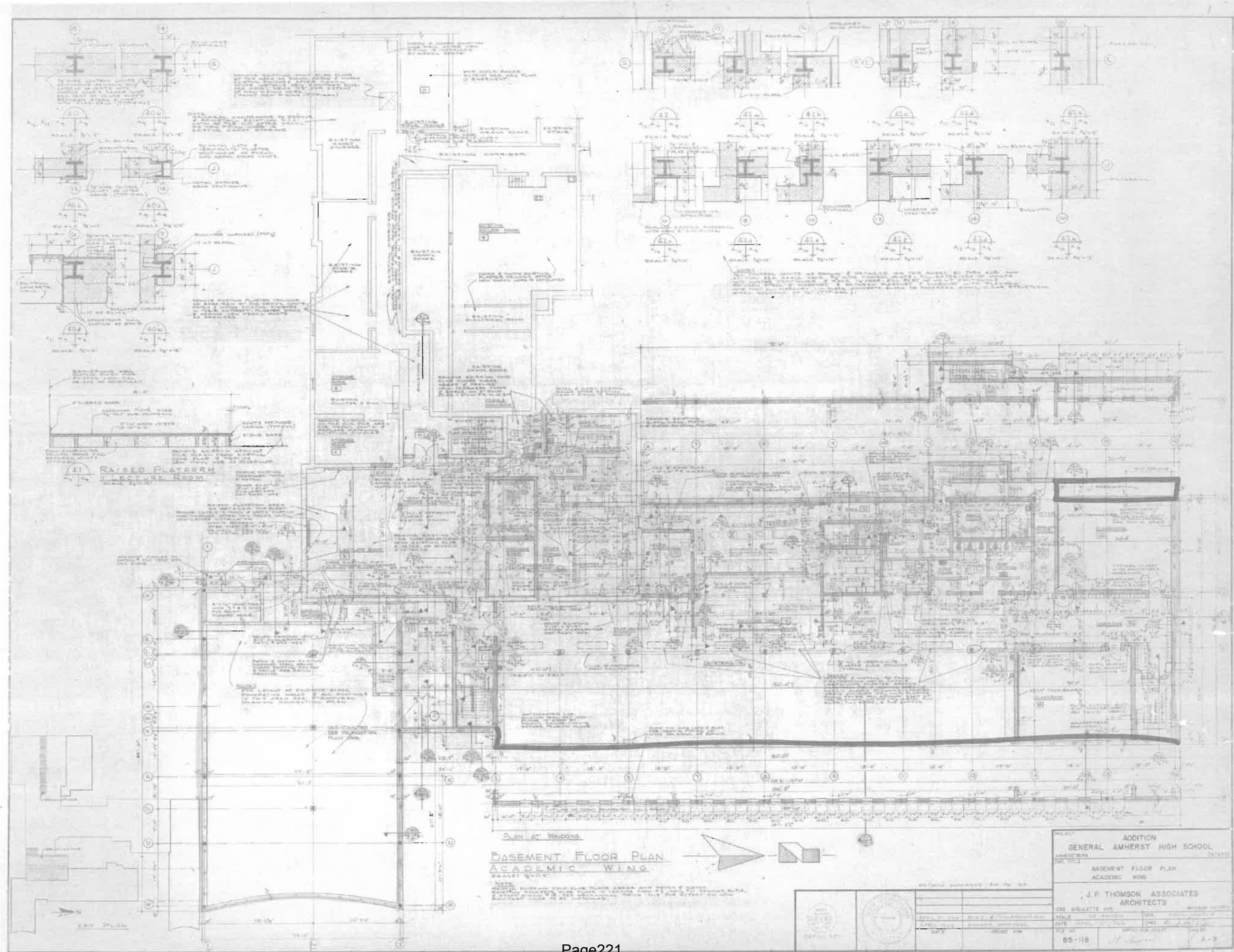


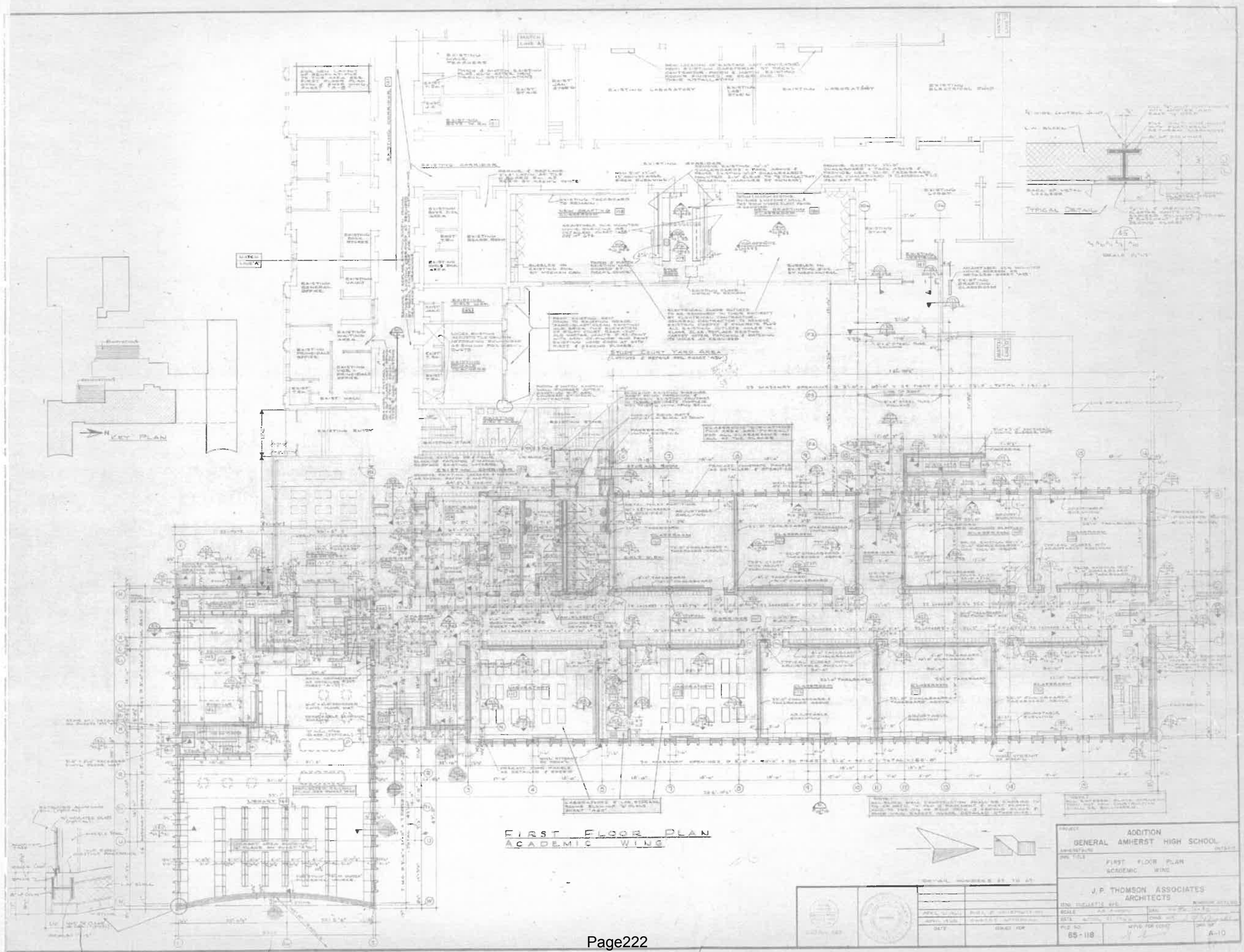
FIRST FLOOR PLAN GYM & SHOP WING  
 SCALE: 1/8" = 1'-0"

PROJECT		ADDITION	
GENERAL AMHERST HIGH SCHOOL		DATE:	
SHEET TITLE		GYMNASIUM AREA FLOOR PLAN	
J.P. THOMSON ASSOCIATES		ARCHITECTS	
180 COLLETT AVENUE		AMHERST, MASSACHUSETTS 01002	
SCALE: AS SHOWN		DATE: 11/17/12	
FILE NO. 65-118		SHEET NO. A-8	

