



TOWN OF AMHERSTBURG ACCESSIBILITY ADVISORY COMMITTEE MEETING

AGENDA

**Council Chambers
271 Sandwich Street South, Amherstburg, ON, N9V 2A5**

**Thursday, October 24, 2024
5:00 PM**

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Pages

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. DISCLOSURE OF PECUNIARY INTEREST & GENERAL NATURE THEREOF**
- 4. LAND ACKNOWLEDGMENT**

We will begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations (comprising the Ojibway, the Odawa, and the Potawatomie Peoples), and of the Huron-Wendat and Wyandot Peoples. We recognize the land as an expression of

gratitude to those whose traditional territory we reside on, and a way of honouring the Indigenous people who have been living and thriving on the land since time immemorial. We value the significant historical and contemporary contributions of local and regional First Nations and all of the Original Peoples of Turtle Island.

5. MINUTES OF PREVIOUS MEETING

That the following minutes of the Amherstburg Accessibility Advisory Committee
BE APPROVED:

5.1 Amherstburg Accessibility Advisory Committee Meeting Minutes - August 22, 2024

6. DELEGATIONS

7. ORDER OF BUSINESS

7.1 Site Plan Review - 208 St. Arnaud 8

7.2 Site Plan Review - 7368 Howard 13

8. CORRESPONDENCE

That the following Correspondence **BE RECEIVED**:

9. UNFINISHED BUSINESS

10. NEW BUSINESS

11. ADJOURNMENT

That the Committee **ADJOURN** at _____ p.m.



TOWN OF AMHERSTBURG
ACCESSIBILITY ADVISORY COMMITTEE MEETING
MINUTES

Thursday, August 22, 2024

5:00 P.M.

Council Chambers

271 Sandwich Street South, Amherstburg, ON, N9V 2A5

PRESENT Shirley Curson Prue - Chair
 Christopher Drew - Vice Chair
 Councillor Donald McArthur
 Marc Renaud
 Christine Easterbrook
 Tony Pietrangelo
 William Whittall

STAFF PRESENT Kevin Fox - Staff Liaison, Clerk

ABSENT Chris Drew (*Regrets*)

1. CALL TO ORDER

The Chair called the meeting to order at 5:02 p.m.

2. ROLL CALL

3. DISCLOSURE OF PECUNIARY INTEREST & GENERAL NATURE THEREOF

There were no disclosures of pecuniary interest noted.

4. LAND ACKNOWLEDGMENT

The following land acknowledgment was read: “We will begin by acknowledging that the land on which we gather is the traditional territory of the Three Fires Confederacy of First Nations (comprising the Ojibway, the Odawa, and the Potawatomie Peoples), and of the Huron-Wendat and Wyandot Peoples. We recognize the land as an expression of gratitude to those whose traditional territory we reside on, and a way of honouring the Indigenous people who have been living and thriving on the land since time immemorial. We value the significant historical and contemporary contributions of local and regional First Nations and all of the Original Peoples of Turtle Island.”

5. MINUTES OF PREVIOUS MEETING

5.1 Amherstburg Accessibility Advisory Committee Minutes of June 27, 2024

Moved by C. Easterbrook

Seconded by M. Renaud

That the minutes of the June 27, 2024 Amherstburg Accessibility Advisory Committee **BE APPROVED.**

The Chair put the motion

Motion Carried

6. DELEGATIONS

There were no delegations.

7. ORDER OF BUSINESS

7.1 Town of Amherstburg Annual Consultation on Multi-Year Accessibility Plan

7.2 Aphasia Friendly Amherstburg

7.3 Accessibility Advisory Committee 2024 Outreach and Education Activities

Moved by T. Pietrangelo
Seconded by C. Easterbrook

That the Essex County Accessibility Advisory Committee Outdoor Accessibility Fest-For-All **BE PROMOTED** on social media to encourage town businesses and residents to learn about accessible goods and services being provided in the local area.

The Chair put the motion.

Motion Carried

Moved by T. Pietrangelo
Seconded by M. Renaud

That Administration **ENGAGE** Communications to support the Amherstburg Accessibility Advisory Committee in the development of a public engagement initiative.

The Chair put the motion.

Motion Carried

7.4 Enhancements to Libro Centre Accessible Parking Options

Moved by T. Pietrangelo
Seconded by W. Whittall

That the Amherstburg Accessibility Advisory Committee **SUPPORT** the paving of four accessible parking spaces and supporting access aisles at the Libro Centre.

The Chair put the motion.

Motion Carried

8. CORRESPONDENCE

8.1 Essex County Accessibility Advisory Committee Outdoor Accessibility Fest-For-All

Moved by M. Renaud
Seconded by Councillor McArthur

That the above correspondence **BE RECEIVED**.

The Chair put the motion.

Motion Carried

9. UNFINISHED BUSINESS

9.1 Accessible Tactile Surface Indicator Re-Painting

9.2 Pickleball Courts at Libro Centre

10. NEW BUSINESS

11. ADJOURNMENT

Moved by M. Renaud

Seconded by T. Pietrangelo

That the Committee **ADJOURN** at 5:57 p.m.

The Chair put the motion

Motion Carried

Shirley Curson-Prue - Chair

Kevin Fox - Recording Secretary

PROPOSED BUILDING ADDITION – SITE DATA

SITE ZONING:	LIGHT INDUSTRIAL (LI)	
LOT AREA =	34,151 SQ.FT.	(0.78 ACRES)
EXISTING HOUSE	1,461 SQ. FT.	
NEW WAREHOUSE ADDITION	9,000 SQ. FT.	
TOTAL BUILDING AREA	10,461 SQ. FT.	
BUILDING FOOTPRINT (LOT COVERAGE) =	10,724 SQ. FT. (30.63%)	
LANDSCAPE AREA REQUIRED 10% =	3,415 SQ. FT.	
LANDSCAPE AREA PROVIDED =	8,589 SQ. FT. = 25.15%	
MINIMUM FRONT YARD DEPTH =	29.50 FT.	
MINIMUM REAR YARD DEPTH =	26.20 FT.	
MINIMUM SIDE YARD WIDTH =	10.00 FT.	
PROPOSED BUILDING HEIGHT =	24.00 FT.	

TOWN OF AMHERSTBURG PARKING REQUIREMENTS

WAREHOUSE = 1 SPACE PER 2,153 SQ.FT.

