

TOWN OF AMHERSTBURG ACCESSIBILITY ADVISORY COMMITTEE MEETING

AGENDA

Council Chambers 271 Sandwich Street South, Amherstburg, ON, N9V 2A5

Thursday, October 24, 2024 5:00 PM

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Pages

- 1. CALL TO ORDER
- 2. ROLL CALL
- DISCLOSURE OF PECUNIARY INTEREST & GENERAL NATURE THEREOF

4. LAND ACKNOWLEDGMENT

We will begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations (comprising the Ojibway, the Odawa, and the Potawatomie Peoples), and of the Huron-Wendat and Wyandot Peoples. We recognize the land as an expression of

gratitude to those whose traditional territory we reside on, and a way of honouring the Indigenous people who have been living and thriving on the land since time immemorial. We value the significant historical and contemporary contributions of local and regional First Nations and all of the Original Peoples of Turtle Island.

5. MINUTES OF PREVIOUS MEETING

That the following minutes of the Amherstburg Accessibility Advisory Committee **BE APPROVED**:

5.1 Amherstburg Accessibility Advisory Committee Meeting Minutes - August 22, 2024

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7.	ORDI	ER OF BUSINESS	
	7.1	Site Plan Review - 208 St. Arnaud	8
	7.2	Site Plan Review - 7368 Howard	13
8.		RESPONDENCE the following Correspondence BE RECEIVED:	
9.	UNFI	NISHED BUSINESS	
10.	NEW	BUSINESS	
11.	ADJC	DURNMENT	
	That t	the Committee ADJOURN at p.m.	

DELEGATIONS

6.



TOWN OF AMHERSTBURG ACCESSIBILITY ADVISORY COMMITTEE MEETING MINUTES

Thursday, August 22, 2024
5:00 P.M.
Council Chambers
271 Sandwich Street South, Amherstburg, ON, N9V 2A5

PRESENT Shirley Curson Prue - Chair

Christopher Drew - Vice Chair Councillor Donald McArthur

Marc Renaud

Christine Easterbrook
Tony Pietrangelo
William Whittall

STAFF PRESENT Kevin Fox - Staff Liaison, Clerk

ABSENT Chris Drew (Regrets)

1. CALL TO ORDER

The Chair called the meeting to order at 5:02 p.m.

2. ROLL CALL

3. DISCLOSURE OF PECUNIARY INTEREST & GENERAL NATURE THEREOF

There were no disclosures of pecuniary interest noted.

4. LAND ACKNOWLEDGMENT

The following land acknowledgment was read: "We will begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations (comprising the Ojibway, the Odawa, and the Potawatomie Peoples), and of the Huron-Wendat and Wyandot Peoples. We recognize the land as an expression of gratitude to those whose traditional territory we reside on, and a way of honouring the Indigenous people who have been living and thriving on the land since time immemorial. We value the significant historical and contemporary contributions of local and regional First Nations and all of the Original Peoples of Turtle Island."

5. MINUTES OF PREVIOUS MEETING

5.1 Amherstburg Accessibility Advisory Committee Minutes of June 27, 2024

Moved by C. Easterbrook **Seconded by** M. Renaud

That the minutes of the June 27, 2024 Amherstburg Accessibility Advisory Committee **BE APPROVED**.

The Chair put the motion

Motion Carried

6. DELEGATIONS

There were no delegations.

7. ORDER OF BUSINESS

- 7.1 Town of Amherstburg Annual Consultation on Multi-Year Accessibility Plan
- 7.2 Aphasia Friendly Amherstburg
- 7.3 Accessibility Advisory Committee 2024 Outreach and Education Activities

Moved by T. Pietrangelo Seconded by C. Easterbrook

That the Essex County Accessibility Advisory Committee Outdoor Accessibility Fest-For-All **BE PROMOTED** on social media to encourage town businesses and residents to learn about accessible goods and services being provided in the local area.

The Chair put the motion.

Motion Carried

Moved by T. Pietrangelo Seconded by M. Renaud

That Administration **ENGAGE** Communications to support the Amherstburg Accessibility Advisory Committee in the development of a public engagement initiative.

The Chair put the motion.

Motion Carried

7.4 Enhancements to Libro Centre Accessible Parking Options

Moved by T. Pietrangelo **Seconded by** W. Whittall

That the Amherstburg Accessibility Advisory Committee **SUPPORT** the paving of four accessible parking spaces and supporting access aisles at the Libro Centre.

The Chair put the motion.

Motion Carried

8. CORRESPONDENCE

8.1 Essex County Accessibility Advisory Committee Outdoor Accessibility Fest-For-All

Moved by M. Renaud Seconded by Councillor McArthur

That the above correspondence **BE RECEIVED**. The Chair put the motion. **Motion Carried UNFINISHED BUSINESS** 9.1 **Accessible Tactile Surface Indicator Re-Painting** 9.2 **Pickleball Courts at Libro Centre NEW BUSINESS ADJOURNMENT** Moved by M. Renaud Seconded by T. Pietrangelo That the Committee **ADJOURN** at 5:57 p.m. The Chair put the motion **Motion Carried** Shirley Curson-Prue - Chair

9.

10.

11.

Kevin Fox - Recording Secretary

PROPOSED BUILDING ADDITION — SITE DATA

I NOI OSLD DOILDING	AUUII	IUIV	JIL DATA
SITE ZONING:		L	LIGHT INDUSTRIAL (LI)
LOT AREA =	34,151	SQ.FT.	(0.78 ACRES)
EXISTING HOUSE			1,461 SQ. FT.
NEW WAREHOUSE ADDITION			9,000 SQ. FT.
TOTAL BUILDING AREA			10,461 SQ. FT.
BUILDING FOOTPRINT (LOT CO	VERAGE)) = 10,	,724 SQ. FT. (30.63%)
LANDSCAPE AREA REQUIRED 1	0% =		3,415 SQ. FT.
LANDSCAPE AREA PROVIDED =	=	8,589	SQ. FT. = 25.15%
MINIMUM FRONT YARD DEPTH	=	29.50	FT.
MINIMUM REAR YARD DEPTH =	=	26.20	FT.
MINIMUM SIDE YARD WIDTH =		10.00	FT.
PROPOSED BUILDING HEIGHT	=	24.00	FT.

TOWN OF AMHERSTBURG PARKING REQUIREMENTS

WAREHOUSE = 1 SPACE PER 2,153 SQ.FT.