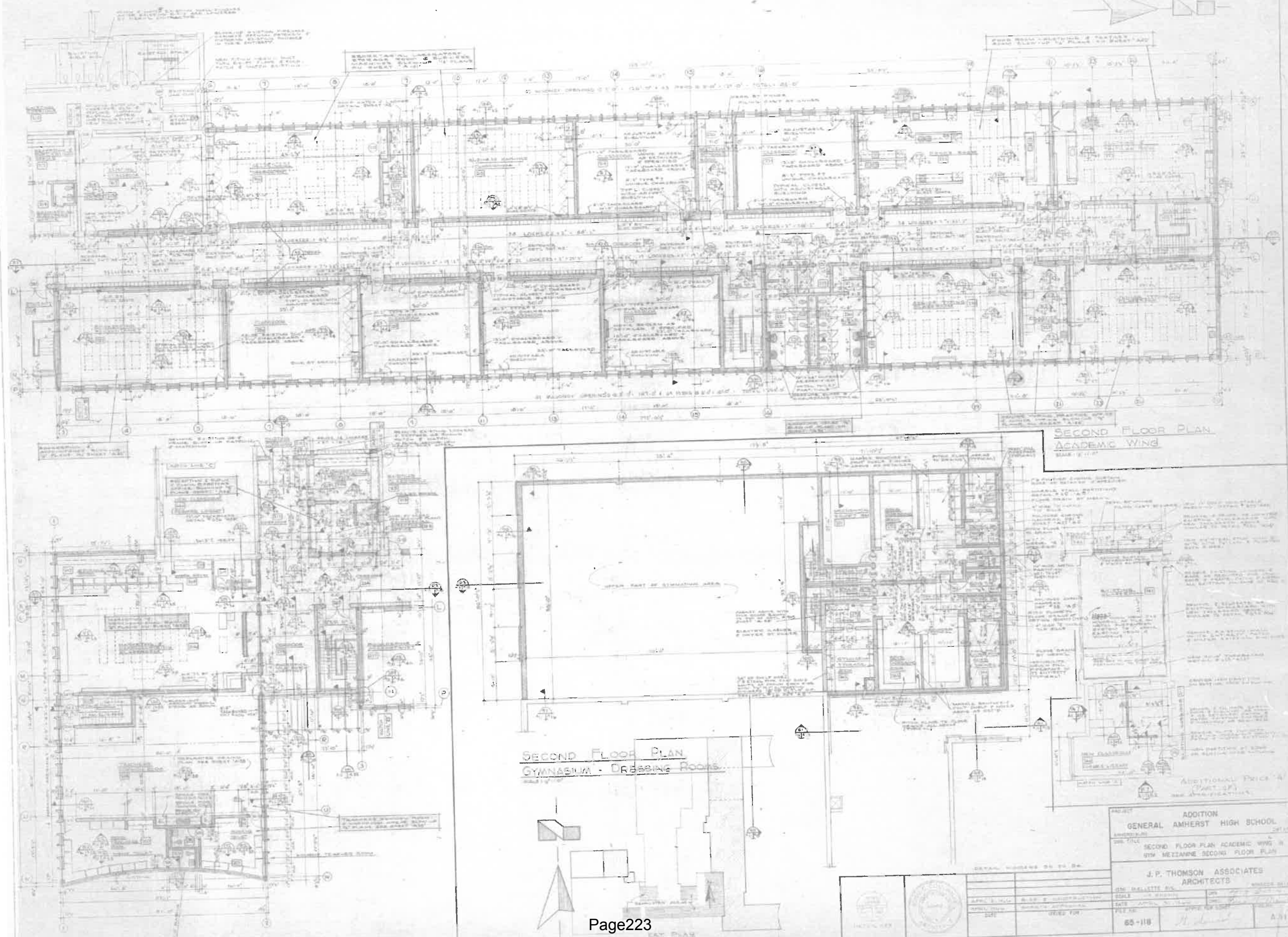


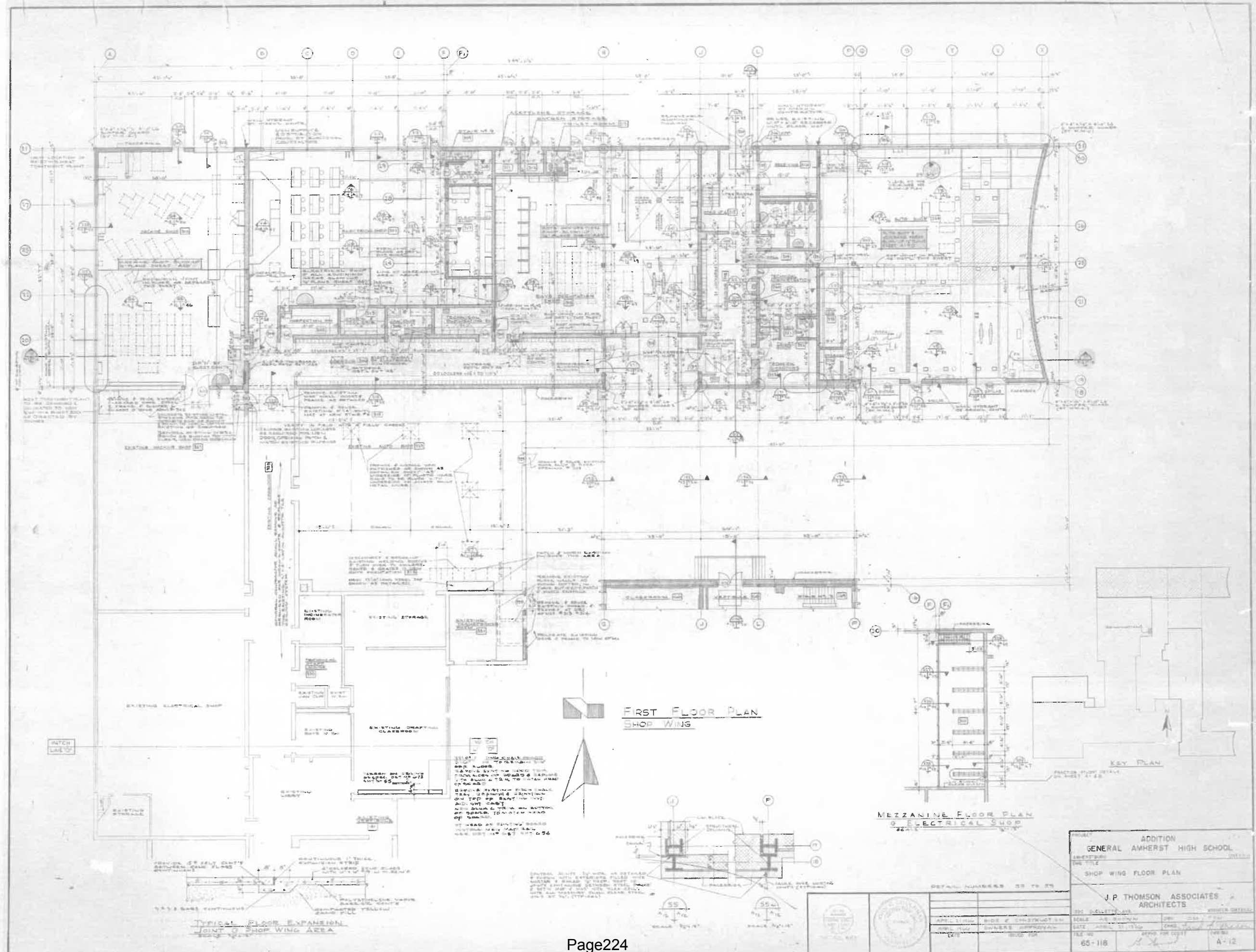
AMHERST HIGH SCHOOL  
 ADDITION  
 BASEMENT FLOOR PLAN  
 A-9













## **Appendix D**

### **Stormwater Allowable Flow Rate**



**Stormwater Allowable Flow Rate to Sandwich Street Storm Sewer**  
**Commercial Development, Sandwich Street, Amherstburg**

The assessment of the allowable release rate from the 1.19 hectare property to the 1200mm RCP storm sewer on Sandwich Street evaluated the flow rate from the following two (2) scenarios:

**SCENARIO 1: 5-year storm event**

A 5-year storm event using the IDF equations in Town of Amherstburg Development Manual, a time of concentration calculated using the Kinematic Wave Equation, and a design run-off coefficient of 0.7.

**Time of Concentration (Tc):**

Length (m) =	80
Slope (m/m) =	0.004
n =	0.2
i (mm/hr) =	54

value between short prairie grass and dense grass

$$t_{\text{sheet}} = (6.92 \times L^{0.6} \times n^{0.6}) / (i^{0.4} S^{0.3})$$

**Tc (min) = 39**

**Rainfall Intensity - 5-year storm event**

a = 1259

b = 9.5

c = 0.838

i = a/(T+b)<sup>c</sup>

i = 1259/(39+9.5)<sup>0.838</sup>

**i (mm/hr) = 49**

values for parameters a, b, and c are from Table 3.2.1.1 in WERSMSM

**C = 0.7**

Qpre (scenario #1) = (2.78 x C x i x A)/1000

Qpre (scenario #1) = (2.78 x 0.7 x 49 x 1.19)/1000

Qpre (scenario #1) = 0.113 m<sup>3</sup>/s



## **SCENARIO 2: 5-year storm event with weighted run-off design coefficient using current development topography and impervious areas**

A 5-year storm event using the IDF equations in Town of Amherstburg Development Manual, a time of concentration of 39 minutes, as calculated in scenario #1, and a weighted design coefficient of 0.9.

**Property area (ha):** 1.19

The property area consists of landscaping, asphalt pavement, and building areas.

### **Run-off coefficients - C**

Grass / landscaped areas  
Asphalt, concrete, and building roof

2-year
0.20
0.95

	Area (sq.m.)	Area (ha)	C x A (ha)
Site Area	11900	1.19	-
Grass / landscaped areas	840	0.08	0.02
Asphalt, concrete, and building roof	11060	1.11	1.05
			1.07

### **Weighted Run-off Coefficient (5-year)**

$$C_w = \frac{\text{sum}(C \times A)}{\text{Area}}$$

$$C_w = 0.9$$

$$Q_{pre}(\text{senario \#2}) = Q_{pre}(\text{senario \#1}) \times (C_w \text{ senario \#2} / C \text{ senario \#1})$$

$$Q_{pre}(\text{senario \#2}) = 0.113 \times (0.9 / 0.7)$$

$$Q_{pre}(\text{senario \#2}) = 0.145 \quad \text{m}^3/\text{s}$$

The flow rates from both scenarios are:

SCENARIO #1 =	113	L/s
SCENARIO #2 =	145	L/s

The conveyance capacity of the 550mm x 675mm PDC, assuming gravity flow is calculated using the Manning formula:

$$Q = 1 / n \times (A / P)^{2/3} \times S^{1/2}$$

$$n = 0.014 \quad (\text{building and paved surfaces})$$

$$A = 371 \times 10^3 \text{ mm}^2$$

$$P = 2 \times (550 + 675) = 2450 \text{ mm}$$

$$S = 0.01$$

$$Q = 203 \text{ L/s}$$

### **Recommended Allowable Release Rate**

The recommended allowable release rate of 113 L/s for the new development should be established for all storm events up to and including the 100-year storm event. The post-development flow rates to be calculated using the 5- and 100-year IDF equations in the Windsor Essex Region Stormwater Management Standards Manual (WERSMSM). The Urban Stress Test will not be evaluated as part of this exercise since this property is currently fully developed, and the proposed development will add a substantial increase to available on-site stormwater detention storage. The proposed stormwater management strategy will consider the Urban Stress Test to confirm impact to neighbouring adjacent properties and adequate overland flow routes.

PLAN OF SURVEY  
OF  
LOT 1  
PART OF LOTS 2 and 3  
REGISTERED PLAN 7  
(EAST SIDE OF LAIRD AVENUE)  
IN THE  
TOWN OF AMHERSTBURG  
COUNTY OF ESSEX, ONTARIO  
© VERHAEGEN LAND SURVEYORS, A DIVISION OF J.D. BARNES LTD.

SCALE : 1" = 30'  
0 15.0 30.0 60.0 90.0 150.0 FEET

"IMPERIAL" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE  
IN FEET AND CAN BE CONVERTED TO METRES BY  
MULTIPLYING BY 0.3048

LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS 'A' AND 'B'  
BY REAL TIME NETWORK OBSERVATIONS AND ARE REFERRED TO UTM ZONE 17  
(81° WEST LONGITUDE) NAD83 (CSRS) (2010.0).