PARKING BREAKDOWN

EX. HOUSE = 1,610 SQ.FT. = 2 SPACES

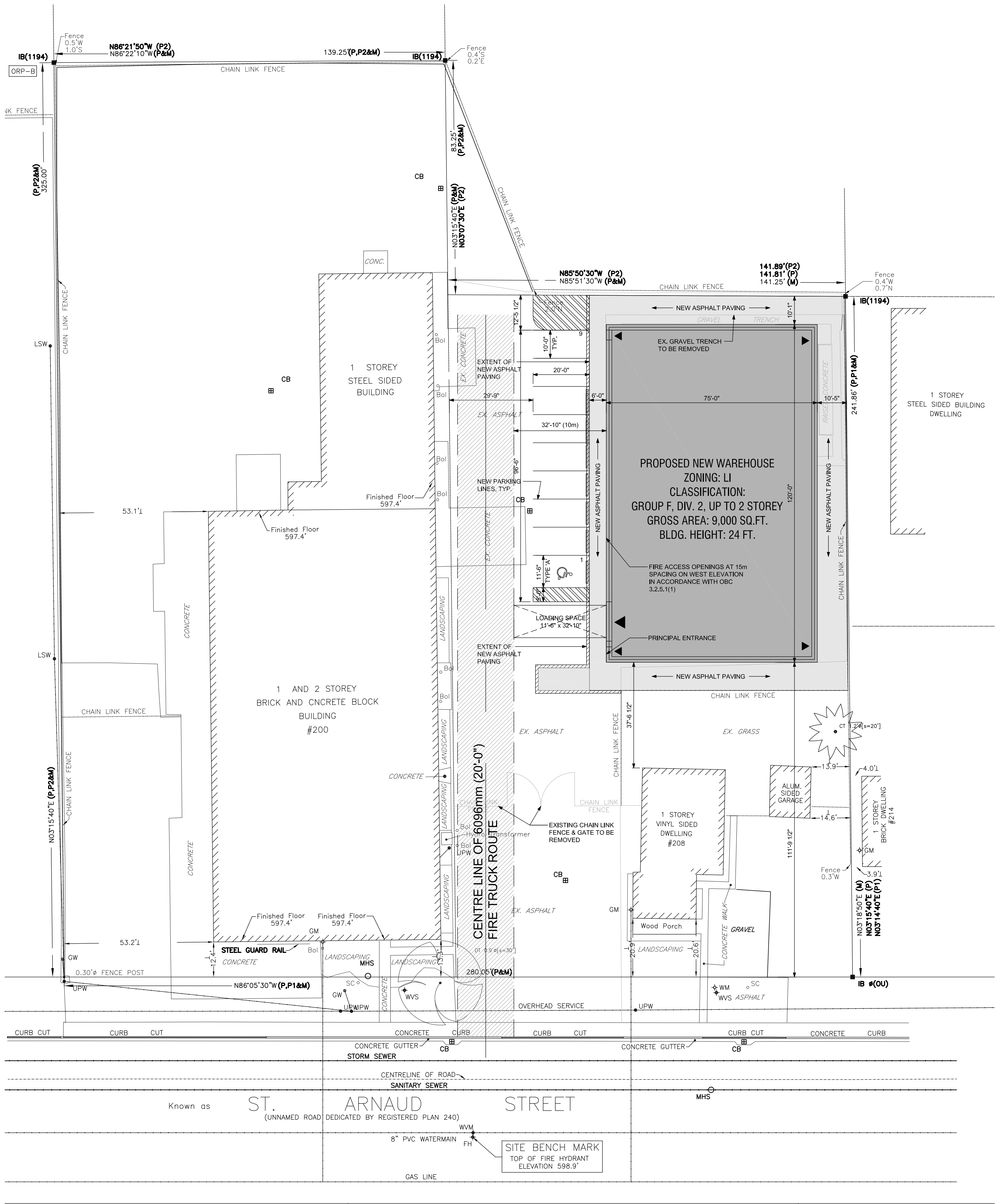
NEW WAREHOUSE = 9,000 SQ.FT. = 5 SPACES

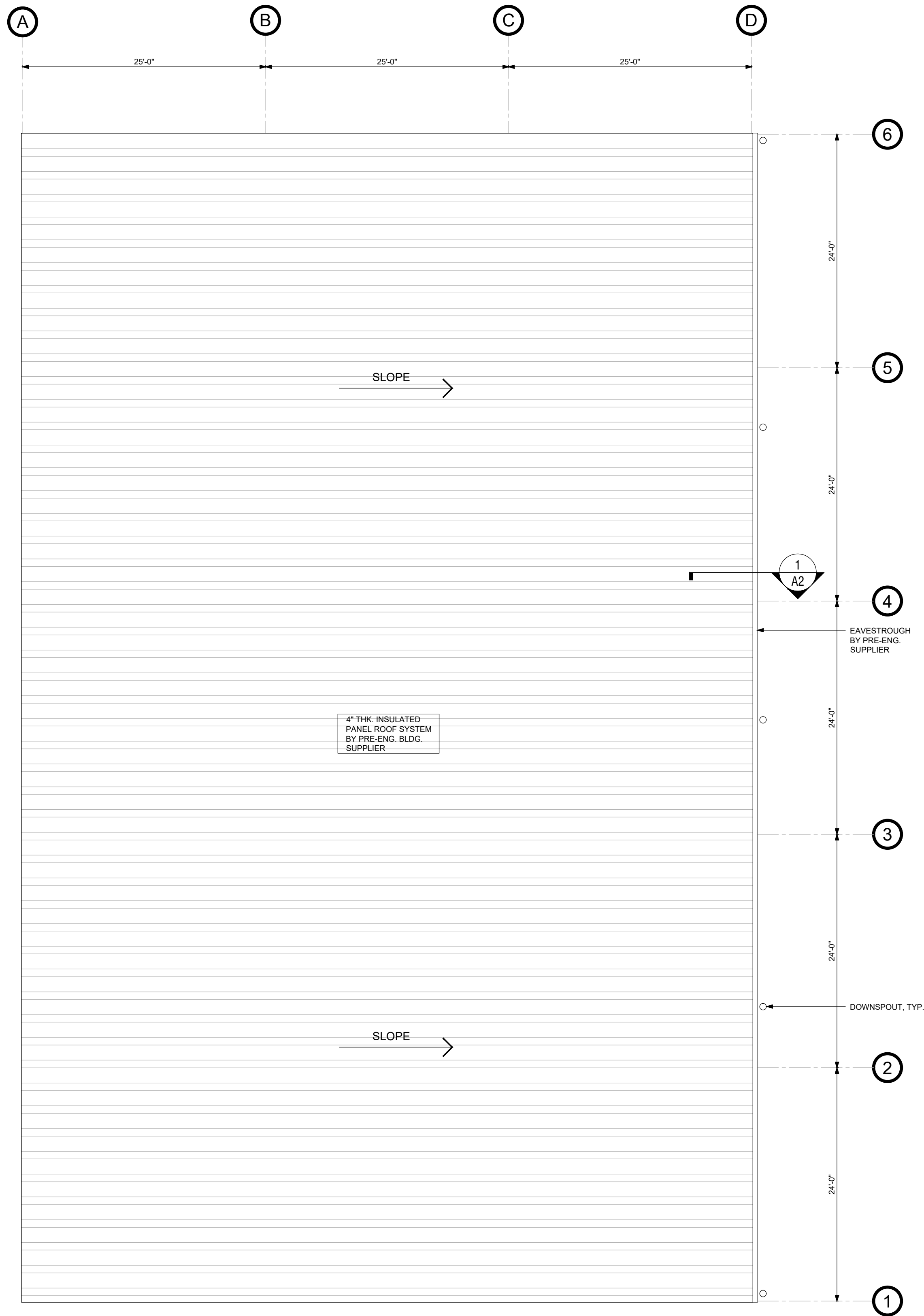
TOTAL PARKING REQUIRED = 7 SPACES

EXISTING PARKING SPACES = 2 SPACES

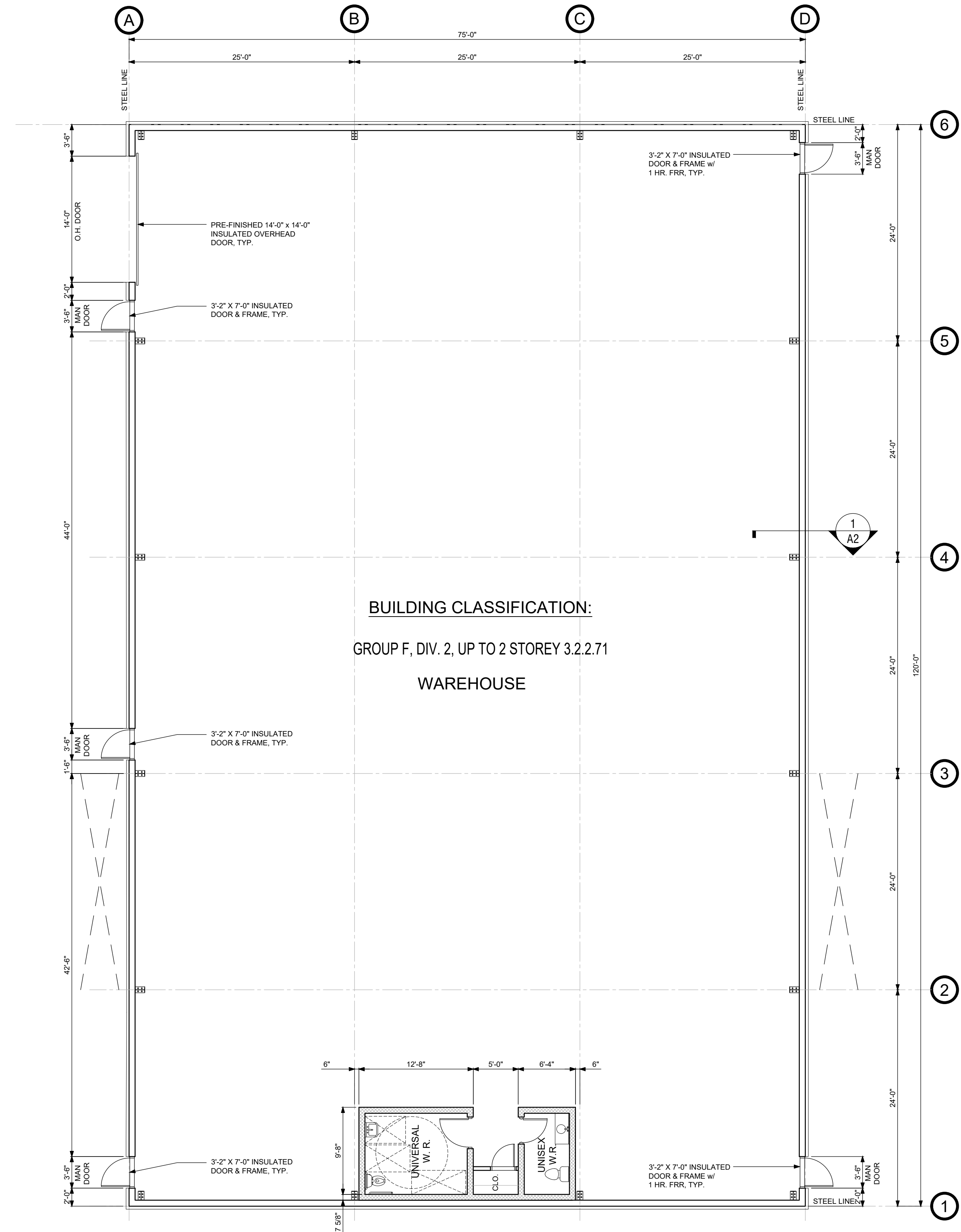
TOTAL PARKING PROVIDED = 9 SPACES (INCLUDING 1 ACCESSIBLE)