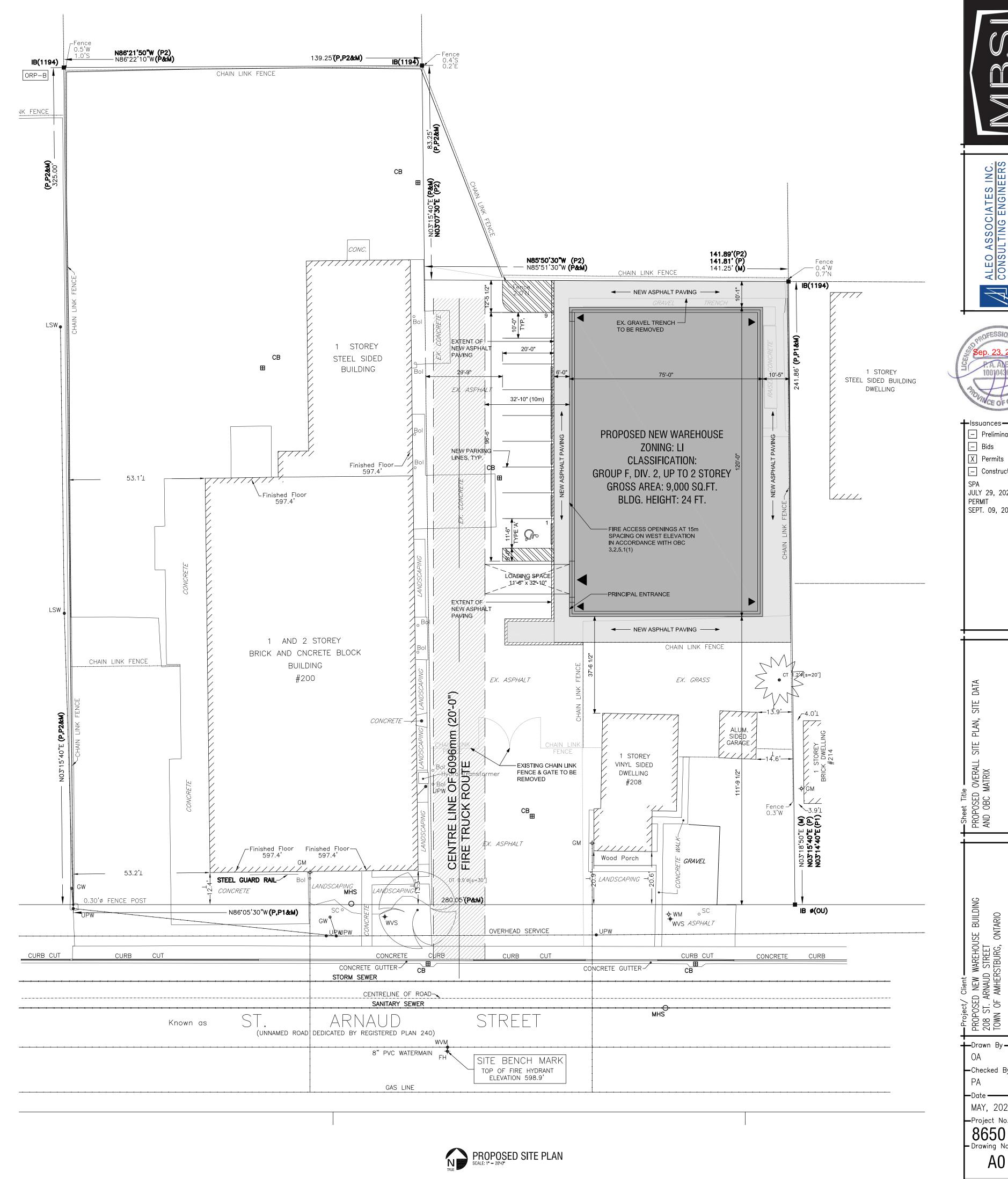
PARKING BREAKDOWN

EX. HOUSE = 1,610 SQ.FT. = 2 SPACES NEW WAREHOUSE = 9,000 SQ.FT. = 5 SPACES

TOTAL PARKING REQUIRED = 7 SPACES EXISTING PARKING SPACES = 2 SPACES

TOTAL PARKING PROVIDED = 9 SPACES (INCLUDING 1 ACCESSIBLE)

ЕМ	DJECT: PROPOSED AUXILIARY STORAGE BUILDING							PROJECT NO.: 8650		
	ONTARIO BUILDIN	G CODE M	ATRIX					OBC REFERENCE		
			☑ Part 3 ☐ Part 9							
1	Project Description:				1 New		2.1.1.	1.1.2 (A) &9.10.1.3		
	INDUSTRIAL BUILDING					Addition			()	
	INDOSTRINE BOILDING		Change of	llaa		Alteration				
	Main ()					Aiteration		7 1 0 1 (1)	0.10.0	
2		for Occupancy(s) PROPOSED STORAGE BUILDING Iding Area (ft ²) 836.12 m² Total 836.12 m²					3.1.2.1.(1)	9.10.2		
3	Building Area (ft ²)							1.1.3.2.	(A) 1.4.1.2	
4	Gross Area (ft²)	836.	12 m²		Total 836	5.12 m²		1.1.3.2.	(A) 1.4.1.2	
	Sub Total									
	Total									
5	Number of Storeys	Ab	ove Grade <u>1</u>		Below <u>NO</u>	Grade <u>NE</u>		3.2.1.1. & 1.1.3.2.	(A) 1.4.1.2 & 9.10.	
6	Number of Streets Fo	ıcing/Fire Fi	ghter Acces	s 1 STREE	T - UNSPF	RINKLERED		3.2.2.10 & 3.2.5	9.10.20	
7	Building Classification							3.2.2.10 & 3.2.2.83		
<u>' </u>	Sprinkler System Proj		_, 0,	☐ Entire B				3.2.2.10 & 3.2.2.83		
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						.1:n -				
					of Roof Ro	iung		3.2.2.17		
				□ Not Req						
9	Standpipe Required			☐ Yes	☑ No	☐ Existin	ng	3.2.9.1		
0	Fire Alarm Required			☐ Yes	☑ No			3.2.4.	9.10.18	
1	Water Service/Supply	is Adequate		✓ Yes	☐ No	☑ TBD		3.2.5.7		
2	High Building			☐ Yes	✓ No			3.2.6		
 3	Permitted Constructio	n \Box	Combustib		-Combustil	hle \square R	oth	3.2.2.10 - 3.2.2.83	9 10 6	
•	Actual Construction		Combustib		-Combustil		oth	0.2.2.10	0.10.0	
4			Combustit	ole 🖭 Noli	-combustii	nie 🗆 p	otti	7 0 0 1 (7) (0)		
- 5	Mezzanine Area — N/A Occupant load based		m²/perso			n of building		3.2.2.1.(3) –(8) 3.1.17		
	Barrier-free Design			✓ Yes	s 🗆	No (Ex	(plain)	3.1.17.1 (2) 3.8		
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		S				,	(pidiri)		9.5.2	
7	Hazardous Substance		ions and Fi	☐ Yes	s 🗹	No	(pidiri)	3.3.1.2 & 3.3.1.19	9.10.1.3	
7	Hazardous Substance Horizontal Assemblies—	Fire Separa		☐ Yes	e Ratings	,	(pidiri)	3.3.1.2 & 3.3.1.19 3.2.2.1083 &		
7	Hazardous Substance Horizontal Assemblies— Fire Spara	Fire Separation	Fire F	☐ Yes	e Ratings	No		3.3.1.2 & 3.3.1.19	9.10.1.3	
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9	Hazardous Substance Horizontal Assemblies— Fire Spara Floors Yes Mezz. Yes Mezz. Yes Mezz. Roof Yes Mezz. Fire Resis Floors Na hrs Mezz. Na hrs Spatial Separation — Location Area of EBF (m² North wall 165 s.m South wall 257.1 s.1 West wall 274.6 s.1	Fire Separation Not Req'd Not Req'd Not Req'd Fire Separation Fire Separation Noncor Noncor Noncor Noncor LD. L/H M. 3.07m. — 11.5m. — 11.5m. — 16.96m. —	Fire F n/a n/a n/a n/a tions and F Where Recombustible combustible combustib	re Resistance Resistan	e Ratings ating concombustil concombustil concombustil concombustil corinklered E ce Ratings Listed Design Cor or Description Cor	No ble construct ble construct Building mb. Comb. Const. sst. Nonc. Cladding	Non-Comb. Const. Y Y Y Y Y Attures ovided	3.3.1.2 & 3.3.1.19 3.2.2.1083 & 3.2.1.4.	9.10.1.3	
8	Hazardous Substance Horizontal Assemblies— Fire Spara Floors Yes Mezz. Yes Mezz. Yes Supporting Assemblies— Fire Resis Floors n/a hrs Mezz. n/a hrs Mezz. n/a hrs Spatial Separation — Location Area of EBF (m² North wall 165 s.m East wall 257.1 s.m West wall 274.6 s.m Plumbing Fixture Req Male	Fire Separation Not Req'd Not Req'd Not Req'd Fire Separation Fire Separation Noncor Noncor Noncor Noncor LD. L/H M. 3.07m. — 11.5m. — 11.5m. — 16.96m. —	Fire F n/a n/a n/a n/a n/a tions and F Where Recombustible combustible co	re Resistance Resistan	e Ratings ating concombustil concombustil concombustil concombustil corinklered E ce Ratings Listed Design Cor or Description Cor	No ble construct ble construct Building mb. Comb. Const. sst. Nonc. Cladding	Non-Comb. Const. Y Y Y Y Y A A A A A A A A A A A A A A	3.3.1.2 & 3.3.1.19 3.2.2.1083 & 3.2.1.4.	9.10.1.3 9.10.8	
9	Hazardous Substance Horizontal Assemblies— Fire Spara Floors Yes Mezz. Yes Mezz. Yes Supporting Assemblies— Fire Resis Floors n/a hrs Mezz. n/a hrs Mezz. n/a hrs Spatial Separation — Location Area of EBF (m² North wall 165 s.m East wall 257.1 s.m West wall 274.6 s.m Plumbing Fixture Req Male	Fire Separation Not Req'd Not Req'd Not Req'd Fire Separation Fire Separation Noncor Noncor Noncor Noncor LD. L/H M. 3.07m. — 11.5m. — 11.5m. — 16.96m. —	Fire F n/a n/a n/a n/a n/a tions and F Where Recombustible combustible co	re Resistance Resistan	e Ratings ating concombustil concombustil concombustil concombustil corinklered E ce Ratings Listed Design Cor or Description Cor	No ble construct ble construct Building mb. Comb. Const. sst. Nonc. Cladding	Non-Comb. Const. Y Y Y Y Y A A A A A A A A A A A A A A	3.3.1.2 & 3.3.1.19 3.2.2.1083 & 3.2.1.4.	9.10.1.3	
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9	Hazardous Substance Horizontal Assemblies— Fire Spara Floors Yes Mezz. Yes Mezz. Yes Mezz. Roof Yes Mezz. Supporting Assemblies— Fire Resis Floors n/a hrs Mezz. n/a hrs Roof n/a hrs Spatial Separation — Location Area of EBF (m² North wall 165 s.m South wall 257.1 s.1 West wall 274.6 s.1 Plumbing Fixture Req Male Female	Fire Separation Not Req'd Not Req'd Not Req'd Fire Separation Fire Separation Noncor Noncor Noncor Noncor LD. L/H M. 3.07m. — 11.5m. — 11.5m. — 16.96m. —	Fire F n/a n/a n/a n/a n/a tions and F Where Recombustible combustible co	re Resistance Resistan	e Ratings ating concombustil concombustil concombustil concombustil corinklered E ce Ratings Listed Design Cor or Description Cor	No ble construct ble construct Building mb. Comb. Const. sst. Nonc. Cladding	Non-Comb. Const. Y Y Y Y Y A A A A A A A A A A A A A A	3.3.1.2 & 3.3.1.19 3.2.2.1083 & 3.2.1.4.	9.10.1.3 9.10.8	