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY  
MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999952.

ALL SET SIB AND PB MONUMENTS WERE USED DUE TO LACK OF OVERBURDEN  
AND/OR PROXIMITY OF UNDERGROUND UTILITIES IN ACCORDANCE WITH  
SECTION 11 (4) OF O.R.G. 525/91.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- IB# DENOTES ROUND IRON BAR
- PB DENOTES PLASTIC BAR
- CP DENOTES STEEL PIN
- WT DENOTES WITNESS
- L DENOTES PERPENDICULAR
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- ORP DENOTES OBSERVED REFERENCE POINT
- M DENOTES MEASURED
- S DENOTES SET
- (D) DENOTES DEED
- (OU) DENOTES ORIGIN UNKNOWN
- (P) DENOTES PLAN 12R-24659
- (FN) DENOTES FIELD NOTE BY (1744) DATED MAY 27, 2010. (Job No. 4-25362)
- (J.D.B.) DENOTES J.D. BARNES LIMITED, O.L.S.
- (1744) DENOTES VERHAEGEN LAND SURVEYORS, O.L.S.
- + FH DENOTES FIRE HYDRANT
- BCB DENOTES CATCH BASIN
- N = NORTH; S = SOUTH; E = EAST; W = WEST

INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET  
NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE)  
NAD83 (CSRS) (2010.0).

COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH  
SECTION 14(2) O.R.G. 216/10

POINT ID	NORTHING	EASTING
ORP-A	15301318.08	1067941.61
ORP-B	15300884.42	1067577.34

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS  
OR BOUNDARIES SHOWN ON THIS PLAN.

THE RESULTANT TIE BETWEEN ORP 'A' AND ORP 'B' IS 566.38' (GROUND), N47°01'50"E.


FOR BEARING COMPARISONS THE FOLLOWING ROTATIONS WERE APPLIED TO CONVERT TO GRID BEARINGS	
PLAN	COUNTER-CLOCKWISE ROTATION
P	00° 04' 20"

SURVEYOR'S CERTIFICATE

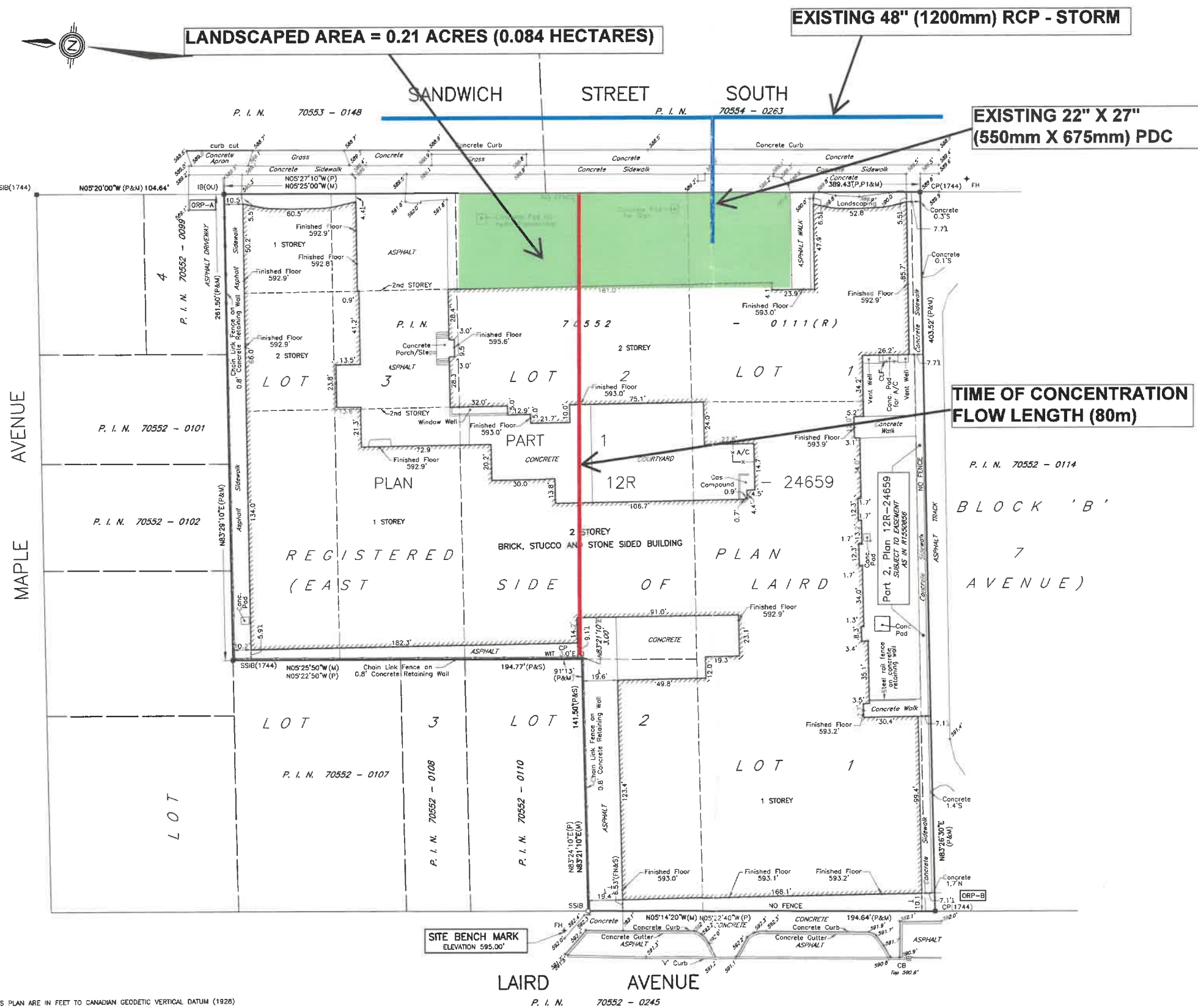
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT,  
THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THIS SURVEY WAS COMPLETED ON THE 22nd DAY OF APRIL, 2024.

DATE MAY 10, 2024  
RAY A. SIMONE  
ONTARIO LAND SURVEYOR

 **VERHAEGEN** SURVEYING  
LAND SURVEYORS MAPPING  
GIS  
A DIVISION OF J.D. BARNES LTD.  
944 OTTAWA STREET, WINDSOR, ON, N8X 2E1  
T: (519) 258-1772 F: (519) 258-1791 www.jdbarnes.com

DRAWN BY: D.J.	CHECKED BY: RAS	REFERENCE NO.: 24-47-206-00
CAD Date: May 13, 2024 2:38 PM		E-7-E/S LAIRD AVE.-0
CAD File: 24-47-206-00.dwg		



ELEVATIONS  
ELEVATIONS SHOWN ON THIS PLAN ARE IN FEET TO CANADIAN GEODETIC VERTICAL DATUM (1928)

BENCH MARK  
BENCH MARK 81U049 ELEVATION 594.15'  
PUBLIC LIBRARY AT SOUTHWEST CORNER OF INTERSECTION OF SANDWICH STREET  
(HIGHWAY NO. 18) AND RICHMOND STREET, TABLET IN NORTH FACE OF CONCRETE  
PLATFORM FOR STAIRS, 7.4 FEET EAST OF EAST WALL OF BUILDING, 4.3 FEET BELOW  
TOP OF PLATFORM, 10 INCHES WEST OF NORTHEAST CORNER.

SITE BENCH MARK ELEVATION 595.00'  
TOP OF FIRE HYDRANT AT THE NORTHWEST CORNER OF THE PROPERTY.

FIGURE 1. TOPOGRAPHICAL SURVEY



## **Appendix E**

### **Required Detention Storage**

### Pre- and Post-development Flow Rates

The Modified Rational Method is used to analyze the stormwater management for this development using the following design criteria:

**Property area (ha):** 1.17

The property area consists of landscaping, asphalt pavement, and gravelled areas.

#### **Run-off coefficients - C**

Grass / landscaped areas

Asphalt, concrete, and building roof

Gravel

<u>2-year</u>
0.20
0.95
0.00

#### Allowable Release Flow Rate

Allowable flow rate from the property is 113 L/s. Refer to the approved SWM memorandum dated 13 December 2024 appended to this report

#### Post-development flow

Impervious % = 90

**Run-off Coefficient (5-year) = 0.9**

**Run-off Coefficient (100-year)**

Storage Depth (mm) =  $72 + 0.33 (x) = 101.7$  (clay soil)

$$C_w = \frac{\text{Storage Depth}}{108 \text{ mm}}$$

$$C_w = 0.94$$

$$\begin{aligned} Q_{\text{post}} (5\text{-year}) &= 2.78 \times 0.9 \times i \times 1.17 = 2.93 \times 10^{-3} \text{ i m}^3/\text{s} \\ Q_{\text{post}} (100\text{-year}) &= 2.78 \times 0.94 \times i \times 1.17 = 3.06 \times 10^{-3} \text{ i m}^3/\text{s} \end{aligned}$$

#### Rainfall Intensity Parameters

(ref. Table 3.2.1.1 in Windsor/Essex Region Stormwater Management Standards Manual)

5-year storm event

$$a = 1259$$

$$b = 8.8$$

$$c = 0.838$$

100-year storm event

$$a = 2375$$

$$b = 11.0$$

$$c = 0.861$$



**Required Storage: 5-Year Storm Event**IDF Curve Parameters: **a = 1259, b = 8.8, c = 0.838**Release volume based on  $Q_{pre} = 0.113 \text{ m}^3/\text{s}$ 

DURATION (minutes)	INTENSITY (mm/hr)	$Q_{post} \text{ (m}^3/\text{s)}$ $2.93 \times 10^{-3} i \text{ m}^3/\text{s}$	STORM VOLUME $\text{m}^3$	RELEASE VOLUME $\text{m}^3$	REQUIRED STORAGE $\text{m}^3$
5	139.6	409	123	34	89
10	107.7	315	189	68	121
<b>15</b>	<b>88.4</b>	<b>259</b>	<b>233</b>	<b>102</b>	<b>131</b>
20	75.3	221	265	136	129
25	65.9	193	289	170	120
30	58.7	172	309	203	106
35	53.0	155	326	237	89
40	48.4	142	340	271	69