PROJECT: PROPOSED AUXILIARY STORAGE BUILDING					PROJECT NO.: 8650			
ITEM	ONTARIO BUILDING CODE MATRIX				OBC REFERENCE			
1	Project Description: INDUSTRIAL BUILDING	<input checked="" type="checkbox"/> New			<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9		
		<input type="checkbox"/> Addition			2.1.1.	1.1.2 (A) & 9.10.1.3		
		<input type="checkbox"/> Change of Use						
		<input type="checkbox"/> Alteration						
2	Major Occupancy(s)	PROPOSED STORAGE BUILDING			3.1.2.1.(1)	9.10.2		
3	Building Area (ft ²)	836.12	m ²	Total 836.12 m ²	1.1.3.2.	(A) 1.4.1.2		
4	Gross Area (ft ²)	836.12	m ²	Total 836.12 m ²	1.1.3.2.	(A) 1.4.1.2		
	Sub Total							
	Total							
5	Number of Storeys	Above Grade 1	Below Grade NONE	3.2.1.1. & 1.1.3.2.	(A) 1.4.1.2 & 9.10.4			
6	Number of Streets Facing/Fire Fighter Access	1 STREET – UNSPRINKLERED			3.2.2.10 & 3.2.5	9.10.20		
7	Building Classification	GROUP F, DIV. 2, UP TO 2 STOREY 3.2.2.71			3.2.2.10 & 3.2.2.83	9.10.2		
8	Sprinkler System Proposed – NO	<input type="checkbox"/> Entire Building			3.2.2.10 & 3.2.2.83	9.10.8.2.4		
		<input type="checkbox"/> Basement			3.2.1.5			
		<input type="checkbox"/> In Lieu of Roof Rating			3.2.2.17			
		<input type="checkbox"/> Not Required						
9	Standpipe Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Existing			3.2.9.1			
10	Fire Alarm Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.4.	9.10.18		
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> TBD			3.2.5.7			
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.2.6			
13	Permitted Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both			3.2.2.10 – 3.2.2.83	9.10.6		
	Actual Construction	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both						
14	Mezzanine Area – N/A				3.2.2.1.(3) –(8)			
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building			3.1.17			
	Load 8 persons – Storage only							
					3.1.17.1 (2)			
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)			3.8	9.5.2		
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			3.3.1.2 & 3.3.1.19	9.10.1.3		
18	Horizontal Assemblies– Fire Separations and Fire Resistance Ratings				3.2.2.10.–83 & 3.2.1.4.	9.10.8		
	Fire Separation	Fire Resistance Rating						
	Floors	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Req'd	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction				
	Mezz.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Req'd	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction				
	Roof	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Req'd	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction				
				<input type="checkbox"/> Sprinklered Building				
	Supporting Assemblies– Fire Separations and Fire Resistance Ratings							
		Fire Resistance Rating Where Required Above						
	Floors	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction					
	Mezz.	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction					
	Roof	n/g hrs	<input checked="" type="checkbox"/> Noncombustible construction					
19	Spatial Separation – Construction of Exterior Walls				3.2.3. & 3.2.3.1.D	9.10.14. & 9.10.15.		
	Location	Area of Wall (m ²)	U/A or Overlap	Max. % Opening	Fire Rating (Hours) or Description	Comb. Const.	Non-Comb. Const.	
	North wall	165 s.m. 3.07m.	–	6%	0%	1 HR	–	Y
	South wall	165 s.m. 11.5m.	–	36%	0%	n/a	–	Y
	East wall	257.1 s.m. 3.17m.	–	100%	100%	1 HR	–	Y
	West wall	274.6 s.m. 16.96m.	–	51%	7%	1 HR	–	Y
20	Plumbing Fixture Requirements							
			Occupant Load	BC Table Number	Fixtures Required	Fixtures Provided		
	Male		4	3,74.9	1	2		
	Female		4					
21	Travel Distance	60 meters	Sentence 2		3.4.2.5			
22	Interconnected Floor Spaces		<input checked="" type="checkbox"/> No <input type="checkbox"/> 1st & 2nd Floors Only		3.2.8.2.(6)			

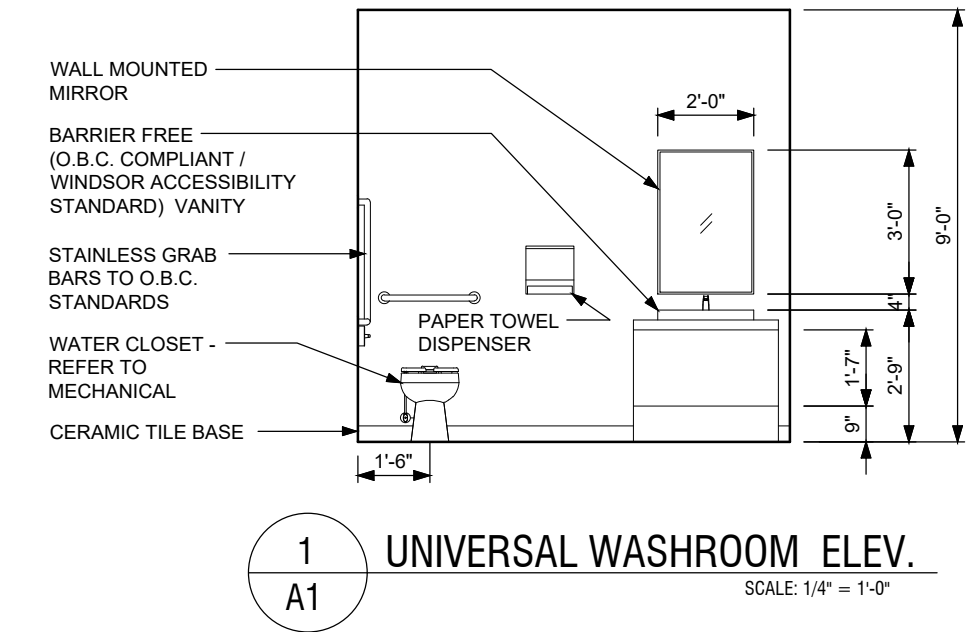




ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"



**1
A1** UNIVERSAL WASHROOM ELEV.
SCALE: 1/4" = 1'-0"



Issuances
☐ Preliminary
☐ Bids
☒ Permits
☐ Construction
SPA
JULY 29, 2024
PERMIT
SEPT. 07, 2024