ALEO ASSOCIATES INC. CONSULTING ENGINEERS

Preliminary

_ Construction

JULY 29, 2024

SEPT. 09, 2024

-Checked By-

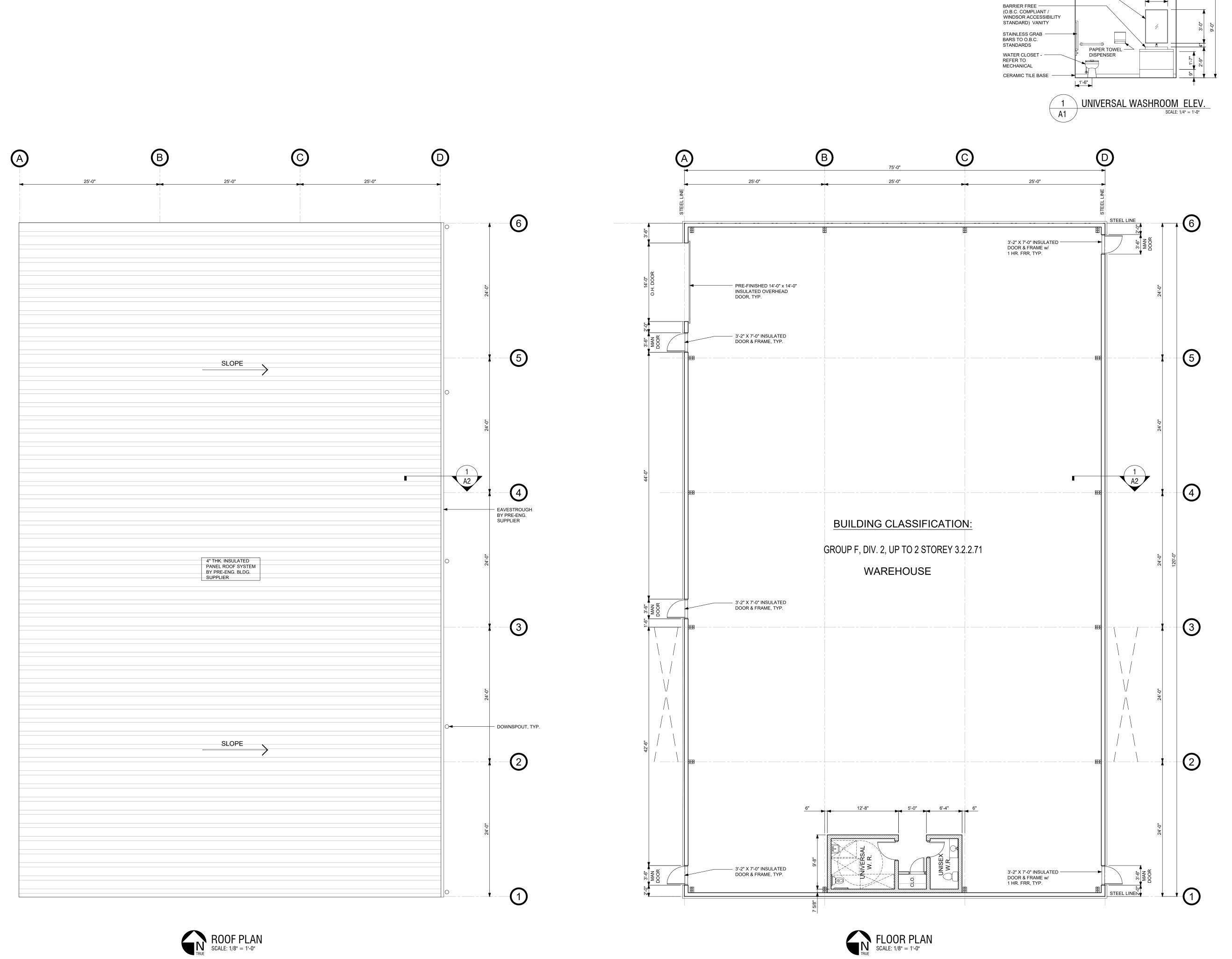
-Project No.- 8650 **–** Drawing No.**–** ENGINEERS.

PERMIT

.- Bids

X Permits

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WALL MOUNTED -MIRROR

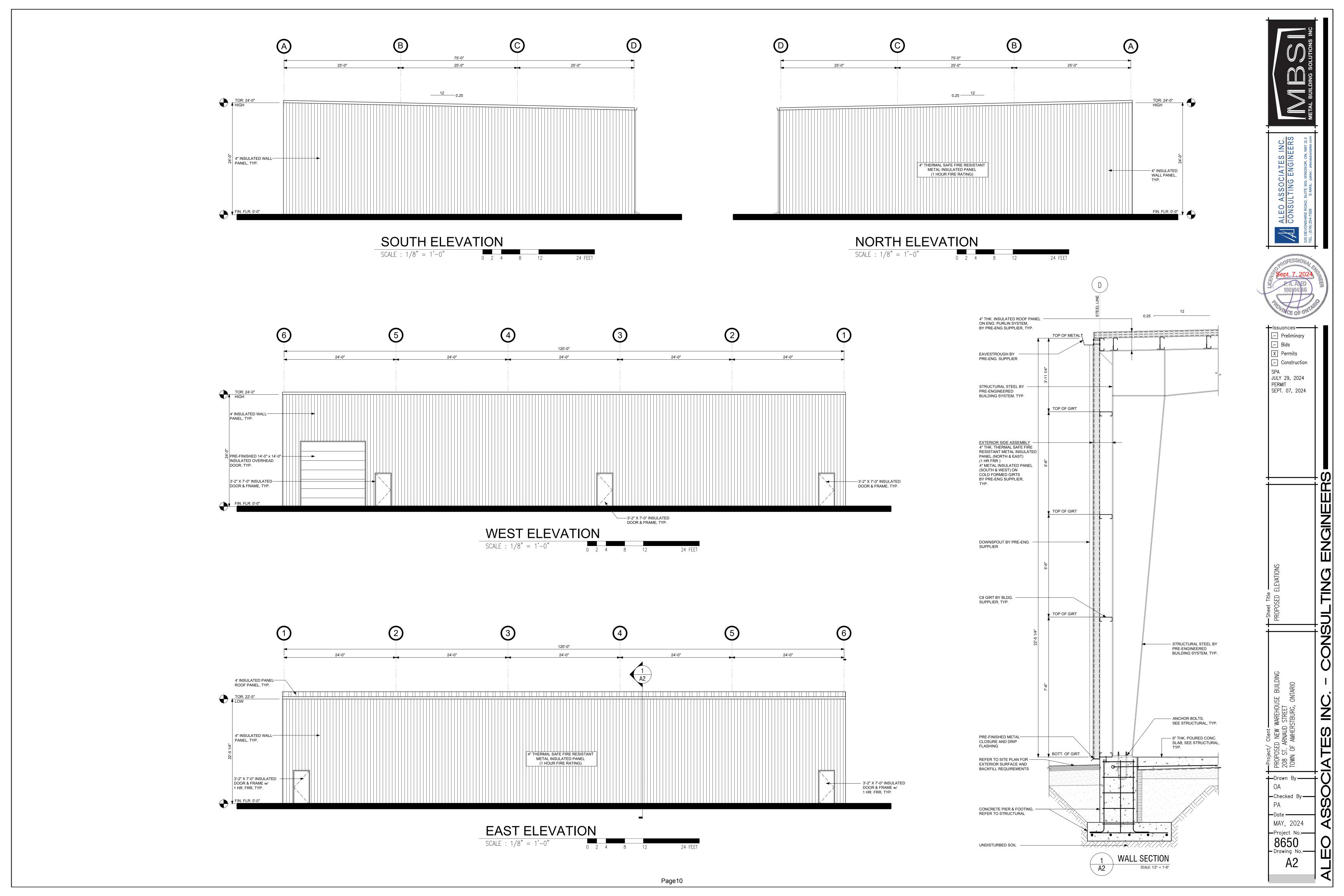
ALEO ASSOCIATES INC.
CONSULTING ENGINEERS



X Permits .- Construction

JULY 29, 2024 SEPT. 07, 2024

ENGINEERS.