Minimum Required Storage = **131**  $\text{m}^3$  (ca. 15 minute duration)**Required Storage: 100-Year Storm Event**IDF Curve Parameters: **a = 2375, b = 11, c = 0.861**Release volume based on  $Q_{pre} = 0.113 \text{ L/s}$ 

DURATION (minutes)	INTENSITY (mm/hr)	$Q_{post} \text{ (m}^3/\text{s)}$ $3.06 \times 10^{-3} i \text{ m}^3/\text{s}$	STORM VOLUME $\text{m}^3$	RELEASE VOLUME $\text{m}^3$	REQUIRED STORAGE $\text{m}^3$
5	218.2	667	200	34	166
10	172.7	528	317	68	249
15	143.7	439	395	102	294
20	123.5	378	453	136	317
25	108.6	332	498	170	328
<b>30</b>	<b>97.1</b>	<b>297</b>	<b>534</b>	<b>203</b>	<b>331</b>
35	87.9	269	564	237	327
40	80.4	246	590	271	319
45	74.2	227	613	305	308
50	68.9	211	632	339	293
55	64.4	197	650	373	277
60	60.5	185	666	407	259

Minimum Required Storage = **331**  $\text{m}^3$  (ca. 30 minute duration)

Architectura Inc.  
180 Eugenie St. W  
Windsor, ON N8X 2X6

December 9, 2024

Project No. 25029

Attn: Dan Soleski  
(dsoleski@architectura.com)

**RE: Amherstburg Town Centre  
South Elevation Facade**

Dear Mr. Soleski,

As requested, and further to our proposal no. P25034, Jonathan Dee, P.Eng., ing., CAHP, of John G. Cooke & Associates Ltd. (JCAL) visited the site of the former General Amherst High School, located at 130 Sandwich St S, in Amherstburg, Ontario. JCAL visited on Wednesday, November 6, 2024, accompanied by yourself, Peter Valante of Valente Development who are the current Owners of the building, along with two other representatives with Valente Development.

The purpose of the visit was to review the historic façade central to the South Elevation of the General Amherst High School (marked with an “A” on Figure 1), in order to provide options and recommendations with respect to its conservation and incorporation into a proposed new development on the site (see Figure 2). This façade was constructed ca. 1922 as part of the initial school building of what ultimately became a much larger complex. The building is not designated under Part IV of the Ontario Heritage Act.

An addition was constructed abutting the west side of the original school building ca. 1950 and is marked with a “B” on Figure 1. This addition was constructed to mimic the style and materials of the original façade, but it is understood that its retention is not being contemplated as part of the redevelopment, and it was therefore not reviewed in any detail.

A set of mural panels painted on more contemporary parts of the building along the West Elevation were also reviewed (marked with a “C” on Figure 1). It is understood that six of the panels are on the former gymnasium building, which is planned to be retained (and is visible in Figure 2). However, three of the panels are on a separate building to the north which is planned to be demolished.



Fig. 1: Existing buildings, isometric view looking NE.



Fig. 2: Proposed development, also looking NE.

Together, we visually reviewed conditions from grade level at the base of the façade and from roof level, visually reviewed interior conditions at floor levels, and made an investigatory opening at the interior side of the ground floor level to confirm the wall assembly. Original ca. 1921 drawings of the historic façade and ca. 1950 drawings of the west addition were provided to JCAL prior to our visit, and these were reviewed.

## Observations

### Historic Façade

Per the original drawings, the historic South Elevation façade is 105'-8" long and extends 36'-10" from grade to the tops of the parapets on either side of the slightly taller central bay with the main entrance. There are two interior floor levels, plus a basement level. A projecting ground floor entrance central to the elevation has been modified to remove the original circular arched doorway and place a window opening similar in size to the adjacent original windows.

The original school building is constructed with a cast-in-place concrete foundation wall, which is exposed at both the interior and exterior sides. The floors are framed primarily with wood floor joists which could be seen in several places from the interior. Reinforced concrete lintels are indicated on the drawings to support both floor framing and masonry at window openings. Reinforced concrete columns are also indicated on the drawings, but these appear to be only located at the relatively slender piers indicated by arrows in Figure 3. An important consideration for potential retention in-situ is that the wood joists run perpendicular to the façade and the walls are thus load bearing. The joists are indicated to have occasional wrought iron straps to the wall and to be pocketed into it, bearing directly on the concrete window lintels where these are present.

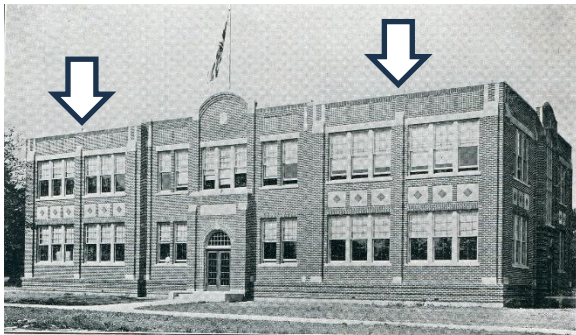


Fig. 3: Historic façade soon after original construction.



Fig. 4: Historic façade and 1950's addition, today.



Fig 5: Closer view of façade, showing brick bond patterns, stone details, piers.

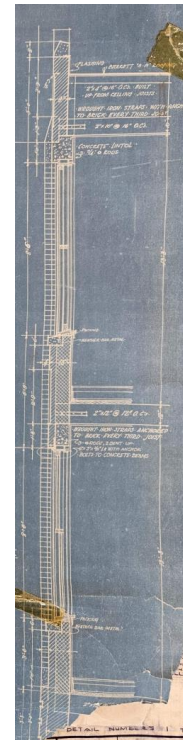


Fig 6: Section



### Wall Construction

The wall construction consists of a single exterior wythe of red brick which has a rugg texture (vertically combed) that is relatively coarse. The brick is laid primarily in a running bond pattern of stretchers, with no regularly spaced header courses in the field. There are soldier courses above windows and below the coping stones, several rowlock courses to form a circular arched parapet above the former central doorway, and panels of stack-bond headers (likely false headers) between the uppermost windows and the roof. The brick bond patterns can be seen in Figure 5, above.

Limestone details are present as sills below windows, at the tops and bottoms of piers, and as coping stones along the top of parapet. This appears to be Indiana Limestone which remains an actively quarried and available material. There are also rectangular panels along the second-floor level of the east and west wings of the façade. These appear to consist of a cementitious parging with a terra cotta tile rhombus set in their center. The backup for these panels is not known and would likely be brick or terra cotta tile. See Figure 5, showing the general arrangement of these details.

The overall wall thickness at a typical location in the brick field is approximately 13", and the interior side backup for the outer brick consists of hollow terra cotta tile. This thickness includes approximately 4" for the exterior brick, ½" for a mortar collar joint, 8" for the terra cotta tile backup, and ½" for the interior plaster finish, applied to the tile. One interior investigatory opening made at the ground floor, though limited in size, was sufficient to confirm the presence of a plaster finish, the terra cotta tile, and the 8" thickness of the tile. See Figure 6 for a section at a typical wall elevation, from the 1921 drawings. Note that this drawing also shows the above-noted perpendicular joists and concrete lintel beams.

The façade includes many little piers and returns. The drawings suggest that the assembly simply turns the corner at the larger returns, and that a brick wythe is added at the exterior at the shallower pier projections, with the terra cotta remaining a consistent thickness.

### General Condition

In general, the brick façade is in relatively good condition and better than expected for its age. Though no material testing was completed to date, the brick was laid in what appears to be a Portland cement mortar with a significant proportion of lime. This mortar appears to be quite compatible with the brick, acting as the route for moisture evaporation from the wall and being softer than the brick. Indeed, most of the mortar appears to be original and has required only localized maintenance, and repointing.

Other previous maintenance efforts included the placement of prefinished flashing atop the coping stones. This would have benefited the parapet considerably by mitigating water ingress the part of the wall that is most exposed to the elements and remains relatively cold and wet, and thus more prone to freeze-thaw cycles and deterioration. Despite this, most of the issues observed are indeed up at the parapet. The stone units themselves are in generally good condition, and no rust staining or significant bulging was observed throughout the wall. However, we did identify some potential issues and note some conditions that would require repairs as part of incorporating the existing façade into a new development, as discussed below.

### Attachment of Exterior Brick Wythe and Composite Action

As previously noted, there is a distinct absence of header bricks. While headers do appear to be present at the sides of piers to key them into the regular plane of the wall, and aside from the decorative panels of stack bond headers (which I suspect are false headers), no headers exist in the regular field of the wall. Figure 7 below, extracted from the Principles of Tile Engineering Handbook of Design, published in 1946, shows a typical construction of a composite brick-tile wall, with headers to key the wythes. The alternative means of securing the exterior brick to the tile backup would be to incorporate masonry ties, similar to common veneer applications constructed today.

While no systematic brick bulging or displacement was evident during the review of the General Amherst High School's facade, veneer construction at the time of its construction was often not to the standards of today, and the possibility remains that anchorage is insufficient in spacing. It is also very likely that any anchorage that is present may consist of plain steel or thin sections that are prone to corrosion. Another possibility, though we have not seen it in composite brick-tile construction such as this, is the use of concealed diagonal headers (also called clipped headers), which are often ineffective and prone to separation.



Fig. 8: Brick veneer and tie at Strathroy Town Hall.

### Water Table (Projection) at Base of Wall

HAMILTON, ON





Fig. 9: Cracks, repairs to water table at base of wall



Fig. 10: Spalling brick at water table

### Parapet and Upper Level Masonry

For the most part, the masonry at the upper areas of the wall is in relatively good condition, and fair-to-good condition along the parapet. As expected, there are some areas of eroded or debonded mortar joints. The previously mentioned placement of metal flashing to discretely protect most of the skyward facing masonry has performed well and is likely a key factor in the good condition of the masonry (see Figure 11).



Fig. 11: Cap flashing atop parapet coping stones.



Fig. 12: Mortar joints at parapet.



Fig. 13: Arched central bay of parapet.



Fig. 14: Typical condition along parapet.



Several of the stone units at the upper levels of the building were noted to be displaced. See Figures 15 and 16 for examples. The stone at Figure 15 abuts the 1950's addition, and may be impacted by differential movement between the two structures. The movement in the example at Figure 16, a relatively slender stone, is likely due to the failure of its anchorage or a lack of anchorage when it was constructed.