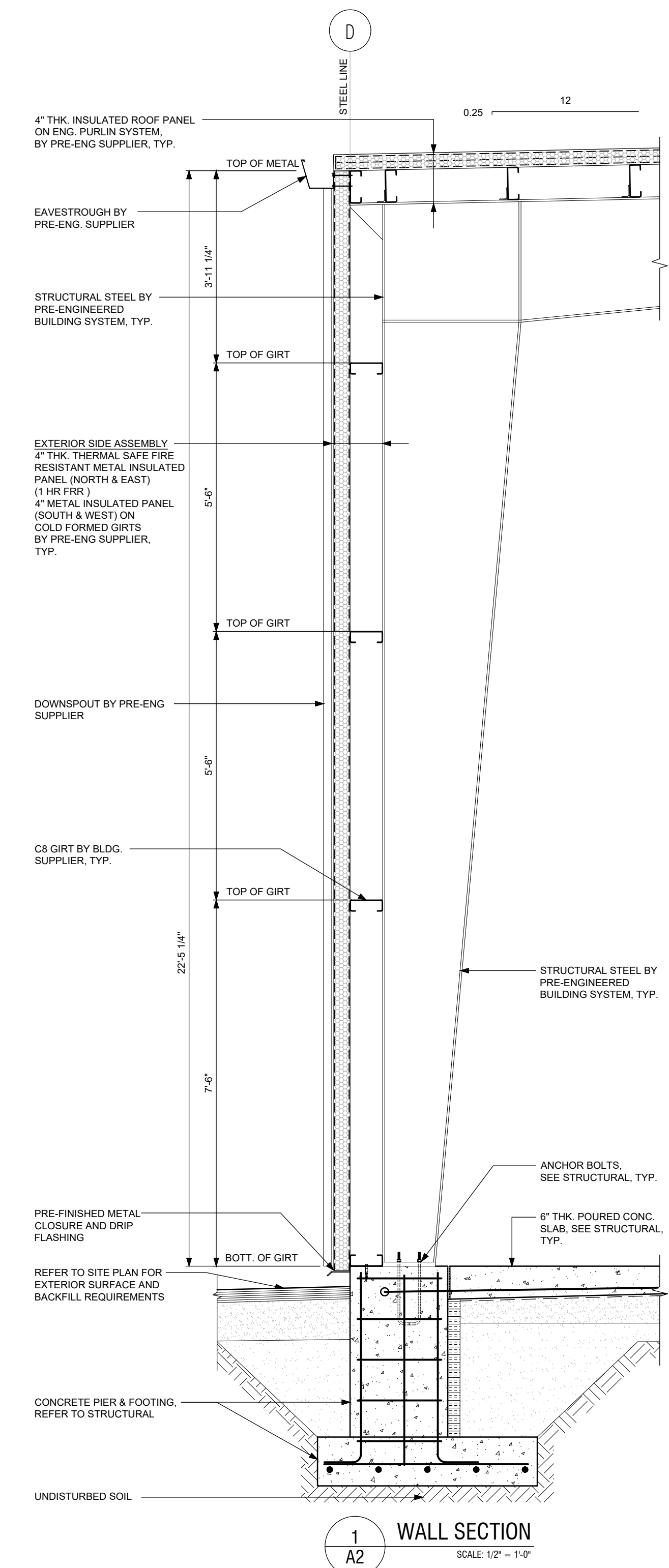
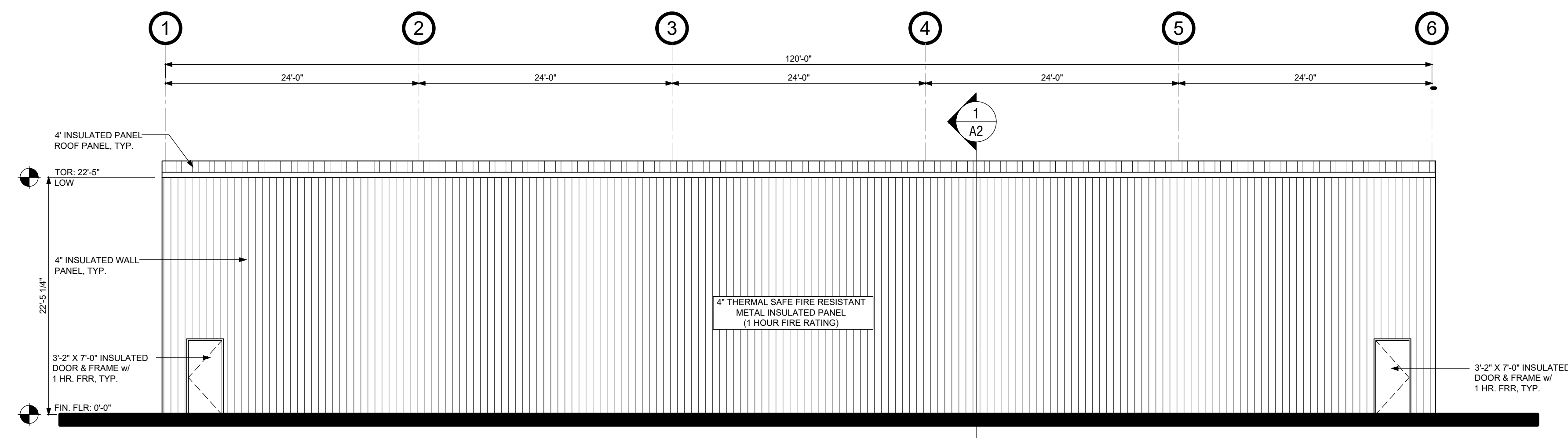
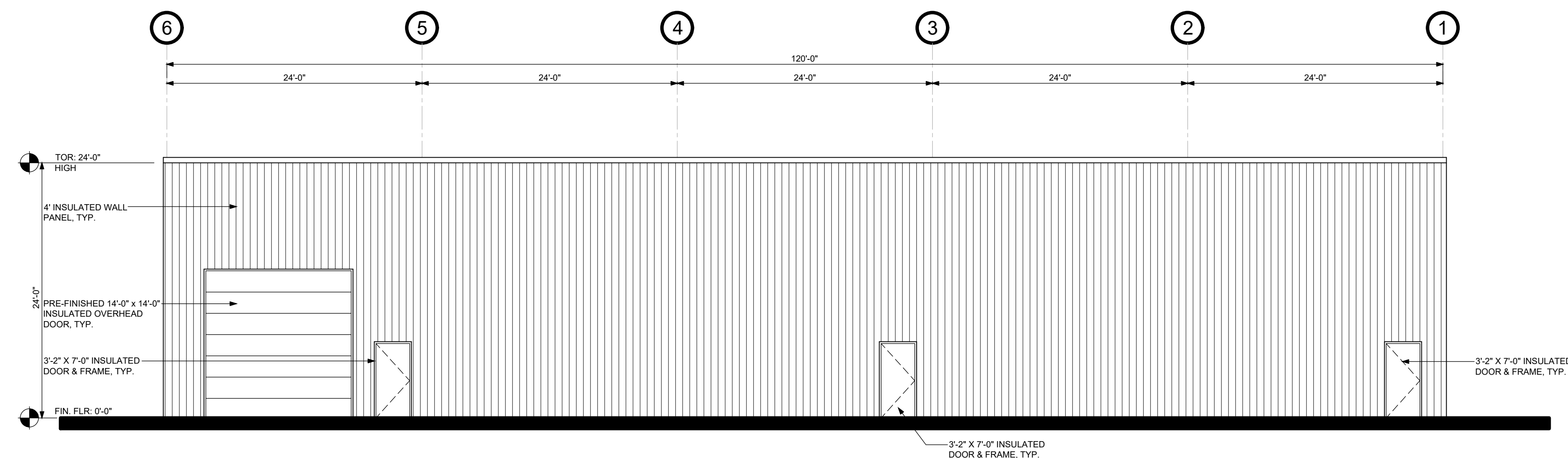
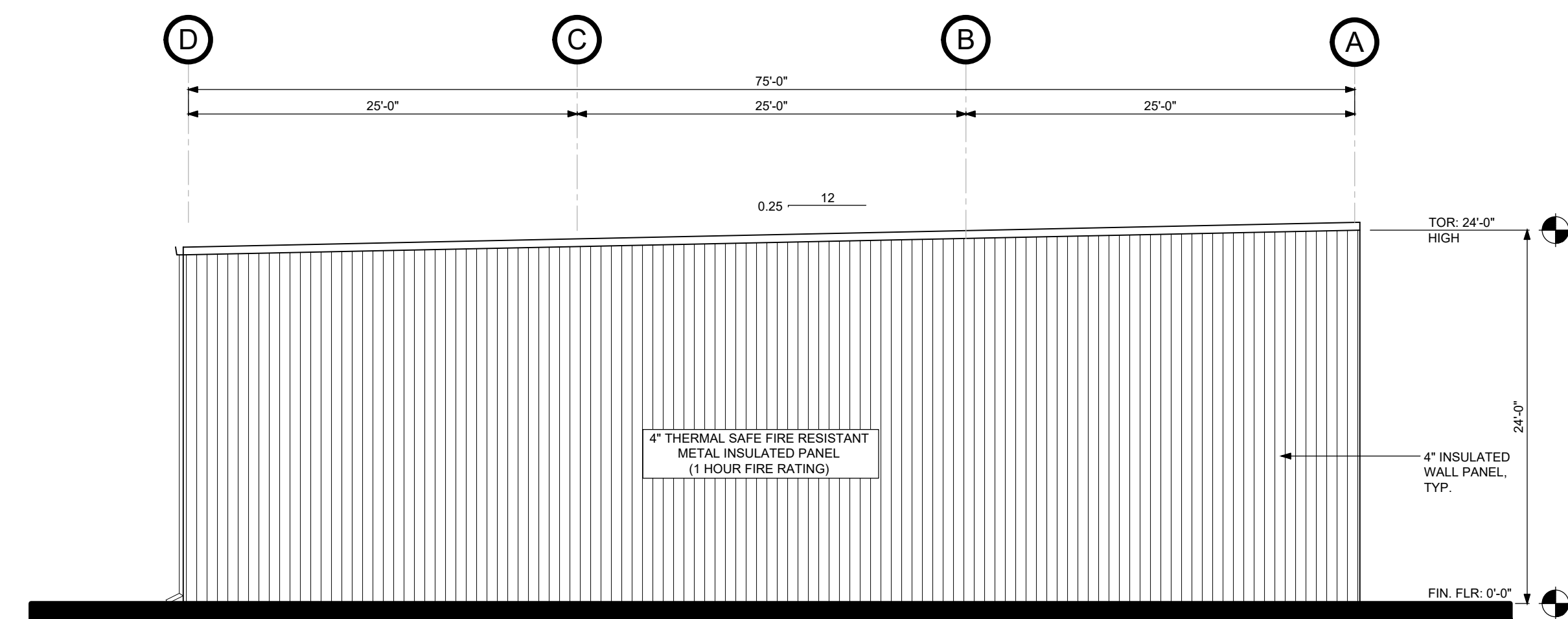
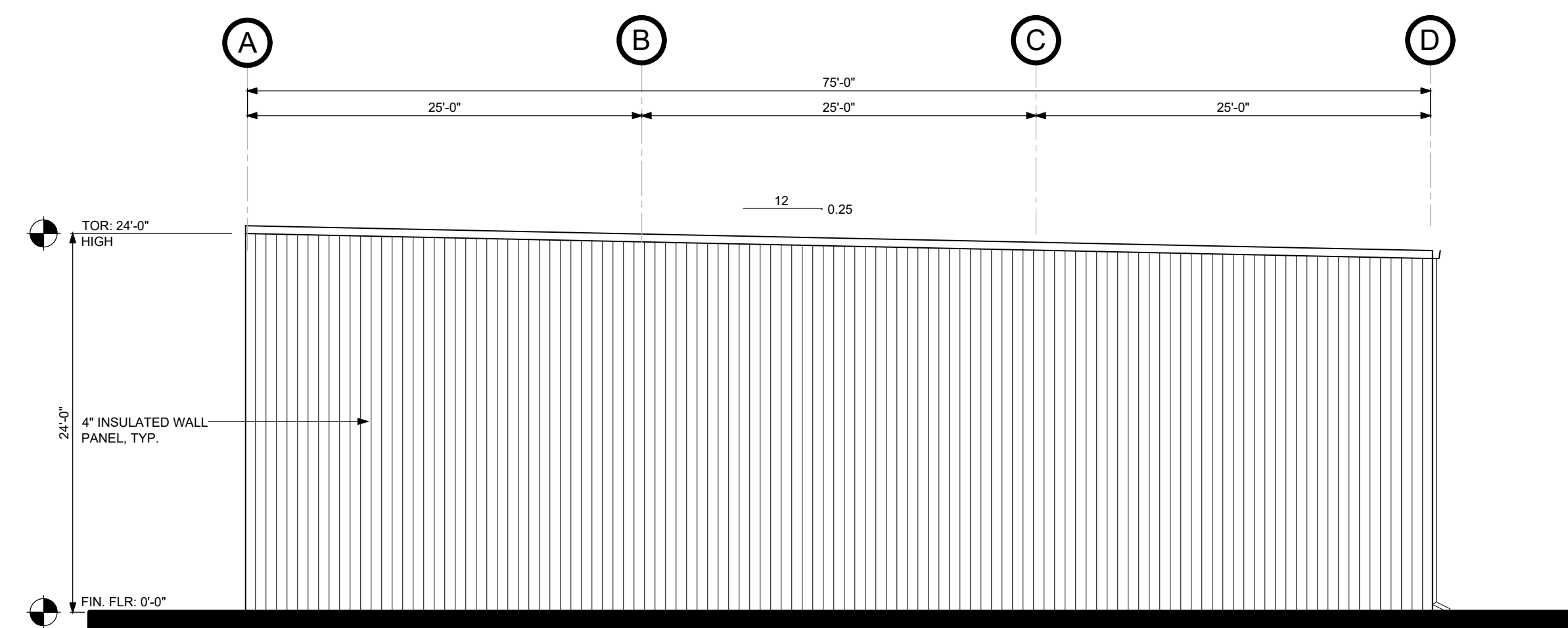
Sheet Title
PROPOSED FLOOR PLAN & ROOF PLAN