- 1. GENERAL

 a) THE ONTARIO BUILDING CODE, 2012, SHALL BE THE BASIS FOR THE DESIGN AND CONSTRUCTION b) ALL DIMENSIONS ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS MUST BE CHECKED AGAINST EACH OTHER AND EXISTING CONDITIONS, ANY INCONSISTENCIES MUST BE REPORTED TO THE ENGINEER
- BEFORE PROCEEDING WITH THE WORK. c) SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THESE PLANS CONFLICT WITH THESE GENERAL NOTES, THE SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- d) IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE CONSTRUCTION. e) THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE
- CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND IT'S COMPONENTS. AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION, THIS INCLUDES THE ADDITION OF ANY SHORING SHEETING TEMPORARY GUYS BRACING OR TIEDOWNS THAT MIGHT BE NECESSARY. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTORS PROPERTY. THE ENGINEER TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION. PROCESSING AND/OR REVIEWING SUBMITTALS MADE BY THE CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MAY BE DISCUSSED, SHALL NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY THE ENGINEER OF ANY
- RESPONSIBILITY FOR SAFETY PROCEDURES. EQUIPMENT LOADS, OPENINGS AND STRUCTURE IN ANY WAY RELATED TO MECHANICAL AND ELECTRICAL REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL COORDINATE THIS INFORMATION WITH THE INVOLVED TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXTRA COSTS RELATED TO VARIATION IN THESE REQUIREMENTS TO BE BORNE BY THE APPROPRIATE
- 2. REVIEW OF CONSTRUCTION
 THE GENERAL CONTRACOR SHALL ASSUME COMPLETE RESPONSABILITY FOR FULL SUPERVISION OF CONSTRUCTION WORK. SITE VISITS AND REVIEW BY ALEO ASSOCIATES INC. ARE INTENDED FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH GENERAL DESIGN CONCEPT AND THE GENERAL REVIEW AS REQUIRED BY THE ONTARIO BUILDING CODE. REVIEW BY ALEO ASSOCIATES INC. SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR ERRORS AND OMISSIONS AND FOR MEETING ALL THE REQUIREMENTS OF THE CONSTRUCTION AND CONTRACT DOCUMENTS.
- 3. DESIGN LOADS AND DATA:

 a) GRAVITY LOAD SHALL BE AS NOTED ON FLOOR & ROOF FRAMING PLANS. GROUND SNOW LOAD:
 - S = Is [Ss(CbCwCsCa) + Sr] Is = 1.0 (ULS - 'NORMAL-IMPORTANCE CATEGORY) Is = 0.90 (SLS - 'NORMAL'-IMPORTANCE CATEGORY) Ss = 0.90 kPa (GROUND SNOW LOAD) Cb = 0.80 (BASIC ROOF SNOW LOAD)
- Cw = 1.0 (WIND EXPOSURE FACTOR) Cs = 1.0 (SLOPE FACTOR) Ca = 1.0 (SHAPE FACTOR) Sr = 0.4 kPa (ASSOCIATED RAIN LOAD) c) WIND LOAD (BUILDING AS A WHOLE):
- p = Iw q Ce Cq Cp Iw = 1.0 (ULS - 'NORMAL'-IMPORTANCE CATEGORY) Iw = 0.75 (SLS - 'NORMAL'-IMPORTANCE CATEGORY) q = 0.47 (REFERENCE VELOCITY PRESURE (1in50)) EXPOSURE CATEGORY 'B' Ce = (h/10)^0.20, NOT LESS THAN 0.90
- CpCg = (SEE NBC) d) WIND LOAD (EXTÉRNAL PRESSURE FOR DESIGN OF COMPONENTS): w = 1.0 (ULS - 'NORMAL'-IMPORTANCE CATEGORY)
- Iw = 0.75 (SLS 'NORMAL'-IMPORTANCE CATEGORY) q = 0.47 (REFERENCE VELOCITY PRESURE (1in50)) EXPOSURE CATEGORY 'B' Ce = (h/10)^0.20, NOT LESS THAN 0.90
- Cp = (SEE NBC 2005) e) WIND LOAD (INTERNAL PRESSURE FOR DESIGN OF COMPONENTS): pi = Iw a Ce Cai Cpi Iw = 1.0 (ULS - 'NORMAL'-IMPORTANCE CATEGORY) Iw = 0.75 (SLS - 'NORMAL'-IMPORTANCE CATEGORY) q = 0.47 (REFERENCE VELOCITY PRESURE (1in50)) EXPOSURE CATEGORY 'B' Ce = (h/10)^0.20, NOT LESS THAN 0.90
- FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL CAPABLE OF SUSTAINING AN ALLOWABLE NET BEARING CAPACITY OF 3000 PSF.

Cpi = -0.15 to 0 (CATEGORY 3)

- b) ALL FOOTING EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO PLACING CONCRETE c) PROVIDE 10 MPa LEAN CONCRETE LINDER FOUNDATIONS FOR ACCIDENTAL OVER-EXCAVATIONS AND SOFT SPOTS.
- d) ALL EXCAVATION AND BACKFILLING SHALL BE IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT. LATEST EDITION. e) BACKFILL AGAINST BOTH SIDES OF WALLS EQUALLY UNTIL THE LOWER ELEVATION IS ATTAINED.
- PROVIDE A MIN. 2'-0" THICK LAYER OF GRANULAR BACKFILL TO THE FULL HEIGHT OF ALL BASEMENT AND RETAINING WALLS.
- ALL FILL MATERIAL SHALL BE AS SPECIFIED ON THE DRAWINGS UNIFORMLY COMPACTED GRANULAR 'A' IN MAXIMUM 8" THICK LOOSE LIFTS TO 100% OF STANDARD PROCTOR MAXIMUM DRY DENSITY. UNIFORMLY COMPACTED GRANULAR 'B' TYPE 1 IN MAXIMUM 10" THICK
- LOOSE LIFTS TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY. UNIFORMLY COMPACT NATIVE MATERIAL TO 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY BY APPROVED METHOD. k) KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES.
- a) COMPLY TO THE FOLLOWING: CSA A23.1, A23.2, AND A23.3, LATEST b) CONCRETE ULTIMATE COMPRESSION STRENGTH AT 28 DAYS SHALL BE 20 MPa FOR FOOTINGS; 25 MPa FOR FOUNDATION WALLS, PIERS, SUSPENDED
- SLABS AND FLOOR SLABS ON GRADE; 32 MPa FOR ALL OUTSIDE CONCRETE. c) THE MAXIMUM WATER/CEMENT RATIO SHALL BE 0.50 FOR FLOOR SLABS
- ON-GRADE AND 0.55 FOR ALL OTHER CONCRETE. d) USE A MID-RANGE WATER REDUCING ADMIXTURE IN THE SLAB-ON-GRADE CONCRETE AS REQUIRED TO ACHIEVE THE SPECIFIED WATER/CEMENT
- e) CONCRETE COVER FOR REINFORCING STEEL SHALL BE 3" FOR CONCRETE
- CAST AGAINST EARTH; 2" FOR WALLS; AND 1 1/2" FOR PIERS. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE BETWEEN 5% AND 7%
- g) MAXIMUM SLUMP: 3" FOR FLOOR SLABS; & 3 1/2" FOR ALL OTHER
- h) MECHANICALLY VIBRATE ALL CONCRETE.
- CEMENT TYPE: PORTLAND CEMENT TYPE 10.
- 6. REINFORCING STEEL

 a) REINFORCING STEEL SHALL COMPLY TO CSA G30.18M LATEST EDITION. REINFORCING STEEL SHALL BE DEFORMED, HARD GRADE AND HAVING A
- MINIMUM YIELD STRENGTH OF 400 MPa. (60 KSi) c) ALL BAR SPLICES AND DEVELOPMENT LENGTHS SHALL COMPLY TO CSA
- d) ALL BARS MARKED CONTINUOUS SHALL BE TERMINATED IN HOOKS AND
- DEVELOPED BY CLASS B LAP WHERE SPLICED. e) WWM SHALL BE FLAT SHEETS (NOT ROLLS).