Fig. 15: Displaced stone at SW corner of facade.

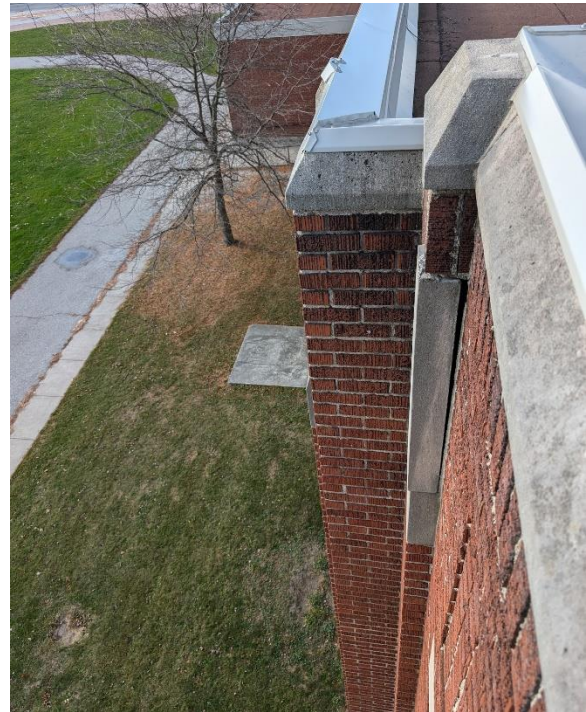


Fig. 16: Displaced stone at return at west wing.

### Mural Panels

The murals on the West Elevation of the gymnasium building were also reviewed (see Figure 17). It is understood that the gymnasium structure upon which the six southern panels are located will remain in-situ as part of the new development, but that the three remaining panels to the north are on a structure that will be demolished and that options to preserve these murals are sought.



Fig. 17: West Elevation mural panels.



Fig. 18: Plaque regarding 2012 mural restoration.

The murals appear to be painted onto cementitious parging applied to concrete block construction, and they are in good condition. They were restored in 2012 according to a plaque to the north of them (see Fig. 18). The murals are recessed from the adjacent brick and do not extend all the way to grade, with

approximately 18" of wall tile having been installed below them. The murals are painted with relatively few colours and in fairly simplistic shapes, and the profile of the coloured areas appears to be noticeably raised from the adjacent field.

Options regarding the conservation of these murals are provided following discussion on options to preserve the historic façade, in the next section.

## **Options and Recommendations**

### **Historic Facade**

The potential options that were initially discussed for the incorporate this façade into the new development are for it to either be retained in-situ and attached to the new building, or for it to be dismantled, the exterior stone and brick masonry to be salvaged, and for it to be rebuilt as a veneer for the new structure.

We believe that either approach is achievable. The cost for retention in-situ is greater than that for salvaging and reconstruction. However, the end product of reconstruction will be quite dependent on the workmanship of the masonry contractor retained to do this work and, though it is understood that this building does not hold a heritage designation, such an approach is less consistent with The Standards & Guidelines for the Conservation of Historic Places in Canada. Though not the case for the building overall, retention in-situ would entail the *Preservation* of the primary façade, which is the preferred conservation treatment in the Standards & Guidelines. Additionally, this approach would be more compatible with several of *The Standards* described in that document, namely:

- *Standard No. 1. – Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.*
- *Standard No. 3. – Conserve heritage value by adopting an approach calling for minimal intervention.*
- *Standard No. 7. – Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention*

In light of the fact that the building is not designated under the Ontario Heritage Act or any other legislation (at least to our knowledge), a third option was subsequently also discussed, in which only the stone elements in the façade are retained and the façade is rebuilt using new brick selected to resemble the original. While this option would stray further from the Standards & Guidelines, it provides other advantages and opportunities.

Ultimately, it is expected that a decision on which approach to pursue will be made by the project stakeholders by balancing considerations with respect to the desired project outcomes, risks, and costs, associated with each approach, and we hope that this is helpful in coming to a decision.

### **Option 1 – Retention In-Situ**

There are two common ways of retaining a façade in-situ, which are to either construct a temporary frame to laterally brace the wall while the existing building is separated from it and demolished, or to leave and brace a bay of the existing structure along the façade to serve as bracing. The latter has the benefit of minimizing the extent of the temporary construction needed to brace the wall, at the expense of a more complicated environment in which to construct the new building and is generally more advantageous in taller buildings. Given the relative size and height of the façade, the more typical approach of constructing a structural steel braced frame on the exterior side of the façade is considered for this facade (see Figure 19 for an example).

The braced frame would include horizontal steel members placed on the interior and exterior faces of the façade, primarily along the tops and bottoms of window openings, to sandwich the wall. The frame could be placed on footings, with ballast (large concrete blocks) to resist overturning



moments induced by wind loads, or, it could be founded on helical piles which may act in both vertical directions and serve as hold-down anchors. It is necessary to carefully separate the façade, by making vertical cuts along connecting masonry walls and by cutting or removing connecting floor structures (joists and beams), prior to demolishing the remainder of the building. Joists and beams must be shored before any cutting to avoid prying on the wall as they fail. In general, the retention must also be carefully coordinated with the demolition plan, and the latter should be reviewed as a shop drawing submittal.

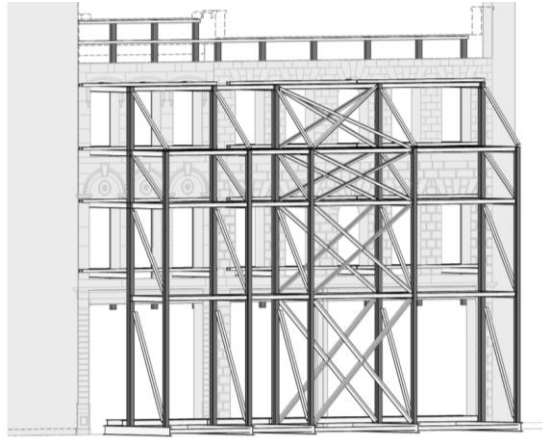


Fig. 19: Example 3D model of façade retention frame.

The sequence and scope of work for in-situ retention would generally go as follows:

- Complete initial masonry stabilization work.
- Erect structural steel retention frame, including temporary foundations or ballast.
- Shim tight between temporary horizontal steel bracing elements and the façade, on both sides of the wall.
- Cut façade free from adjoining walls.
- Shore and cut/remove adjoining floor structures.
- Provide temporary weather protection at interior face of wall which is not suitable for exterior exposure, and at cut ends of masonry.
- Construct the new building.
- Make permanent lateral attachments between the new building and the façade, which is typically a vertically slotted angle anchored to the interior face of the façade and secured to the new floor structure.
- Dismantle and remove the temporary steel framing.

Masonry conservation work of the existing masonry would be required as part of this approach, with at least stabilization work being carried out before the start of demolition, to ensure no damage occurs during that phase. Overall, the masonry conservation work would include the following scope items, with at least part of those marked with an asterisk to be completed as part of an initial stabilization phase and the balance to be completed at a later time, if preferred.

- Cut façade at corner return walls and consolidate cut ends of masonry. \*
- Infill joist pockets at interior side of façade. \*
- Locally repoint along the parapet. \*
- Reset displaced stone units. \*
- Repoint, locally rebuild, and locally replace brick along water table at base of wall. \*
- Local repointing throughout. \*
- Repoint all coping stone joints.
- Add metal flashing to protect masonry projection above main entrance projection.
- Add metal flashing to protect masonry projection at water table.

In order to proceed with this approach, additional information must be determined, as follows:

- Confirm the presence and condition of anchors/ties between exterior brick wythe and backup. This could likely be done with a metal detector and an interior-side opening.
- Complete a geotechnical study to determine soil conditions, and properties for footing design.
- Determine design of new building's foundations and depth below grade and design underpinning or other measures to ensure façade foundation is not compromised.
- Complete utility locates along façade, to avoid interference during foundation design for retention system.

A final consideration as part of this approach concerns the placement of new insulation and vapour barriers, which will likely be needed to achieve the desired envelope performance of the new building. Historic brick, and certainly terra cotta backup tile, are not as resistant to moisture and freeze-thaw damage as modern brick. The masonry in this facade has benefited from being part of an uninsulated wall assembly that is able to breathe in both the exterior and interior directions. Insulation will reduce the waste heat coming through the wall generally making the masonry elements in the wall colder, and therefore wetter (warm things tend to dry faster). The placement of vapour barriers will inhibit drying to the interior, increasing the potential for moisture to accumulate.

As the brick in this façade has generally performed very well, including along corners and parapets where it is most exposed to moisture and cold, one would expect that it could tolerate additional insulation. However, JCAL are not building scientists or materials testers, and if there is a desire to confirm future performance, hygrothermal modeling and brick testing would be the way to do so. We are aware of several firms that do this work. They could also review future wall assembly details and advise on insulation thickness and type, and materials such as smart vapour barriers that are now on the market and often used in similar applications.

Estimate of probable cost (order of magnitude):

<u>Item</u>	<u>Cost</u>
Stabilization masonry work	\$ 75,000.00
Retention frame foundations	\$ 125,000.00
Structural steel retention frame installation	\$ 775,000.00
Wall cutting	\$ 50,000.00
Temporary shoring, cutting, and removal of framing	\$ 25,000.00
Temporary protection of backup	\$ 50,000.00
Structural steel retention frame dismantling	\$ 100,000.00
<b>Total to Retain In-Situ</b>	<b>\$ 1,200,000.00</b>

The above assumes a custom-built retention frame for this application. However, there are several contractors in the Toronto area that have prefabricated modular towers for use in retention applications. Depending on the timing of the work and the availability of one of these towers, there is the potential for significant cost savings, perhaps on the order of \$200,000.00 (very approximate), if a contractor has such towers available for use. This could potentially bring the cost to retain in-situ on par with reconstruction, or at least close to it.

#### Option 2 – Salvage and Reconstruct

The discussed alternative to incorporating this façade in the new development is to dismantle it, salvage the brick and stone material, and reconstruct it, discarding the terra cotta backup. Reconstruction would be as a veneer, tied to a new backup wall. Flashing would still be incorporated at horizontal projections, as noted for the previous option.