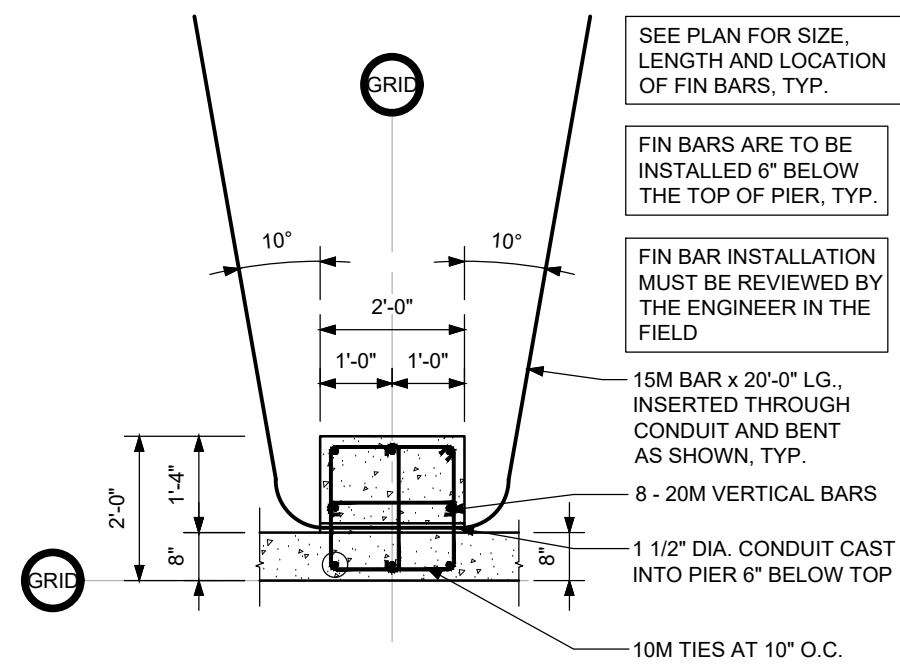
Project/ Client
PROPOSED NEW WAREHOUSE BUILDING
208 ST. ARNAUD STREET
TOWN OF AMHERSTBURG, ONTARIO

Drawn By
OA
Checked By
PA
Date
MAY, 2024
Project No.
8650
Drawing No.
A1

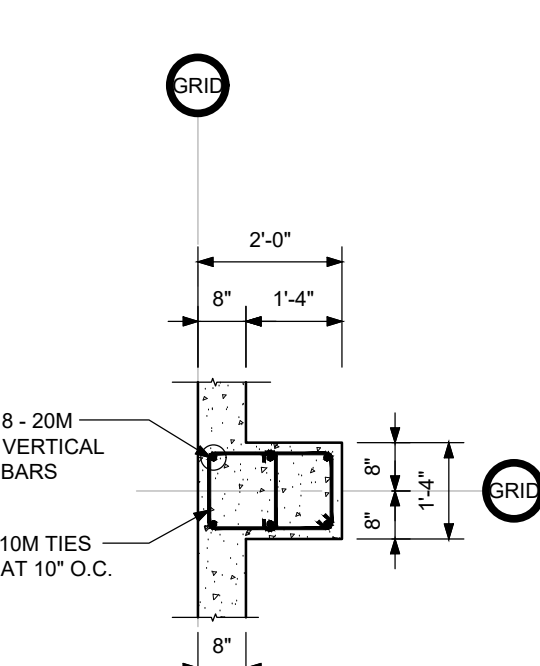
MBSI
METAL BUILDING SOLUTIONS INC.
ALEO ASSOCIATES INC.
CONSULTING ENGINEERS
322 DEVONSHIRE ROAD, SUITE 500, WINDSOR, ON, N9Y 2L3
TEL: (519) 254-7266 E-MAIL: info@aleoassociates.com