- 7. STRUCTURAL STEEL

 a) ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH \$16.1, LATEST EDITIONS. b) MATERIALS: ROLLED SHAPES TO G40.21-350W: HOLLOW STRUCTURAL
- STEEL TO G40 21, 350W CLASSIC: ROLLED STEEL PLATES TO ASTM-A36: COLD FORMED SHAPES TO \$136-Fy=350W; ELECTRODES TO CSA W48.1 E70-XX; BOLTS TO ASTM A325; AND ANCHOR BOLTS Fy = 300W. c) ALL CONNECTION LOADS INDICATED ON THE DRAWINGS ARE FACTORED
- LOADS UNO. CONNECTIONS FOR COMPOSITE BEAMS OR GIRDERS SHALL BE DOUBLE ANGLE CONNECTIONS AND EACH CONNECTION SHALL BE DESIGNED TO RESIST 100% OF THE MAXIMUM TOTAL FACTORED UNIFORM LOAD OF THE MEMBER. EACH CONNECTION FOR NON-COMPOSITE BEAMS OR GIRDERS SHALL BE DESIGNED TO RESIST 60% OF THE MAXIMUM TOTAL FACTORED UNIFORM LOAD OF THE MEMBER. NON-COMPOSITE GIRDER TO COLUMN CONNECTIONS SHALL BE DOUBLE ANGLE CONNECTIONS. MOMENT CONNECTIONS SHALL BE DESIGNED TO RESIST 100% OF THE BEAM BENDING MOMENT UNO. FOR ALL OTHER MEMBERS, WELDING AND BOLTING SHALL DEVELOP THE MAXIMUM TOTAL FACTORED UNIFORM LOAD CAPACITY OF THE MEMBERS WHERE THE LOADS ARE NOT SHOWN.
- d) ALL FIELD CONNECTIONS SHALL BE BOLTED WITH 3/4" Ø BOLTS UNLESS WELDING IS SPECIFIED ON THE DRAWINGS. EXPANSION ANCHORS: HILTI "KWIK BOLT 3" OR APPROVED EQUAL U.N.O., EMBEDDMENT LENGTH FOR EXPANSION ANCHORS IN SOLID CONCRETE
- OR CONC. FILLED MASONRY SHALL BE: 1/2" DIAMETER = 3 1/2". 5/8" DIAMETER = 4". 3/4" DIAMETER = 5" SLEEVE ANCHORS: HILTI "HLC SLEEVE ANCHOR" OR APPROVED EQUAL

U.N.O., EMBEDDMENT LENGTH FOR SLEEVE ANCHORS IN HOLLOW

- CONCRETE BLOCK SHALL BE: 1/2" DIAMETER = 2 1/2" U.N.O.) ALL STRUCTURAL STEEL SHALL BE CLEAN OF RUST OR ANY OTHER FOREIGN MATERIAL AND SHALL RECEIVE ONE PRIME COAT OF RUST INHIBITIVE METAL PRIMER COLOURED 'GREY' CONFORMING TO C.G.S.B.
- (1-GP-40M-1979) DO NOT PAINT SURFACES AT AREAS OF CONNECTION UNTIL AFTER THE CONNECTION IS MADE. h) DO NOT PAINT STEEL IN CONTACT WITH CONCRETE, STEEL THAT IS TO BE GALVANIZED OR STEEL THAT IS TO RECEIVE SPRAYED FIRE-PROOFING.
- STRUCTURAL STEEL ERECTOR SHALL PROVIDE ALL NECESSARY TEMPLATES AND TEMPORARY BRACING. ALL COLUMN ENDS ARE TO BE MILLED AND WELDED TO BASE PLATES. ALIGN STRUCTURE BEFORE PERMANENT WELDING OR BOLTING IS BEGUN. PROVIDE SHOP WELDED ANCHORS FOR THE ATTACHEMENT OF MASONRY TO STRUCTURAL STEEL COLUMNS AT 2'-0" O.C. VERT. AT ALL LOCATIONS IN
- ANCHORS SHALL BE GALV. ADJUSTABLE FLEX-O-LOK W/ MODEL BLT9 TIES BY BLOK-LOK OR FOLIVALENT m) PROVIDE HOLES AS REQUIRED FOR OTHERS. REFER TO MECHANICAL AND

WHICH THE COLUMN FACE IS ADJACENT TO CONCRETE BLOCK UNO.

- ARCHITECTURAL DRAWINGS. IF OPENING IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, OBTAIN PRIOR APPROVAL. REFER TO ARCHITECTURAL DRAWINGS FOR ALL MISCELLANEOUS
- STRUCTURAL STEEL THAT IS NOT SHOWN OR LABELLED ON THE STRUCTURAL DRAWINGS. o) WELDING SHALL COMPLY TO THE LATEST ISSUE OF CSA STANDARD
- p) STRUCTURAL STEEL CONTRACTOR SHALL BE CERTIFIED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W47.1-03 FOR DIVISION 1 OR 2 CERTIFICATION.

q) STRUCTURAL SHOP DRAWINGS SHALL BE STAMPED AND SIGNED BY A

LICENSED ENGINEER FOR THE CERTIFICATION OF THE DESIGN OF THE

- CHANGES:

 a) NO CHANGES SHALL BE MADE TO THE DESIGN WITHOUT ENGINEERS
- CONTRACTOR SHALL NOTIFY ENGINEER OF SIGNS OF DISTRESS OR ANY OTHER INDICATIONS OF ACTUAL OR POTENTIAL DAMAGE TO THE

PRE-ENGINEERED BLDG. NOTES:

- PRE-ENGINEERED STRUCTURE REFER TO PRE-ENGINEERED BUILDING DRAWINGS PURPOSES.
- SHOP DRAWINGS FOR THE PRE-ENGINEERED BUILDING SHALL BE STAMPED AND SIGNED BY A LICENSED PROFESSIONAL ENGINEER AND MUST BE SUBMITTED PRIOR TO CONSTRUCTION. DRAWINGS SHALL CLEARLY SHOW DESIGN LOADS + DEFLECTION CRITERIA & INDICATE COLUMN REACTIONS AT THE FOUNDATION.
- BUILDING FRAME DRIFT (SWAY) TO BE LIMITED TO L/240 OR 1 1/4" (MAX) AT THE EAVE FOR FOR THE WORST CASE TOTAL LOADING CONDITION.

TESTING AND FIELD REVIEWS

- a) THE FOLLOWING ITEMS REQUIRE TESTING OR INSPECTION BY A CERTIFIED INDEPENDENT TESTING OR INSPECTION AGENCY UNLESS NOTED OTHERWISE. THE AGENCY SHALL SEND COPIES OF ALL STRUCTURAL TESTING AND INSPECTION REPORTS TO THE STRUCTURAL ENGINEER OF RECORD, ARCHITECT AND
- GENERAL CONTRACTOR. b) THE GENERAL CONTRACTOR SHALL NOTIFY THE INSPECTION AND TESTING AGENCY
- IN AMPLE TIME OF HIS WORK SCHEDULE AND ALL CHANGES THERETO, ALSO CO-OPERATE FULLY WITH THE TESTING AND INSPECTION AGENCY ON THE PROJECT.
- THE TESTING AND INSPECTION AGENCY SHALL BE PAID FROM THE TESTING ALLOWANCE SPECIFIED IN THE CONTRACT DOCUMENTS.
- THE FOLLOWING TESTING SCHEDULE IS RECOMMENDED. THE CONTRACTOR SHALL OBTAIN PROPOSALS FROM TESTING AND INSPECTION AGENCIES TO CARRY OUT TESTING IN ACCORDANCE WITH THE TABLE BELOW AND SUBMIT TO THE ARCHITECT FOR REVIEW