Salvaging is complicated somewhat by the rugged brick, which is more difficult to clean. Should the brick be re-used, testing of the existing brick and mortar is recommended in order to select a compatible mortar for the reconstruction. Also, as noted for the previous option, consideration



should again be given to the future performance of the existing brick should it be re-used, as the brick would again be part of an assembly that is likely to include insulation and a vapour barrier.

Prior to any dismantling, a 3D laser scan should be completed of the façade, to fully document all existing geometry. Additionally, each stone should be given a unique identification number on the elevation drawings.

The sequence and scope of work for dismantling and reconstruction would generally go as follows:

- Erect scaffolding across façade.
- Carefully dismantle the exterior wythe of brick and stone.
- Mark each stone with unique identification number.
- Clean existing mortar from brick and stone.
- Place brick and stone on pallets and place into weather-protected storage.
- Dismantle scaffolding.
- Erect new building, including new foundations and new backup wall.
- Reinstall scaffolding across façade.
- Reconstruct façade, complete with new veneer anchorage.
- Dismantle scaffolding.

Estimate of probable cost (order of magnitude):

<u>Item</u>	<u>Cost</u>
Mobilization and scaffolding	\$ 50,000.00
Dismantle and salvage brick and stone	\$ 150,000.00
Storage	\$ 50,000.00
Re-mobilization and scaffolding	\$ 50,000.00
Reconstruct brick and stone	\$ 450,000.00
<b>Total to Dismantle, Salvage, and Reconstruct</b>	<b>\$ 750,000.00 **</b>

### Option 3 – Selective Salvage and Reconstruct

A third option, which would be less costly though less desirable again from a heritage and environmental perspective is to salvage only the stone and reconstruct the façade using a modern brick that is similar in appearance to the existing. The stone could likely be salvaged from roof and floor levels, and via a lift, just prior to demolition.

Aside from hopefully limiting scaffolding costs and not cleaning and salvaging the brick, this item would proceed be as for Option 2, including the laser scanning in advance of any work.

The costs for this option are further reduced from the former two, despite the cost of purchasing new brick. There is some risk of damage to the stone units in either approach but this is increased in this option by having to pull them from the wall assembly or during the course demolition. However, it should be noted that replacement Indiana limestone can still be readily supplied, if necessary.

This option has the benefit of being able to select a new exterior brick that is manufactured to current material standards and that will be fully appropriate for use in a new cavity wall construction. Red rugg bricks that appear to be quite similar to the brick used in this façade are available from several manufacturers.

Finally, this option offers the interesting possibility of seamlessly integrating a rebuilt East Elevation into the development. The original East Elevation of the school was previously removed to accommodate an addition. It is understood that while the design will be further developed, this addition may no longer be included in the development and the developer is considering the possibility of reconstructing the East Elevation along with the South. This would be along the lines of a *Restoration* approach, as defined in the Standards & Guidelines, and there are drawings, photos, and existing geometry from the remaining South Elevation that may be used to create a

well informed reconstruction. Given that the reconstruction of the East is somewhat speculative, and for comparison purposes with the other options, costing of this option only includes the work on the South Elevation.

Estimate of probable cost (order of magnitude):

<u>Item</u>	<u>Cost</u>
Mobilization and access/scaffolding	\$ 25,000.00
Salvage stone and storage	\$ 65,000.00
New brick	\$ 35,000.00
Mobilization and scaffolding	\$ 50,000.00
Reconstruct brick and stone	\$ 450,000.00
<b>Total to Dismantle and Reconstruct /w New Brick</b>	<b>\$ 625,000.00 **</b>

\*\* Note that the above costs do not include the demolition of the existing foundation, construction of a new foundation, and construction of a new backup wall that are required as part of this option. This should be considered in the difference between these costs and that of in-situ retention. Window costs are not included in any option, whether new or removal and reinstatement of existing.

### Glass Enclosure

It is understood that a glass enclosure proud of the façade is being contemplated as part of either option. Glass interfacing with heritage masonry does tend to showcase the heritage fabric, and its lightness and transparency can give a certain deference to solid masonry as the primary feature of a space. Having a former exterior wall in a new interior space can also add a lot of interest and appeal. An example that the undersigned worked on extensively, and which won a CAHP award of excellence for adaptive re-use is the Sir John A. MacDonald building at 144 Wellington St. in Ottawa, ON (see Figure 21).

Based on the information at hand, the decision to build an enclosure should be made primarily at an architectural level. While the enclosure would provide full protection from the elements, and therefore mitigate any further deterioration, the façade has performed quite well to date, and this level of protection is not required to assure additional lifespan in its new use. Protection would eliminate the need to analyze brick properties, envelope performance, and the installation of new flashings.



Fig. 20: Potential glass enclosure along facade.



Fig. 21: Glass façade and atrium at SJAM Bldg.

### **Mural Panels**

Finally, with respect to the three mural panels that would be lost with the demolition of the building to the north of the gymnasium, we can offer a couple options for their conservation. Before any work is undertaken on these murals, we recommend that they be documented using 3D laser scanning, or at least with rectified photography.

One approach is to detach and relocate the murals, and apply them to whatever new structure is constructed in place of the current building. This would require steel framing to sandwich the block wall panels, steel needle beams placed perpendicularly under the panel, disconnection from the adjoining walls, and lifting of the panels by crane to and from a temporary storage location that would presumably be on the site.

Another option may be to recreate the murals by repainting them onto a surface of the new building. This could even be in some other form if that building's wall is not suitable for painting, such as etchings on panels of a glass façade, or free-standing panels or if there is no building in that place.

Any masonry painting should be done with appropriate paints, ideally sol silicate paint, and should be done by artists with appropriate experience. The plaque at Figure 18 includes the name of the artist involved in the 2012 mural restoration who would no doubt be very well-suited to such work, but there are other artists with similar experience. For example, we recently completed a project at the Elgin and Winter Garden Theatre in Toronto that included an artist to re-paint a historic sign on the side of the theatre and which went very well.

### **Disclaimer and Limitations**

This report is based on and limited to information supplied to John G. Cooke & Associates Ltd. by Architecttura and Valente Development, and by observations made during a walk-through inspection of the subject property. Only those items that are capable of being observed and are reasonably obvious to John G. Cooke & Associates Ltd. or have been otherwise identified by other parties and detailed during this investigation can be reported.

The work reflects the Consultant's best judgment in light of the information reviewed by them at the time of preparation. There is no warranty expressed or implied by John G. Cooke & Associates Ltd. that this investigation will uncover all potential deficiencies and risks of liabilities associated with the subject property. John G. Cooke & Associates Ltd. believes, however, that the level of detail carried out in this investigation is appropriate to meet the objectives as outlined in the request for our services. We cannot guarantee the completeness or accuracy of information supplied by any third party.

John G. Cooke & Associates Ltd. is not investigating or providing advice about pollutants, contaminants or hazardous materials.

This report has been produced for the sole use of Architecttura, and their client, and cannot be reproduced or otherwise used by any third party unless approval is obtained from John G. Cooke & Associates Ltd. No portion of this report may be used as a separate entity; it is written to be read in its entirety.

### **Closing**

We trust that the above is helpful in advancing this project. Please do not hesitate to contact the undersigned if we can be of any further assistance, or should you have any questions or require clarifications.

Sincerely,

**JOHN G. COOKE & ASSOCIATES LTD.**

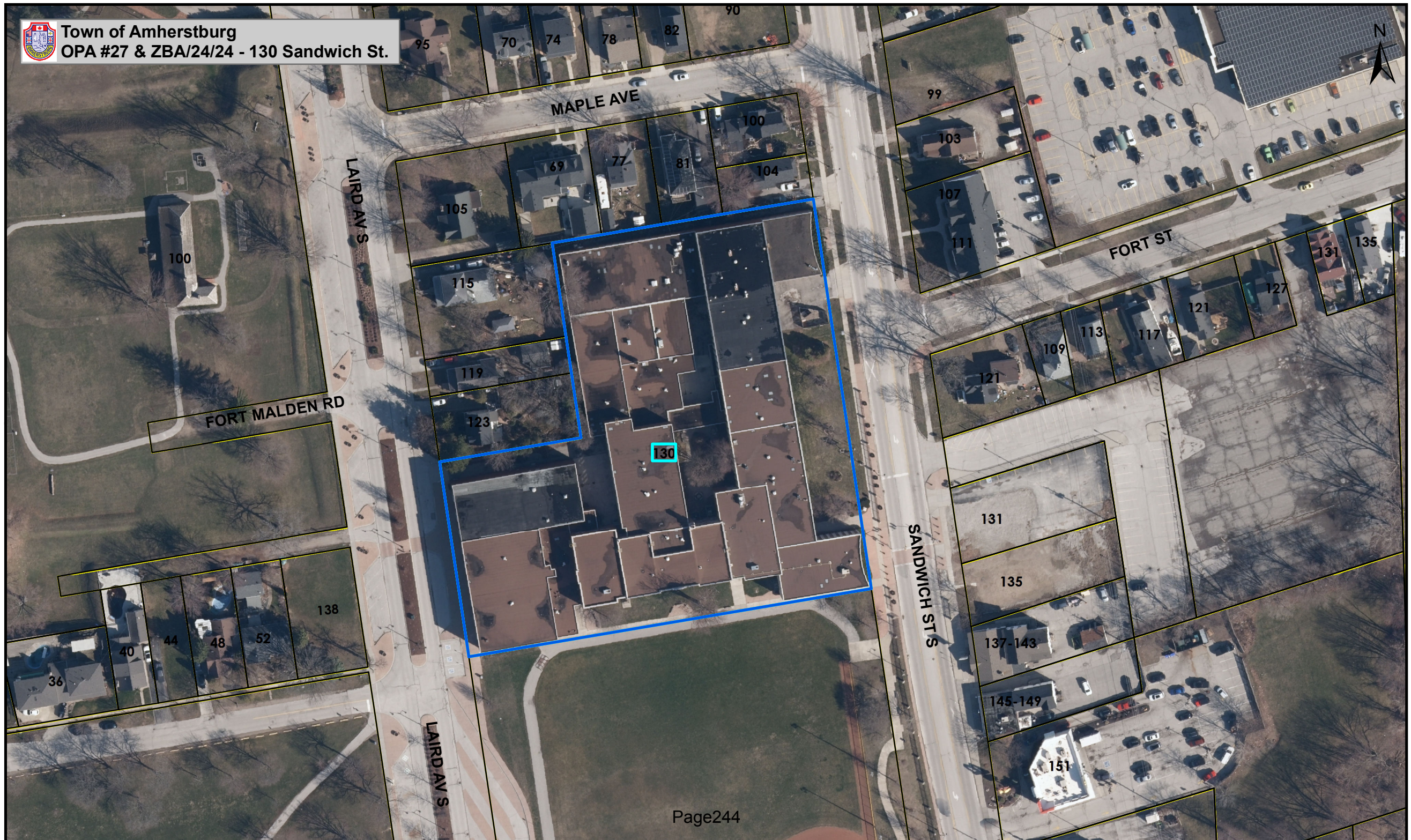


Jonathan Dee, P.Eng., ing., CAHP  
Principal

25029/ltr\_1













CORPORATION OF THE TOWN OF AMHERSTBURG

**NOTICE OF STATUTORY PUBLIC MEETING  
TO CONSIDER AN OFFICIAL PLAN AMENDMENT AND  
ZONING BY-LAW AMENDMENT**

**STATUTORY PUBLIC MEETING:**

**TAKE NOTICE** that the Council of the Corporation of the Town of Amherstburg will hold a public meeting on **Tuesday, April 29th, 2025 commencing at 5:00 p.m.** in the Town of Amherstburg Council Chambers, 271 Sandwich Street South, Amherstburg, Ontario. The purpose of this meeting is to consider a proposed amendment to the Town of Amherstburg Official Plan and Zoning By-law 1999-52.