ALEO ASSOCIATES INC. - CONSULTING ENGINEERS

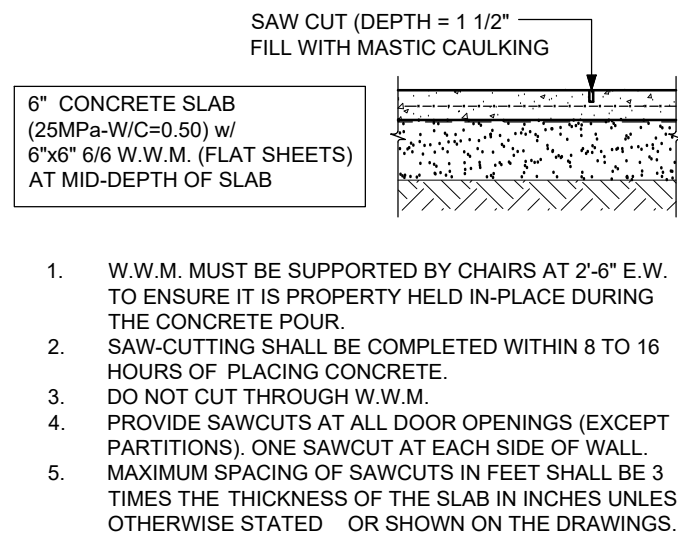




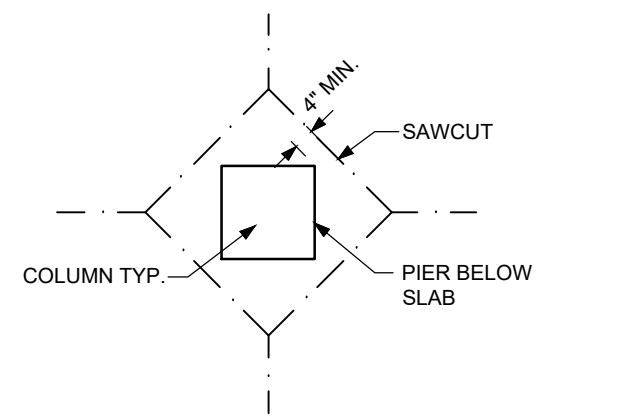
A PIER DETAIL 'P1'
S1 SCALE: 3/8" = 1'-0"



B PIER DETAIL 'P2'
S1 SCALE: 3/8" = 1'-0"



C TYPICAL SAWCUT
S1 SCALE: 3/8" = 1'-0"



D TYP. SAWCUT AROUND COLUMN
S1 SCALE: 3/8" = 1'-0"

FLOOR SLAB-ON-GRADE NOTES:

- SLAB-ON-GRADE CONSTRUCTION:
6" POURED CONC. SLAB w/
6"x6"-6/6 W.W.M. ON
18" MIN. GRANULAR 'A' BASE ON
PROOF ROLLED SUBGRADE, TYP.
- PROVIDE 1/2" THICK PREMOULDED JOINT FILLER AGAINST
INTERIOR FOUNDATION WALLS AND ALL OTHER VERTICAL
SURFACES.
- SAW-CUTTING SHALL BE COMPLETED WITHIN 8 TO 16
HOURS OF PLACING THE CONCRETE.
- PROVIDE SAWCUTS AS PER DETAIL D/S1 AT THE
LOCATIONS SHOWN ON PLAN.

PIER SCHEDULE

PIER MARK	PIER SIZE			PIER REINFORCEMENT		REMARKS
	LENGTH	WIDTH	DEPTH	VERTICAL	HORIZONTAL	
P1	2'-0"	2'-0"	-	8-20M	10M MAX AT 10" (MAX.)	SEE NOTES 1 & 2
P2	2'-0"	1'-4"	-	6-20M	10M MAX AT 10" (MAX.)	SEE NOTES 1 & 2

NOTES:

- SEE PIER DETAILS ON S0 FOR DIMENSIONAL INFORMATION.
- SEE OTHER SCHEDULE(S) FOR FURTHER INFORMATION.

FOOTING SCHEDULE

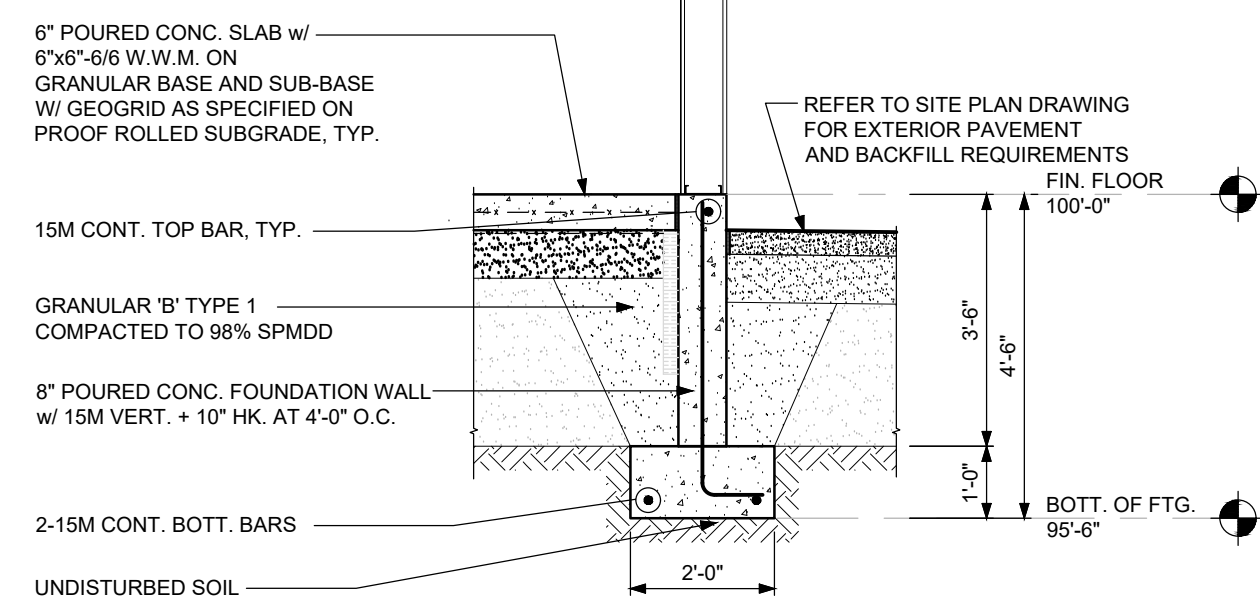
FOOTING MARK	SIZE			FOOTING REINFORCEMENT		REMARKS
	LENGTH	WIDTH	DEPTH	BOTTOM OF STEEL	TOP STEEL	
F1	4'-6"	4'-6"	1'-0"	5-15M E.W.	-	
F2	3'-6"	3'-6"	1'-0"	4-15M E.W.	-	

NOTES:

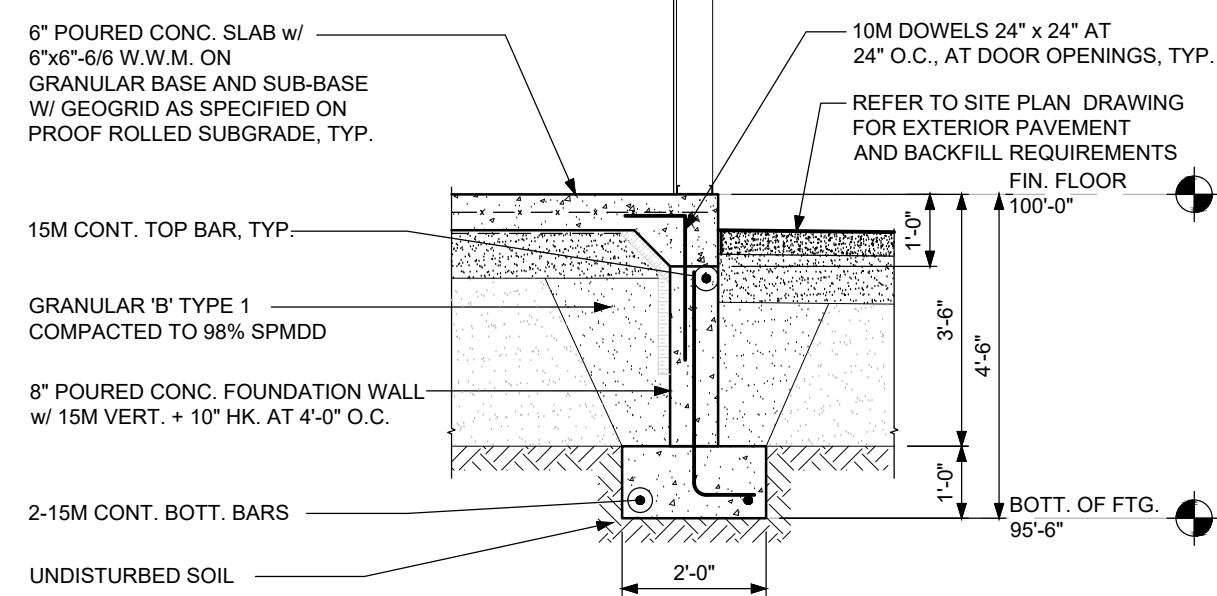
- SEE OTHER SCHEDULE(S) FOR ADDITIONAL INFORMATION.
- * * * INDICATES TOP STEEL FOOTING REINFORCEMENT, SEE SCHEDULE

FOUNDATION NOTES:

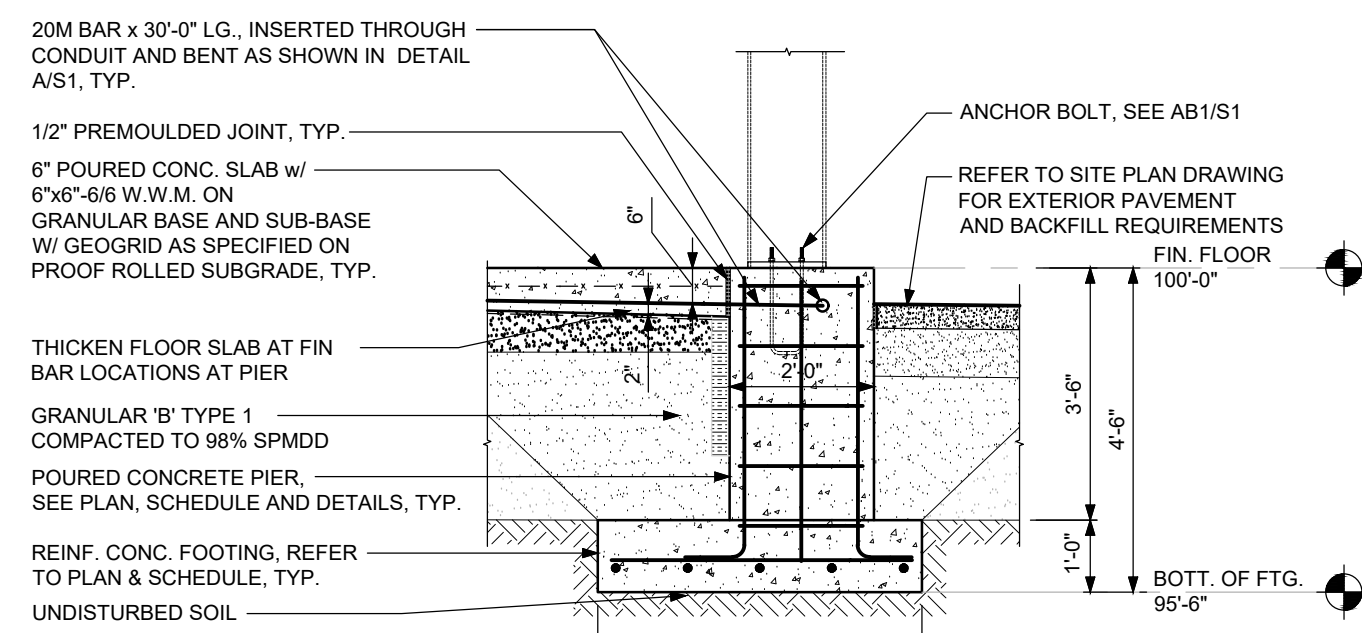
- REFER TO FOUNDATION NOTES ON S0 FOR ADDITIONAL INFO.
- FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL CAPABLE OF SUSTAINING AN
ALLOWABLE NET BEARING CAPACITY OF 3,000 PSF.
- CENTRE FOOTINGS UNDER CENTROID OF COLUMNS ABOVE UNO.
- ELEVATIONS ARE BASED ON THE ARCHITECTURAL DATUM WHICH SETS THE FINISHED
FLOOR ELEV. AT 100.00' (GEODETIC ELEV. 597.50').
- FOOTING BEARING ELEVATION (U/S OF FOOTING) IS 95.50' U.N.O.
- ALL EXTERIOR FOOTINGS ARE TO BEAR 4'-0" MIN. BELOW ADJACENT FINISHED GRADE AT A
MINIMUM. ADJUST U/S OF FOOTING ELEVATION AS REQUIRED.
- PROTECT FOOTINGS, WALLS AND ADJACENT SOIL AGAINST FREEZING AND FROST ACTION
AS REQUIRED AT ALL TIMES DURING CONSTRUCTION.
- TOP OF FOUNDATION WALLS AT ALL DOORS AND OTHER WALL OPENINGS THAT EXTEND TO
THE FLOOR SHALL BE 8" BELOW FINISHED FLOOR U.N.O.
- ALL FOUNDATION WALLS SHALL HAVE 1-15M CONT. TOP BARS AS INDICATED IN SECTION.
ALL FOUNDATION WALLS SHALL HAVE 15M VERTICAL DOWELS TO FOOTING AT
4'-0" O.C. U.N.O.
- FOUNDATION CONTRACTOR TO COORDINATE WITH ALL TRADES. THE LOCATION OF ALL PIPE
SLEEVES PASSING THROUGH FOUNDATION WALLS. PIPING IS NOT TO RUN THROUGH
FOOTINGS. FOOTINGS TO BE STEPPED DOWN TO SUIT.
- LEGEND:
F_ FOOTING MARK, SEE SCHEDULE
P_ PIER MARK, SEE SCHEDULE
TOP TOP OF PIER, SEE PLAN
SHADED AREA DENOTES TOP OF PIER OR WALL LOCATIONS
THAT ARE 6" BELOW THE FINISHED FIRST FLOOR, SEE PLAN
AND NOTES FOR ELEVATION.



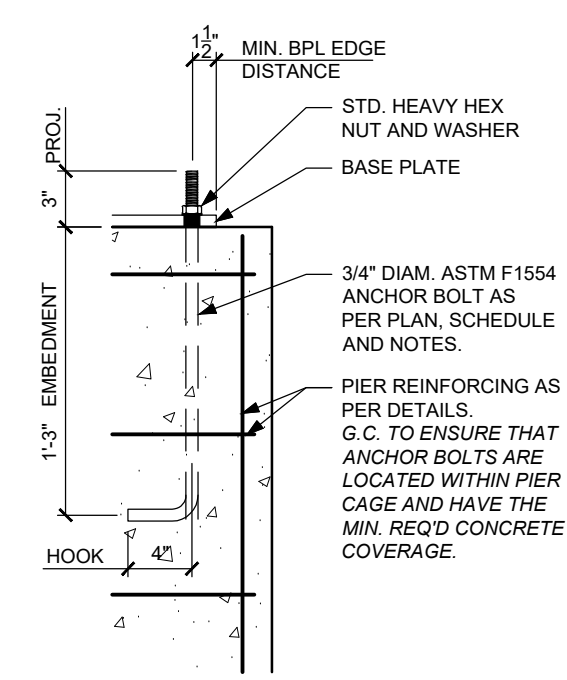
1 FOUNDATION SECTION
S1 SCALE: 3/8" = 1'-0"



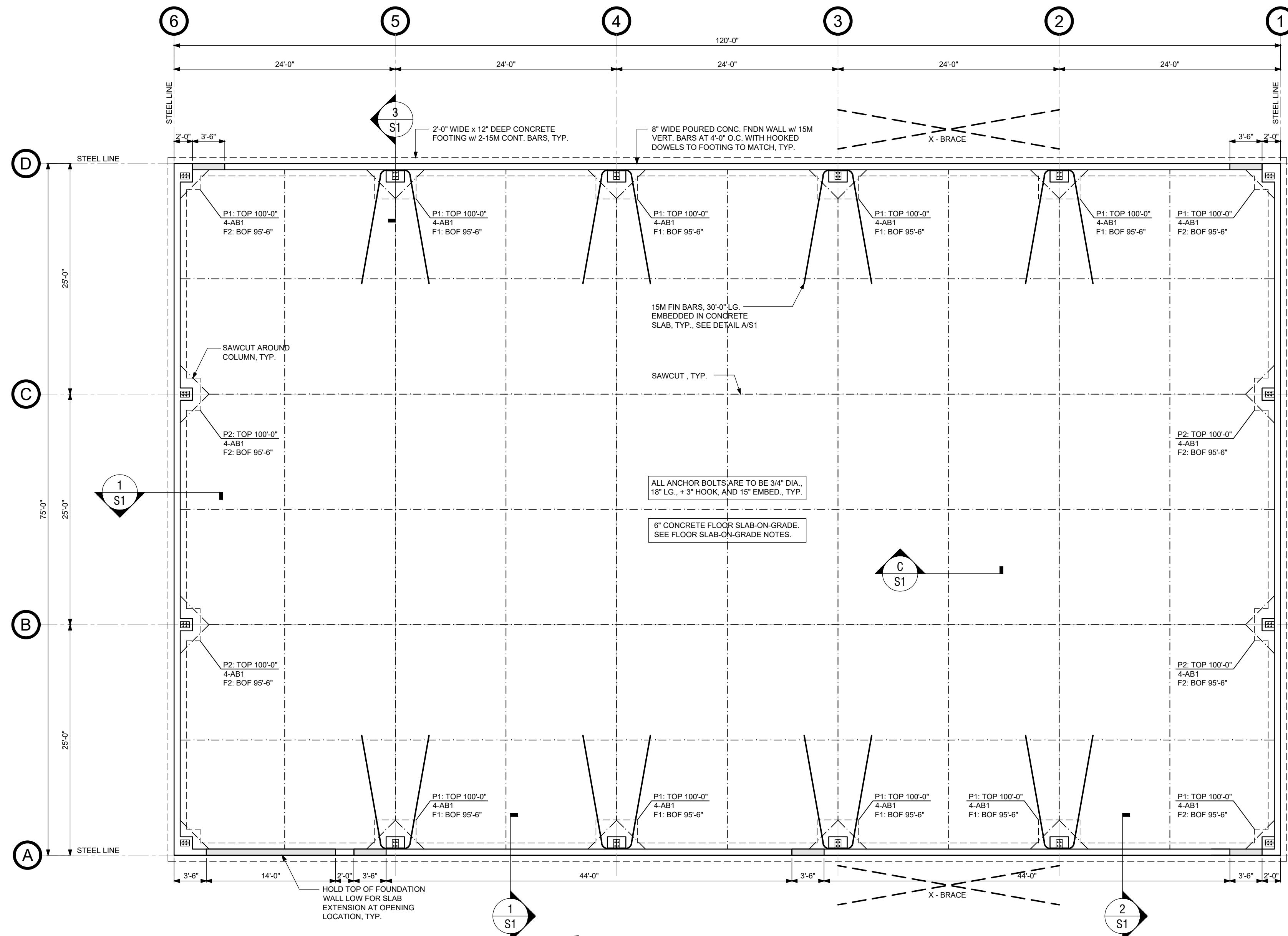
2 FOUNDATION SECTION
S1 SCALE: 3/8" = 1'-0"