ITEM	FREQUENCY	COMMENTS
PROCTOR TEST FOR COMPACTION OF GRANULAR BASE AND SUB-BASE FILL MATERIALS	BUILDING INTERIOR ONE TEST / 1000 sq.ft.	- BOTH BASE AND SUB-BASE SHALL BE TESTED AT THE SPECIFIED FREQUENCY - AREAS THAT FAIL SHALL BE RE-COMPACTED AND RE-TESTED UNTIL A SUCCESSFUL TEST IS ACHIEVED
SIEVE ANALYSIS	ONE TEST FOR GRANULAR 'A' & GRANULAR 'B' MATERIAL USED	
CONCRETE COMPRESSIVE STRENGTH TESTS		- CONCRETE TESTS SHALL CONSIST OF (4) CYLINDERS PROPERLY LABLLED SHOWING LOCATION AND DATE OF POURING
-FOOTING -FOUNDATION WALL -FLOOR SLAB-ON-GRADE	ONE TEST ONE TEST ONE TEST	- TEST (1) CYLINDER AT 7 DAYS AND (2) CYLINDERS AT 28 DAYS. SHOULD THE 7 & 28 DAY STRENGTH TEST FAIL TO MEET THE DESIGN STRENGTH THE 4TH CYLINDER SHALL BE TESTED AT 90 DAYS
CONCRETE SLUMP TEST	EACH TIME CYLINDERS ARE CAST FOR COMPRESSIVE STRENGTH TESTS	

e) THE FOLLOWING FIELD REVIEWS ARE REQUIRED. THE CONTRACTOR SHALL OBTAIN PROPOSALS FROM TESTING AND INSPECTION AGENCIES TO CARRY OUT FIELD REVIEWS IN ACCORDANCE WITH THE TABLE BELOW AND SUBMIT TO THE ARCHITECT FOR REVIEW

ITEM	FREQUENCY	INSPECTION BY	COMMENTS
FOOTING EXCAVATIONS / BEARING SOIL	PRIOR TO PLACING CONCRETE AT THE COMMENCEMENT OF WORK AND PART-TIME HEREAFTER. IF CONDITIONS CHANGE OR WHEN SPECIAL ATTENTION IS REQ'D, THE APPROPRIATE CONSULTANTS SHALL BE NOTIFIED	TESTING & INSPECTION AGENCY AND STRUCTURAL ENGINEER	- BEARING CAPACITY - REMOVAL OF DELETERIOUS MATERIAL - ELIMINATION OF GROUNDWATER - SPECIAL CONDITIONS REQUIRING ATTENTION
PROOF ROLLING OF SUB-GRADE SOIL	FULL TIME INSPECTION	TESTING & INSPECTION AGENCY	-BUILDING INTERIOR -EXTERIOR PAVED AREAS
REINFORCING STEEL	PRIOR TO PLACING CONCRETE AT THE COMMENCEMENT OF WORK AND PART-TIME THEREAFTER	TESTING & INSPECTION AGENCY	FINAL PLACEMENT OF REBAR. SPECIAL CONDITIONS THAT REQUIRE INSPECTION WILL BE SPECIFIED BY THE ENGINEER ON SITE
FLOOR SLAB-ON-GRADE	PRIOR TO PLACING CONCRETE	STRUCTURAL ENGINEER	NOTIFY STRUCTURAL ENGINEER PRIOR TO POURING CONCRETE
STRUCTURAL STEEL	RANDOMLY THROUGHOUT ERECTION	STRUCTURAL ENGINEER	NOTIFY STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT OF WORK.

SHOP DRAWINGS AND SUBMITTALS

- SUBMIT 5 (FIVE) COPIES OF ALL SHOP DRAWINGS AND SUBMITTALS.
- SHOP DRAWINGS AND/OR SUBMITTALS THAT REQUIRE CERTIFICATION BY QUALIFIED PROFESSIONAL ENGINEER SHALL HAVE ORIGINAL SIGNATURE OF AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO. SHOP DRAWINGS THAT REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER MUST BE STAMPED AT THE TIME REQUIRING ENGINEERS CERTIFICATION ARE NOT STAMPED AS REQUIRED, THEY WILL BE
- REJECTED WITHOUT REVIEW. d) THE CONTRACTOR SHALL ALLOW THE CONSULTANT AN MINIMUM OF 10 WORKING DAYS TO REVIEW SHOP
- DRAWINGS IS REQUIRED, ANOTHER 10 WORKING DAYS SHALL BE ALLOWED. NO WORK SHALL BE COMMENCED OR MATERIAL ORDERED FOR WORK REQUIRING SHOP DRAWING SUBMISSION UNTIL THE SUBMISSION HAS BEEN RETURNED TO THE CONTRACTOR BEARING THE STAMP OF THE CONSULTANT.
- THE FOLLOWING ITEMS REQUIRE SHOP DRAWING AND/OR SUBMISSION.

ITEM	ENGINEERS STAMP REQ'D	COMMENTS
REINFORCING STEEL	NO	SUBMIT ERECTION PLANS AND MATERIAL LISTS FOR ALL REBAR SPECIFIED IN CONSTRUCTION DRAWINGS
CONCRETE MIX DESIGNS	NO	SUBMIT ALL CONCRETE MIX DESIGNS TO BE USED
RE-ENGINEERED BLDG. SHOP DRAWINGS	YES	SUBMIT ERECTION PLANS AND PIECE DETAIL DWGS. FOR ALL STRUCTURAL STEEL SPECIFIED IN CONSTRUCTION DRAWINGS

DRAWING LEGEND AND ABBREVIATIONS

HOOK-HOOK (HOOK FACH END)

HORIZONTAL SLOTTED CONNECTION

DEVELOPMENT LENGTH OF REBAR

HORIZONTAL IN CENTRE

HIGH POINT

JOIST GIRDER

SINGLE ANGLE DOUBLE ANGLES

LONG DIM. VERT.

UPPER LEVEL BM/JOIST

LONG LEG HORIZONTAL

LONG SIDE HORIZONTAL

LONG LEG VERTICAL

LONG SIDE VERTICAL

LOWER LEVEL BM/JOIST

LONG/LENGTH

LIVE LOAD IN psf

LOW POINT

LSV

LSH

UNLESS OTHERWISE NOTED, DESIGN LOADS SHOWN ARE SPECIFIED (UNFACTORED) LOADS, TO BE USED FOR ULS DESIGN. FOR POINT LOADS, IF ONLY ONE LOAD IS GIVEN, CONSIDER IT LIVE LOAD. FOR WIND AND SNOW LOADS TO BE USED FOR SLS DESIGN, SEE PLANS.