**ANY PERSON** who wishes to attend and address Council by electronic means, must register with the Clerk's Office no later than Thursday, April 24<sup>th</sup>, 2025. To register for electronic participation please email the Clerk's office at [clerk@amherstburg.ca](mailto:clerk@amherstburg.ca). Once you register, you will be given information on how to make your submission at the electronic meeting by electronic participation. To participate, you will need access to a computer or tablet with internet service or a telephone.

**ANY PERSON** who wishes watch the meeting proceedings only, please visit <http://video.islive.ca/amherstburg/live.html>

**THE SUBJECT LANDS AND PURPOSE OF THIS OFFICIAL PLAN AMENDMENT AND  
REZONING APPLICATION:**

This Official Plan and Rezoning application affects a portion of the approximately 1.20 ha of land municipally known as 130 Sandwich Street South, located on the west side of Sandwich Street South. (see map below).

The Official Plan Amendment, if approved, will change the designation of the subject lands noted above from "**Institutional**" to "**General Commercial - Special Policy Area 25.**"

The Zoning By-law Amendment, if approved, will change the zoning of the subject lands noted above from "**Institutional (I) Zone**" to "**Commercial General - Special Provision 21 (CG-21).**"

The effect of the amendments will be to allow for commercial, residential and institutional uses on the subject property. The development is proposed to be a mixed-use building with site-specific provisions for height, parking and setbacks.

**ADDITIONAL INFORMATION:**

**ANY PERSON** may make written representation in support of or in opposition to the proposed Zoning By-law Amendment by email to the Clerk's office at [clerk@amherstburg.ca](mailto:clerk@amherstburg.ca) or in person by appointment for drop-off at the Libro Centre located at 3295 Meloche Road. Comments must be submitted by Thursday April 24th, 2025 before the meeting and will be read aloud prior to the application being heard by Council.

If you wish to be notified of the decision of Council on the proposed Official Plan Amendment and Zoning By-law Amendment you must make a written request to the Clerk's Office at 271 Sandwich St. S., Amherstburg, ON, N9V 2A5.

**NO PERSON OR PUBLIC BODY** shall be added as a party to the hearing of the appeal unless, before the bylaw was passed, the person or public body made oral submissions at a public meeting or written submissions to the Council or, in the opinion of the Ontario Land Tribunal, there are reasonable grounds to add the person or public body as a party.

**IF A PERSON OR PUBLIC BODY** does not make oral submissions at a public meeting, or make written submissions to the Town of Amherstburg before the by-law is passed, the person

Information will be gathered in accordance with the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA). All comments and communications received will become part of the public record unless you expressly request the Town to remove it. If you want to learn more about why and how the Town collects your information, write to the Town Clerk's Office, 271 Sandwich Street South, Amherstburg, ON N9V 2A5 or call 519-736-0012.

or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Further information relating to the proposed Official Plan Amendment (File OPA #27) and Zoning By-law (File# ZBA/24/24) Amendment is available for inspection by calling or emailing the Planning Department Office during normal office hours, 8:30 a.m. to 4:30 p.m. The proposed amendments are also available for review on the Town of Amherstburg Website: [www.amherstburg.ca](http://www.amherstburg.ca). If you wish to be notified of the adoption of the proposed Official Plan Amendment, or the refusal of a request to amend the official plan, and/or passage of the proposed Zoning By-law Amendment, you must make a written request to the Town at the address below.

The meeting will be available for viewing by livestream by visiting [www.amherstburg.ca](http://www.amherstburg.ca).

**For Council and Committee Agendas and Meetings, visit [amherstburg.ca/calendar](http://amherstburg.ca/calendar).**  
**To subscribe to Council & Committee Agendas, visit [Amherstburg.ca/calendar](http://Amherstburg.ca/calendar) and click SUBSCRIBE.**

DATED at the Town of Amherstburg this 2<sup>nd</sup> day of April, 2025.

**KEY MAP**



Christopher Aspila  
Manager, Planning Services

Town of Amherstburg  
Libro Centre  
3295 Meloche Road  
Amherstburg, Ontario N9V 2Y8  
Telephone: (519) 736-5408  
Fax No. (519) 736-9859  
Website: [www.amherstburg.ca](http://www.amherstburg.ca)

Information will be gathered in accordance with the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA). All comments and communications received will become part of the public record unless you expressly request the Town to remove it. If you want to learn more about why and how the Town collects your information, write to the Town Clerk's Office, 271 Sandwich Street South, Amherstburg, ON N9V 2A5 or call 519-736-0012.



## Summary of Correspondence Received on Proposed OPA # 27 & ZBA/24/24 – 130 Sandwich St.

Below is a summary of the comments received by the Planning Services Division on OPA # 27 & ZBA/24/24 since April 14, 2025.

### Essex Region Conservation Authority:

See attached letter.

### Infrastructure Services:

See attached letter.

### Windsor Police:

The Windsor Police Service has no concerns or objections with the proposed Official Plan and Zoning By-law amendment application to convert the former secondary school property into mixed use redevelopment involving both commercial and residential uses. Given the major change associated with this application, public safety will be very important and more detailed remarks to address all applicable issues therein will be provided at the site plan review stage of the application process. This will include features associated with site lighting, both vehicular and pedestrian access, safe pedestrian and vehicular movement onsite, physical building security, signage, etc.

### Essex Powerlines:

Once plans are finalized EPL will require details load forms for all the building and Phasing if the project will be done in phases. We will need to determine the developments power needs and the location the electrical feeds will come from.



planning@erca.org

P.519.776.5209

F.519.776.8688

360 Fairview Avenue West  
Suite 311, Essex, ON N8M 1Y6

February 04, 2025

**Adam Coates**

Planner, Heritage

Town of Amherstburg

3295 Meloche Rd., Amherstburg, ON, N9V 2Y8

Dear Mr. Adam Coates:

RE: OPA 27 and ZBA-24-24 130 SANDWICH ST S

ARN 372924000007000; PIN: 705520111

Applicant: VALENTE DEVELOPMENT

The Town of Amherstburg has received Application for Official Plan Amendment OPA 27 and Application for Zoning By-law Amendment ZBA-24-24 for the above noted subject property. The applicant is seeking an Official Plan Amendment for a commercial/residential mixed-use development for the former General Amherst High School. The proposal includes retaining a portion of the existing building. The applicant is proposing a comprehensive redevelopment of the site for residential, institutional, and commercial uses. The application does not include the Bill Wigle Park, which is municipally owned, with the exception of the proposed parking lot that will serve the institutional uses on site.

The Official Plan Amendment Application proposes to designate the subject property as General Commercial Special Policy Area. The Zoning By-law Application proposes to rezone the subject property to Commercial General Special Provision Zone.

The following is provided as a result of our review OPA 27 and ZBA-24-24.

**NATURAL HAZARDS AND REGULATORY RESPONSIBILITIES UNDER THE CONSERVATION AUTHORITIES ACT, O. REG 686/21, PPS**

The following comments reflect ERCA's role in protecting people and property from the threats of natural hazards and regulating development hazards lands under Section 28 of the *Conservation Authorities Act*.

We have reviewed our floodline mapping for this area and it has been determined this site is not located within a regulated area that is under the jurisdiction of the ERCA (Ontario Regulation 41/24 under the *Conservation Authorities Act*). However, due to the scope and scale of the proposed development, a Development Review may be required.

If this property is subject to Site Plan Control, we request to be included in the circulation of the Site Plan Control application. We reserve to comment further on storm water management concerns until we have had an opportunity to review





Mr. Adam Coates  
February 04, 2025

the specific details of the proposal through the site plan approval stage.

**FINAL RECOMMENDATION**

Our office has **no objection** to OPA 127 and ZBA-24-24. As noted above, a Development Review may be required for this proposal. Please continue to circulate our office with future *Planning Act* applications for this site, as we may have further comments to provide regarding stormwater management.

If you have any questions or require any additional information, please contact the undersigned.

Sincerely,



Alicia Good  
*Watershed Planner*





2025-04-08

File Number: 0739-25

Dr. Chris Aspila, Town of Amherstburg  
Town of Amherstburg Libro Centre  
Amherstburg, ON  
N9V 2Y8

RE: Construct a Mixed Use Development  
130 SANDWICH ST S  
Municipal File Number: OPA 27 & ZBA-24-24

The Town of Amherstburg has received Application for Official Plan Amendment OPA 27 and Application for Zoning By-law Amendment ZBA-24-24. This Official Plan and Rezoning application affects a portion of the approximately 1.20 ha of land municipally known as 130 Sandwich Street South, located on the west side of Sandwich Street South. The Official Plan Amendment, if approved, will change the designation of the subject lands noted above from “Institutional to “General Commercial - Special Policy Area 25.” The Zoning By-law Amendment, if approved, will change the zoning of the subject lands noted above from “Institutional (I) Zone” to “Commercial General - Special Provision 21 (CG21).” The effect of the amendments will be to allow for commercial, residential and institutional uses on the subject property. The development is proposed to be a mixed-use building with site-specific provisions for height, parking and setbacks.