3 FOUNDATION SECTION
S1 SCALE: 3/8" = 1'-0"



AB1 ANCHOR BOLT "AB1"
S1 SCALE: 1" = 1'-0"



FOUNDATION & SLAB-ON-GRADE PLAN
SCALE: 1/8" = 1'-0"

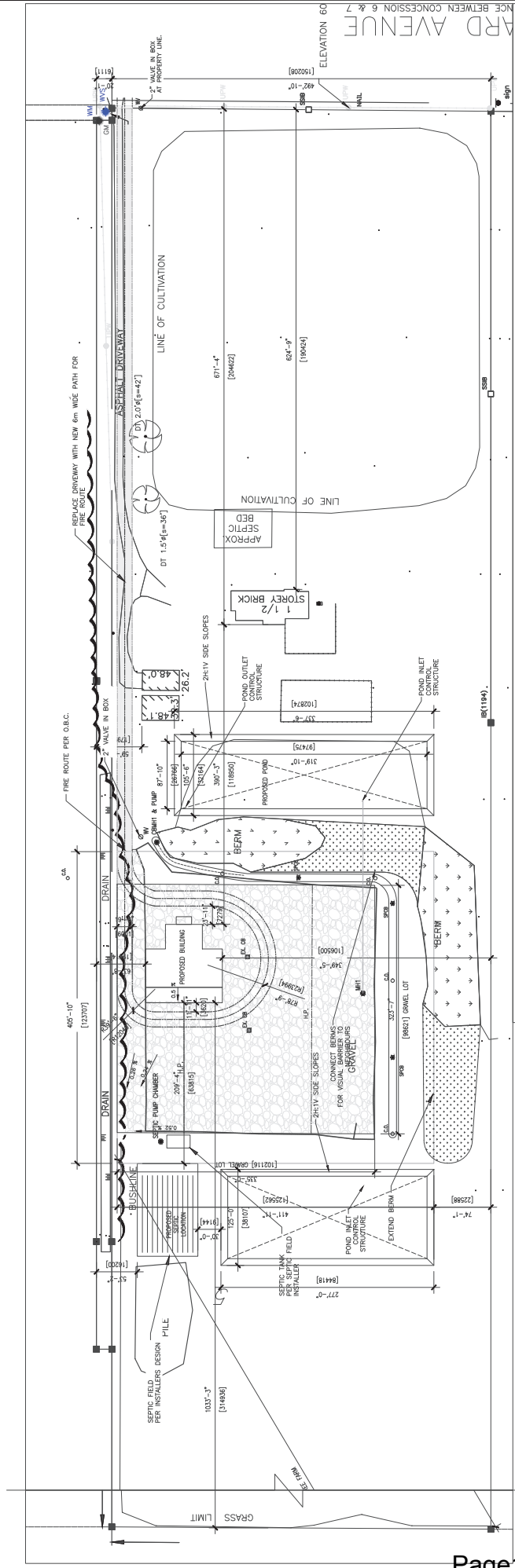
ISSUANCES
☐ Preliminary
☐ Bids
☒ Permits
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SPA
JULY 29, 2024
PERMIT
SEPT. 07, 2024

Sheet Title
FOUNDATION PLAN, SLAB PLAN, SCHEDULES,
SECTION & DETAILS

Project/ Client
PROPOSED NEW WAREHOUSE BUILDING
208 ST. ARNAUD STREET
TOWN OF AMHERSTBURG, ONTARIO

Drawn By
OA
Checked By
PA
Date
AUG, 2024
Project No.
8650
Drawing No.
S1

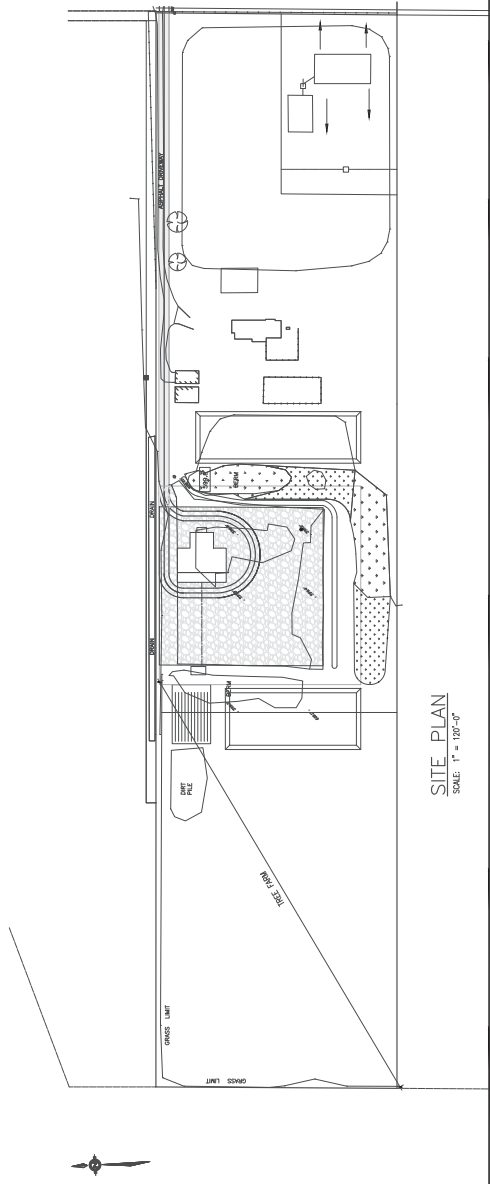




SITE PLAN
SCALE: 1" = 60'-0"



ZONING AND SITE SPECIFIC PROPERTY DATA			
DESCRIPTION	EXISTING	PROPOSED	REQUIRED/LIMIT
ZONING DESIGNATION	Agriculture (A-40)	Agriculture (A-40)	Agriculture (A-40)
LOT WIDTH	150.2m	150.2m	140m
PROPERTY AREA	10.32Ha (25.6 Acres)		
BUILDING FOOTPRINT	0.074ha (7911SQFT)	0.151 ha (15,502SQFT)	10% OF AREA
PROPERTY LINE OFFSETS	100m (FRONT LOT) 18m (SIDE LOT) 41.8m (SIDE LOT) 426.7m (REAR LOT)	FOR PROPOSED NEW 25m (FRONT LOT) 15m (SIDE LOT) 41.8m (SIDE LOT) 300.0m (REAR LOT)	25m (FRONT LOT) 15m (SIDE LOT) 30m (REAR LOT)
GRAVEL DRIVE SURFACE	9,330 SM	15,548SM	N/A



SITE PLAN
SCALE: 1" = 100'-0"



DATE	ISSUED FOR
MAR 23, 24	SITE PLAN CONTROL
MAR 27, 24	CLIENT REVIEW

PROJECT:
7388 HOWARD PROPOSED FARM
OPERATIONS FACILITY

Amherstburg, Ontario

DWG. TITLE:
PROPOSED SITE PLAN

DATE	BY	CHECKED BY	PROJECT NO.
MARCH 2024	AS SHOWN	M.T.	
	DESIGNED BY	M.T.	
	DRAWN BY	M.T.	
	CHECKED BY	M.T.	
	PROJECT NO.		24-038

SPC1