AB	ANCHOR BOLT	MAN	MAXIMUM
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	MAX	MARKED END
	FACTORED AXIAL LOAD IN kips	ME	FACTORED MOMENT IN k.ft
Af	(+ INDICATES TENSION,	Mf MJ	MOVEMENT JOINT
	•	MIN	MINIMUM
	- INDICATES COMPRESSION)	MTf	FACTORED TORSION IN k.ft
ALT	ALTERNATE	NTS	NOT TO SCALE
ARCH	ARCHITECTURAL	NBC	NATIONAL BUILDING CODE
ARCH	AROTHEOTORAL		0.171710 7.111 7.110 0.077
BOTT	ВОТТОМ	OBC	ONTARIO BUILDING CODE
BEW	BOTTOM EACH WAY	OC	ON CENTRE OUT TO OUT
BM	BEAM	O/O	OPENING
BOF	ELEV BOTTOM OF FOOTING	OPEN, OPNG	OI EIVIIVO
BP	BEARING/BASE PLATE		
BSMT	BASEMENT		
Bown		Р	POINT LOAD IN kips
CA	COLUMN ABOVE ONLY (NO COLUMN BELOW)	P.C.	PRECAST CONTRACTOR
C	CAMBER	Pf	FACTORED POINT LOAD IN kips
CANT	CANTILEVER	PL	PLATE
CB	COLUMN BELOW		
C/C	CENTRE TO CENTRE	RA	ROOF ANCHOR
C/C	CONSTRUCTION JOINT	RD	ROOF DRAIN
CL	CLEAR	REINF	REINFORCEMENT
CLS	CLADDING TO HAVE LATERIAL SUPPORT	RF	RIGID FRAME FACTORED REACTION IN kips
CLS	AT THIS LEVEL	Rf RHf	FACTORED REACTION IN KIPS FACTORED HORIZ. REACTION IN kips
COMP	COMPOSITE	КПІ	TACTORED HORIZ. REACTION IN KIPS
	COLUMN	SDF	STEP DOWN FOOTING
C	CONCRETE	SDL	SUPERIMPOSED DL
CONC		SECT	SECTION
CONT	CONTINUOUS	SIM	SIMILAR
CWS	CLADDING SELF WEIGHT & LATERIAL AT	SJ	STEEL JOIST
DET	THIS LEVEL	SLS	SERVICEABILITY LIMIT STATE
DET	DETAIL	SL	SLAB
DIA	DIAMETER	SL1, SL2	SHELF ANGLE 1, ETC
DIM	DIMENSION	SOG	SLAB ON GRADE
DL	DEAD LOAD IN psf	STIR	STIRRUP
DN	DOWN	STIFF	STIFFENER
DP DWG	DEEP	t	TOTAL THICKNESS
DWL	DRAWING DOWEL	Ť	TOP
DVVL	DOWEL	TEW	TOP EACH WAY
EA	EACH	TH	THICK
ECR	EPOXY COATED REINFORCEMENT	TJ	TIE JOIST
EE		TOF	TOP OF FOOTING
EF	EACH END	TOP	TOP OF PIER
EJ,	EACH FACE EXPANSION JOINT	TYP	TYPICAL
EL, ELEV	ELEVATION	ш	UNMARKED END
EMBED	EMBEDMENT	UE ULS	ULTIMATE LIMIT STATE
EQ	EQUAL	U/S	UNDERSIDE
EW	EACH WAY	UNO	UNLESS NOTED OTHERWISE
EX, EXIST	EXISTING	UPT	UPTURNED
	LAIGHING		
FIN	FINISHED	VB	VERTICAL BRACING
FL	FLOOR	V, VEF	VERTICAL, VERTICAL EACH FACE
FMC	FULL MOMENT CONNECTION	VIC	VERTICAL IN CENTRE
FTG	FOOTING	Vf	FACTORED SHEAR IN kips
fc	COMPRESSIVE STRENGTH OF CONC	V, VERT,	VERTICAL, VERTICALS
fy	YIELD STRENGTH	VERTS VSC	VERTICALLY SLOTTED CONNECTION
-,		v30	TO ALLOW FOR DEFLECTION
GALV	GALVANIZED STEEL	VXB	VERTICAL 'X' BRACING
GB	GRADE BEAM		
GL	GRIDLINE	WC	WIND COLUMN
-	C. 3.5 - 11 12	WP	WALL PLATE
H, HOR	HORIZONTAL	\A(\) \ (\) \ (\)	
HDG	HOT DIPPED GALVANIZED	WWM	WELDED WIRE MESH
HEF	HORIZONTAL EACH FACE		SECTION NUMBER
нн	HOOK HOOK (HOOK EVEH END)	/ X \	SECTION NUMBER

SECTION DRAWING

REFERENCE



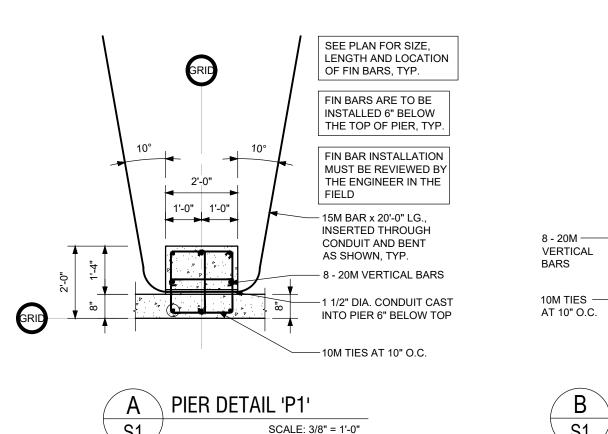
ALEO ASSOCIATES INC. CONSULTING ENGINEERS

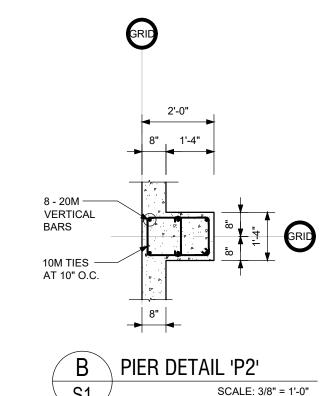


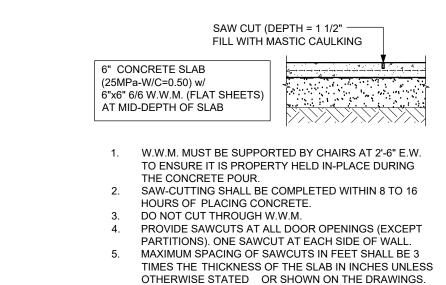
Preliminary - Bids X Permits .- Construction JULY 29, 2024 **PERMIT** SEPT. 07, 2024

Checked By-

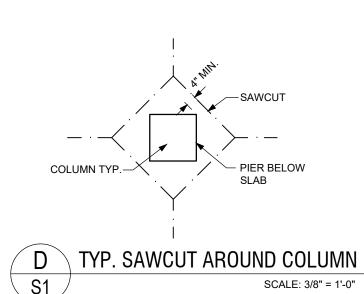
Project No.- Drawing No.—







S1



FLOOR SLAB-ON-GRADE NOTES:

- SLAB-ON-GRADE CONSTRUCTION: 6" POURED CONC. SLAB w/ 6"x6"-6/6 W.W.M. ON 18" MIN. GRANULAR 'A' BASE ON PROOF ROLLED SUBGRADE, TYP.
- PROVIDE 1/2" THICK PREMOULDED JOINT FILLER AGAINST INTERIOR FOUNDATION WALLS AND ALL OTHER VERTICAL

PIER SCHEDULE

PIER SIZE

2'-0"

FOOTING SCHEDULE

4'-6" 4'-6"

3'-6" 3'-6"

FOOTING

LENGTH WIDTH DEPTH

2'-0"

1'-4"

PIER REINFORCEMENT

FOOTING REINFORCEMENT

5 - 15M E.W.

4 - 15M E.W.

HORIZONTAL

10M MAX AT 10" (MAX.)

10M MAX AT 10" (MAX.)

TOP STEEL

VERTICAL

8 - 20M

6 - 20M

SEE PIER DETAILS ON SO FOR DIMENSIONAL INFORMATION.

2. SEE OTHER SCHEDULE(S) FOR FURTHER INFORMATION.

LENGTH | WIDTH | DEPTH | BOTTOM OF STEEL

SEE OTHER SCHEDULE(S) FOR ADDITIONAL INFORMATION.

2. ' * 'INDICATES TOP STEEL FOOTING REINFORCEMENT, SEE SCHEDULE

- 3. SAW-CUTTING SHALL BE COMPLETED WITHIN 8 TO 16 HOURS OF PLACING THE CONCRETE.
- PROVIDE SAWCUTS AS PER DETAIL D/S1 AT THE LOCATIONS SHOWN ON PLAN.

FOUNDATION NOTES:

REMARKS

SEE NOTES 1 & 2

SEE NOTES 1 & 2

REMARKS

- REFER TO FOUNDATION NOTES ON S0 FOR ADDITIONAL INFO.
- FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL CAPABLE OF SUSTAINING AN ALLOWABLE NET BEARING CAPACITY OF 3,000 PSF.
- 3. CENTRE FOOTINGS UNDER CENTROID OF COLUMNS ABOVE UNO.
- 4. ELEVATIONS ARE BASED ON THE ARCHITECTURAL DATUM WHICH SETS THE FINISHED
- FLOOR ELEV. AT 100.00', (GEODETIC ELEV. 597.50') FOOTING BEARING ELEVATION (U/S OF FOOTING) IS 95.50' U.N.O.
- ALL EXTERIOR FOOTINGS ARE TO BEAR 4'-0" MIN. BELOW ADJACENT FINISHED GRADE AT A
- MINIMUM. ADJUST U/S OF FOOTING ELEVATION AS REQUIRED.
- PROTECT FOOTINGS, WALLS AND ADJACENT SOIL AGAINST FREEZING AND FROST ACTION AS REQUIRED AT ALL TIMES DURING CONSTRUCTION.
- THE FLOOR SHALL BE 8" BELOW FINISHED FLOOR U.N.O.