## **NATURAL HAZARDS AND REGULATOR RESPONSIBILITIES UNDER THE CONSERVATION AUTHORITIES ACT. O. REG 686/21**

The following comments reflect ERCA’s role in protecting people and property from the threats of natural hazards and regulating development hazards lands under Section 28 of the Conservation Authorities Act.

We have reviewed our floodline mapping for this area and it has been determined this site is not located within a regulated area that is under the jurisdiction of the ERCA (Ontario Regulation 41/24 under the Conservation Authorities Act). As a result, an approval is not required from ERCA for issues related to Section 28 of the Conservation Authorities Act.

## **FINAL RECOMMENDATION**

Our office has no objection to OPA 27 and ZBA-24-24.

Sincerely,

*Alicia Good*

Alicia Good  
Watershed Planner



# The Corporation of The Town of Amherstburg

## MEMO

**To:** Adam Coates, Planner 3  
**From:** Sydnee Botham, Development Engineering Coordinator  
**Date:** February 7, 2025  
**Subject:** OPA #26 – 130 Sandwich Street S – General Amherst Re-development  
Town of Amherstburg

---

The following submission package was reviewed for conformance with Amherstburg's Development Manual and the Windsor-Essex Region Stormwater Management Standards Manual (WERSMSM):

- Functional Servicing Report for Re-development of General Amherst High School, dated January 10, 2025
- Amherst Park Mixed-Use Development Traffic Impact Study, dated November 22, 2024
- Application for Zoning By-law Amendment
- Application for Official Plan Amendment

Based on the review, we offer the following comments.

1. Infrastructure Services has no comments.

Engineering review fees per Amherstburg's user fee by-law are applicable for this development. The Developer is responsible to borne all costs associated with this review and all subsequent reviews therein.

If you have any questions, please do not hesitate to contact the undersigned.

---

Sydnee Botham  
Development Engineering Coordinator



# The Corporation of The Town of Amherstburg

## MEMO

**To:** Adam Coates, Planner 3  
**From:** Sydnee Botham, Development Engineering Coordinator  
**Date:** February 7, 2025  
**Subject:** ZBA/22/24 – 130 Sandwich Street S – General Amherst Re-development  
Town of Amherstburg

---

The following submission package was reviewed for conformance with Amherstburg's Development Manual and the Windsor-Essex Region Stormwater Management Standards Manual (WERSMSM):

- Functional Servicing Report for Re-development of General Amherst High School, dated January 10, 2025
- Amherst Park Mixed-Use Development Traffic Impact Study, dated November 22, 2024
- Application for Zoning By-law Amendment
- Application for Official Plan Amendment

Based on the review, we offer the following comments.

### **Additional Documents to be submitted (stamped and sealed by a licensed Engineer):**

- Stormwater Management Report

### **General**

1. Engineering review fees per Amherstburg's user fee by-law may be applicable for this development. The Developer is responsible to borne all costs associated with this review and all subsequent reviews therein.
2. A stormwater management strategy is to be established and designed in accordance with the Windsor-Essex Region Stormwater Management Standards Manual (WERSMSM).



3. In the event that the proposed site uses, building locations or number of units change, all submitted supporting studies will be required to be updated based on the new proposal.
4. It is unclear if the parking area along the west property line of Bill Wigle park are required for the development or are only incorporated in the proposal due to the potential Town Hall municipal building being incorporated into the proposal. If this parking is required to facilities the proposal, this area will need to be incorporated into the stormwater management strategy for the site. If the municipal building portion of the proposal does not proceed, this parking area is to be removed from Bill Wigle Park.

### **Functional Servicing Report**

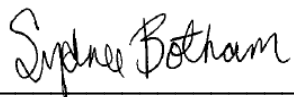
1. The submitted functional servicing report (FSR) is incomplete. Infrastructure Services is not able to complete a comprehensive review of the servicing strategy until all information is made available to the Town through a complete FSR submitted by the Developer's Consulting Engineer.

### **Traffic Impact Assessment**

1. It is unclear what impact the development will have on the intersection of Fort Street and Sandwich St based on its current configuration (two-way stop controlled). The impact of this developer is currently assessed based on the potential future conditions of the intersection (signalized). Engineer to include an assessment of both scenarios for this intersection in the TIA.
2. Modifications to the existing Laird Avenue South right-of-way shall be required to be completed by the Developer to facilitate making a proper left turn to exit the site. Performing U-turns on Laird Avenue South will not be permitted or encouraged. Consultation with the Infrastructure Services department is required to determine the scope of work within the right-of-way on Laird Avenue South.
3. The scope of the TIA shall include active transportation, connectivity to existing active transportation infrastructure and any recommendation related to bicycle parking facilities on the site to support and promote expected active transportation in the area.
4. The scope of the TIA shall be extended to include the intersections of Sandwich St S & Alma St and Sandwich St S & Richmond St.

This Zoning By-law Amendment application cannot be supported by Infrastructure Services at this time due to lack of supporting studies submitted with the application.

If you have any questions, please do not hesitate to contact the undersigned.



---

Sydnee Botham  
Development Engineering Coordinator

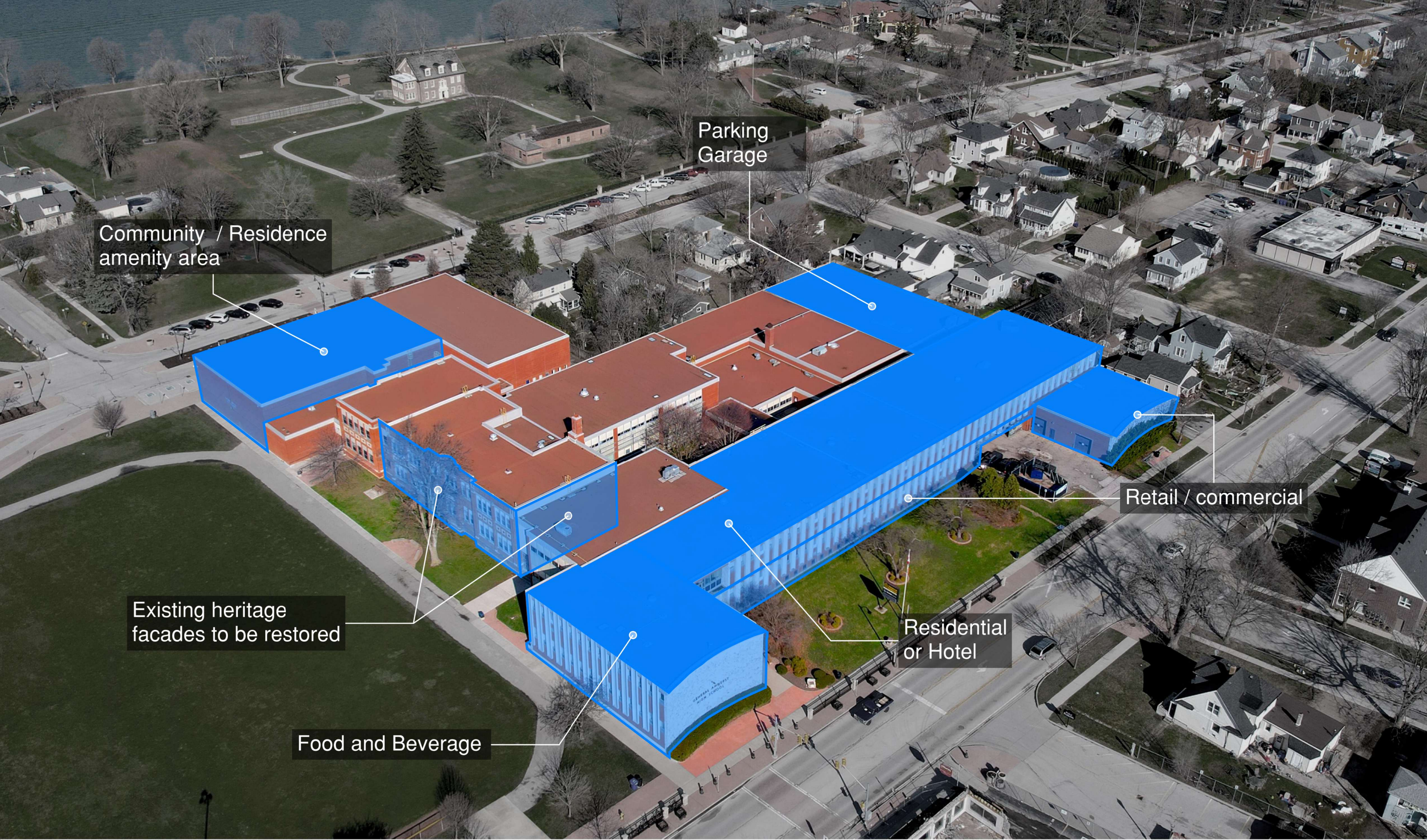


# GENERAL AMHERSTBURG TOWN CENTRE









Community / Residence  
amenity area

Parking  
Garage

Retail / commercial

Existing heritage  
facades to be restored

Residential  
or Hotel

Food and Beverage





Demolition area

Existing heritage  
facades to be restored









# Urban Design Strategies

1. Adaptive re-use of existing high school spaces. Extensive are of approx. 60% of existing.
2. Provide a pedestrian experience & scale at an activated podium level along streetscapes.
3. Restore & reconstruct existing historic facades to their original intended design on both East and demolished North facades.
4. Respect and retain original school window and masonry design and proportions up thru residential blocks.
5. Continue heritage facebrick & limestone along full podium of building to make uniform and consistent.
6. Step massing of all facades back from podium at multiple intervals vertically.
7. Layer building treatment horizontally to lighten mass and down scale.
8. Set residential blocks to Northeast corner of site away from existing residential areas to mitigate shadow impact.
9. Material and colour palette inspired by existing and original historic treatment.
10. Provide green and sustainable roof design strategies.



# LEGEND

	RETAIL / GYM 12,800 SF		OUTDOOR PLAZA
	F & B 5,600 SF		OUTDOOR PATIO
	GRASS		PARKING
	PROPOSED OFFICE SPACE 33,000 SF		CORE