TOP OF FOUNDATION WALLS AT ALL DOORS AND OTHER WALL OPENINGS THAT EXTEND TO

- ALL FOUNDATION WALLS SHALL HAVE 1-15M CONT. TOP BARS AS INDICATED IN SECTION. ALL FOUNDATION WALLS SHALL HAVE 15M VERTICAL DOWELS TO FOOTING AT
- 10. FOUNDATION CONTRACTOR TO COORDINATE WITH ALL TRADES, THE LOCATION OF ALL PIPE SLEEVES PASSING THROUGH FOUNDATION WALLS. PIPING IS NOT TO RUN THROUGH FOOTINGS. FOOTINGS TO BE STEPPED DOWN TO SUIT.

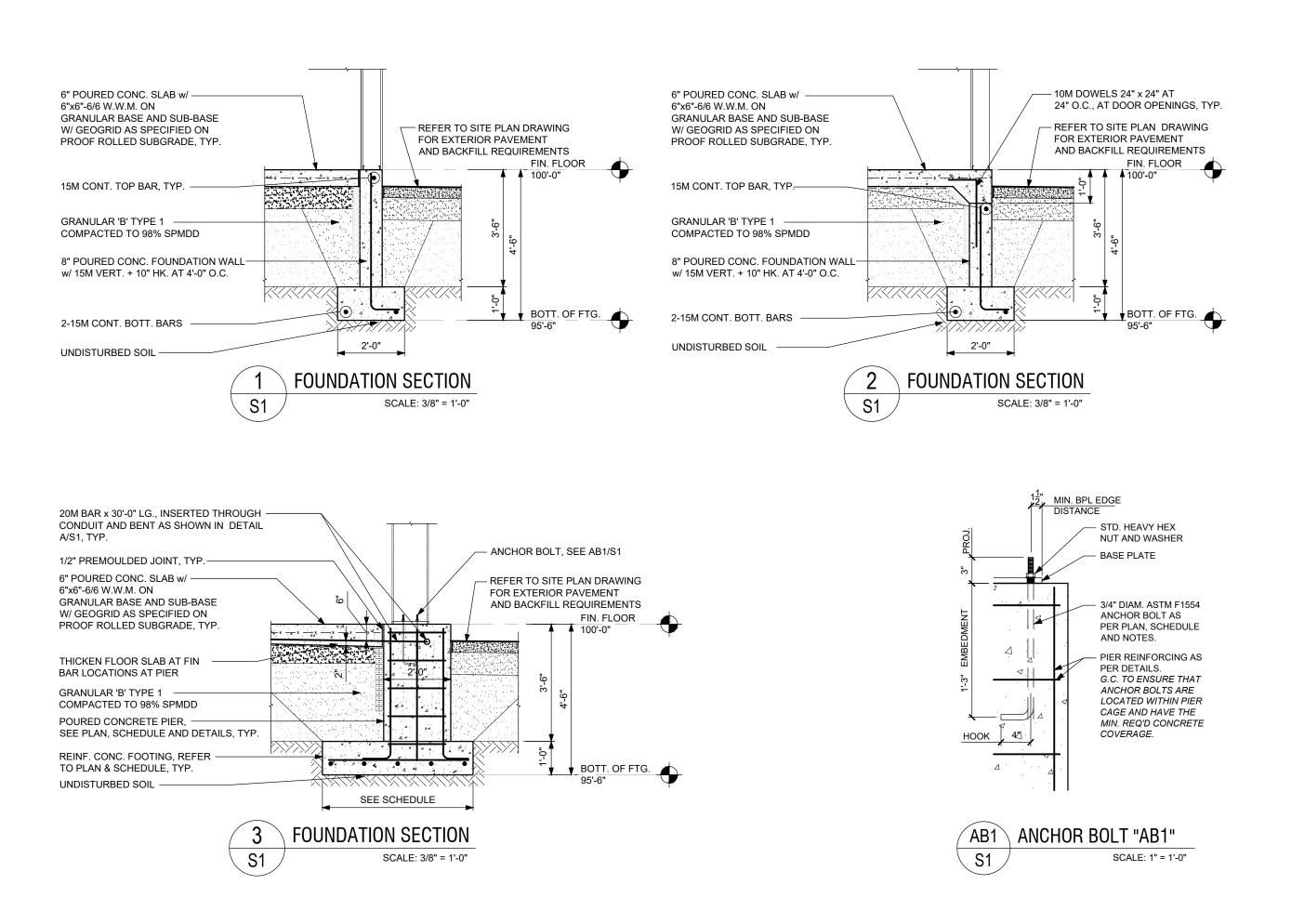


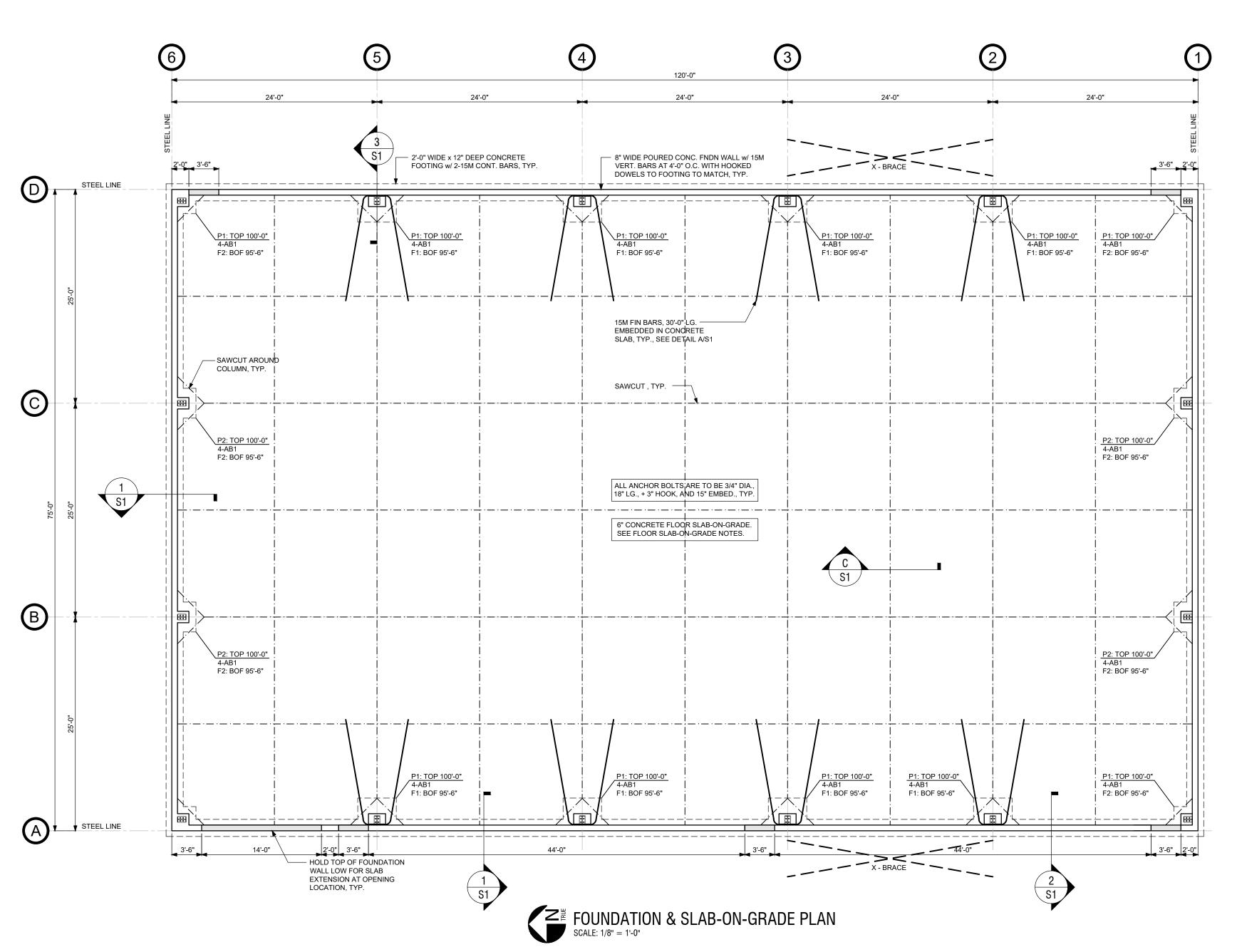
FOOTING MARK, SEE SCHEDULE

PIER MARK, SEE SCHEDULE TOP OF PIER, SEE PLAN TOP

AND NOTES FOR ELEVATION.









ENGINEER

ATES

–Drawn Bv

-Checked By—

AUG, 2024

- Drawing No.**—**

Date ——

Project

